



CITY OF JONESBORO
Jonesboro Historic Preservation Commission
124 NORTH AVENUE
June 17, 2019 – 5:30 PM

NOTE: As set forth in the Americans with Disabilities Act of 1990, the City of Jonesboro will assist citizens with special needs given proper notice to participate in any open meetings of the City of Jonesboro. Please contact the City Clerk's Office via telephone (770-478-3800) or email at rclark@jonesboroga.com should you need assistance.

Agenda

I. CALL TO ORDER - CHAIRPERSON BETSY WESTER

II. ADOPTION OF THE AGENDA

III. MINUTES

1. Consideration of the Minutes of the May 20, 2019 Regular Meeting.

IV. AGENDA ITEMS

1. Historic Preservation Commission to consider a Certificate of Appropriateness for Skibiel Law Office for an addition to an existing law office located at 161 South McDonough Street; Parcel No. 13241D H004.

V. ADJOURN

**CITY OF JONESBORO
HISTORIC PRESERVATION COMMISSION
124 North Avenue Jonesboro, Georgia
May 20, 2019 – 5:30 P.M.**

MINUTES

The City of Jonesboro Historic Preservation Commission held their Regular Meeting on Monday, May 20, 2019. The meeting was held at 5:30 p.m. at the Jonesboro City Hall, 124 North Avenue, Jonesboro, Georgia.

Commission Present:

Betsy Wester - Chair
Tracey Messick – Commissioner
Cathy Roark – Commissioner
Jule Segner – Commissioner

Commission Absent:

Arlene Charles - Commissioner

Staff Present:

David Allen,
Community Development Director
Cable Glenn-Brooks,
Executive Assistant

- I. Meeting was called to order by Chair Betsy Wester at 5:30 pm.
Secretary Cathy Roark recorded the minutes.**

II. AGENDA ITEMS

Approval of Agenda: Jule Segner made a motion to adopt agenda, seconded by Cathy Roark. The motion carried unanimously.

HISTORIC PRESERVATION COMMISSION MEETING MINUTES 05/20/2019

Minutes Acceptance: Minutes of May 20, 2019 5:30 PM (MINUTES)

- III. OLD BUSINESS:** Regarding the Expiration of Certificate of Appropriateness for Danielle Ramos-Puente, rehabilitation of and addition to a commercial business located at 178 North McDonough Street; Parcel No. 13240D A031.

Motion made by Tracey Messick to contact Danielle Ramos-Puente to put her on notice of expiration of Certification of Appropriateness granted earlier. Also, to be informed that Commission has granted her an extension for sixty (60) days with active construction to begin within said extension period. Further, Ms. Ramos-Puente to be informed of the benefits of joining the Main Street program and grant options. Seconded by Jule Segner. Motion carried unanimously.

IV. NEW BUSINESS:

- A.** Upon motion by Tracey Messick, seconded by Betsy Wester, the minutes from the April 15, 2019 meeting were approved.
- B.** Historic Preservation Commission to consider a Certificate of Appropriateness as requested by Universal Business Unlimited for a replacement sign panel located at 124 South Main Street; Parcel No. 13241D 010 (Historic District)

Motion made by Betsy Wester to approve the request for a replacement sign panel located at 124 South Main Street. Seconded by Tracey Messick. Motion carried unanimously.

- C.** Historic Preservation Commission to consider a Certificate of Appropriateness as requested for Dixon Residence, accessory building located at 124 Spring Street; Parcel No. 13240D C024.

Motion made by Tracey Messick to approve the request for accessory building, said accessory building to be painted complimentary color to residence with a ramp and skirting installed covering underpinning. Landscaping also to be planted around accessory building. All items to be completed within thirty (30) days. Seconded by Cathy Roark. Motion carried unanimously.

HISTORIC PRESERVATION COMMISSION MEETING MINUTES 05/20/2019

Minutes Acceptance: Minutes of May 20, 2019 5:30 PM (MINUTES)

- D. Historic Preservation Commission to consider a Certificate of Appropriateness for House of Dawn, a new residence (second chance home) located at 192 South Main Street; Parcel No. 05241B B007.

Motion made by Jule Segner to approve the request for new residence located at 192 South Main Street with the stipulations that foundation be bricked and that columns be bricked one third to one half way up columns. Seconded by Tracey Messick. Motion carried unanimously.

- E. Historic Preservation Commission to consider a Certificate of Appropriateness for Millar Law Firm, for a replacement sign panel located at 151 North Main Street; Parcel No.13241B B005.

Motion made by Jule Segner to approve the request for a replacement sign panel located 151 North Main Street with the stipulation that replacement panel fits flush against brick sign frame (current replacement panel already in existence and being moved from another address to said address and if failing to fit flush against brick sign frame, being replaced with exact signage in smaller size), landscaping be planted in area surrounding the frame and existing external lighting be maintained. Seconded by Betsy Wester. Motion carried unanimously.

There being no further business, motion by Jule Segner to adjourn, seconded by Betsy Wester. Motion carried unanimously.

BETSY WESTER – CHAIR

CATHY ROARK – SECRETARY

HISTORIC PRESERVATION COMMISSION MEETING MINUTES 05/20/2019

Minutes Acceptance: Minutes of May 20, 2019 5:30 PM (MINUTES)



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

4.1

- 1

COUNCIL MEETING DATE

June 17, 2019

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider a Certificate of Appropriateness for Skibiell Law Office for an addition to an existing law office located at 161 South McDonough Street; Parcel No. 13241D H004.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-103 H-2 Historic District Standards; Secretary of Interior Historic Design Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes Beautification, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of addition; Mr. Skibiell has had his law office at 161 South McDonough Street for over 10 years. Since that time, he has obtained approvals to remodel the building, install new signage, and extend the parking lot. The refurbished property is a quality development, which complements the character of the Historic District. Recently, Mr. Skibiell applied to construct a 30-foot wide by 35-foot deep (1000 square foot) addition to the northern side of the building. The addition will match the exterior style and materials of the existing building. Also, there will be 5 additional parking spaces added to the back, and the driving circulation and entrance to the parking will be re-oriented to the south, since the access drive to the north will be blocked by the new addition.

The codification of the Design Review Commission authorizes the Commission to review such applications:

Make recommendations to the Historic Preservation Commission regarding Certificate of Appropriateness applications for any exterior modifications to existing developments, buildings and structures (including signs) within the Historic Districts and Historic Residential Overlay, prior to the scheduled Historic Preservation Commission hearing on the applications.

The Historic Preservation Commission is also authorized to review and approve exterior modifications (even color) to buildings within the Historic District, per Code Section 86-103.

Also, Per Section 86-103 of the H-2 Historic District:

*(l) Design standards. In order to preserve the physical character of existing historic structures in the H-2 historic district, every effort shall be made to adapt the property in a manner that complements the historic character of the area when making exterior alterations to the existing building, site, or environment. New construction shall also be appropriate for the district in design, placement, and scale. **The previous refurbishment of the existing building and grounds complements the character of the Historic District. The addition will exhibit the same style and materials.***

k. Walks and drives.

1. Historic walks and drives shall be maintained.

2. New walks and drives shall use traditional placement and materials that are appropriate to the dwelling and to the district. The use of gravel is prohibited. Parking shall be required to be asphalt-paved.

*3. Parking shall be located to the rear of the dwelling or to the side behind the facade line of the dwelling. **Parking has always been located in the front and the side.***

l. Other features.

1. Mechanical systems (including but not limited to air conditioning units and satellite dishes), recreational equipment (including but not limited to

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

June, 17, 2019

Signature

City Clerk's Office

pools and semi-permanent play structures), and decks shall be placed to the rear of the property so as to minimize visibility from the public view. Any mechanical systems that must be located on the roof shall be placed to the rear of the roof. **Already in rear, not on roof.**

2. Skylights shall be located to the rear of the roof and shall not be within public view. **No skylights.**

3. Compatible fencing or vegetation shall be used to screen features that are located to the rear of the property. **So noted.**

4. Utility meters shall be placed unobtrusively.

5. For commercial or office-zoned properties in the district, dumpsters shall be placed to the rear of buildings and shall be screened from public view by appropriate fencing, vegetation or walls.

(2) New construction. New buildings shall be compatible with surrounding historic structures and shall contribute to the character to the area. Prevalent architectural styles in the district shall guide new development. (See article VII, Architectural style and scale, for guidance on specific historic styles and building materials traditionally found in Jonesboro.)

a. Scale and form.

1. New buildings shall be compatible with the existing scale and form of nearby historic homes in terms of foundation and story heights, roof height, shape and pitch, number of stories, width, and depth.

2. The maximum heated floor area of infill development shall not exceed 150 percent of the average heated floor area of single family detached dwellings located on the same street for a distance of 600 feet in either direction. **Not applicable.**

3. The maximum building height for infill development shall be determined by the maximum building height of single family detached dwellings located on the same street for a distance of 600 feet in either direction. **Height matches existing building.**

b. Materials and color.

1. The predominant exterior siding material or a modern material that creates a similar texture or appearance shall be used. **So noted.**

2. The use of brick is encouraged for chimneys.

3. Prohibited exterior materials include synthetic materials with a false wood grain, vinyl siding, brick veneer, concrete block, and the use of materials that do not complement the architectural or historic style of the structure. **Hardie Plank and stone will be used, as per existing building.**

4. Brick and paint colors shall be compatible with the style of the structure and with surrounding historic structures. **Match rest of building.**

5. Neon colors are prohibited. **Just earth tone colors used.**

6. Primary colors may be acceptable for trim or accents pending review and approval by the director of downtown development. **Just earth tone colors used.**

c. Doors and windows.

1. Window and door placement, shape, and dimensions shall be compatible with the pattern on nearby historic structures. **Match rest of building.**

2. Blank wall facades are discouraged. **None**

d. Additions.

1. Additions shall be placed away from public view on the rear elevation or on a side elevation well behind the facade. **Addition will be on side, flush with rest of building. It will be hard to distinguish addition from rest of building once installed. The building is a generous distance off the road, and the property is well vegetated.**

2. Additions shall not obscure the form, orientation, or symmetry of the original structure, nor shall they exceed the degree of ornamentation of the original structure. **So noted.**

3. Matching or compatible siding and roofing materials shall be used. **Match rest of building.**

4. Matching or compatible windows and doors shall be used. **Match rest of building.**

5. The removal of a significant portion of original materials to construct an addition is prohibited. **So noted.**

(j) H-2 Development standards.

(1) Minimum lot area: None **Not changing**

(2) Minimum lot width: 50 feet **Not changing**

(3) Minimum setbacks:

Front: Building setbacks that have been established over time by historic structures, as listed on the most recent inventory of historic buildings kept on file at the office of downtown development, shall establish the minimum front setback. **Will be flush with front of existing building.**

Side: Five feet, except when abutting a residential zoning district where there is no intervening right-of-way, the setback requirement is ten feet. **The subject property abuts commercial properties on the northern and southern sides. The current distance from the existing building to the northern side property line is 39 feet. With the new addition going 30 feet towards that property line, the resulting side setback will be 19 feet.**

Rear: 20 feet **Will not extend beyond rear of existing building.**

(4) Maximum height: Three stories or 35 feet **Match rest of building.**

(5) Minimum height: Two stories **Match rest of building.**

There are no maximum impervious cover standards listed in this district.

Once constructed, the addition should be a seamless complement to a quality building in the Historic District. The parking area will still largely be in the rear of the property. Staff would like to see the large trees at the southern side of the building and parking be preserved. The total increase in impervious area (addition plus parking will be approximately 1850 square feet. The applicant has shown a new access from the rear parking lot to adjacent Key Street, but the feasibility of this proposal will have to be discussed with City of Jonesboro Public Works.

Design Review Commission, 6.5.19: Barbara Casey-Lane made a motion to accept staff recommendation for the 1000 square feet addition, seconded by Joel Aviles, motion carried unanimously.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Hist. Application
- Property Info
- Building Plans
- Building Pictures
- Parking
- Legal Ad - Addition

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval



CITY OF JONESBORO

124 North Avenue
Jonesboro, Georgia 30236
www.jonesboro.ga.com

JONESBORO HISTORIC PRESERVATION COMMISSION

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The Jonesboro Historic Preservation Commission or J.H.P.C. is tasked with insuring the Historic District's Preservation and standards are met according to the City of Jonesboro Codes and Ordinances. This application and approval thereof does not constitute an approval to begin construction. It is a review of Chapter 86 – Zoning, Section 86-102 (H-1) Historic District and Section 86-103 (H-2) Historic District. Once the applicants meets Historic District Code, the process of approval of plans, land disturbance, and other compliance measures must be met. Please contact the Jonesboro City Hall (770) 478-3800 and speak with the City Clerk for further information.

Property Information:

Address: ~~135 Haddock Point~~ 161 South McDonough St Jonesboro, GA

Owner: Mark A. Skibiel

Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.

Applicant Information:

Applicant Name: Mark A. Skibiel

Mailing Address: 161 South McDonough St Jonesboro, GA

Email Address: Mark@SkibielLaw.com Telephone: 404-550-6333

- Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Residential - \$35.00

Commercial: \$50.00

Sign: \$10.00

PROJECT INFORMATION

Type of Project (Check all that apply)

Construction

- ☐ New building
- ☐ Additional building
- ☐ Minor Exterior Change
- ☒ Major Building Restoration, Rehabilitation, or Remodeling

Site Changes

- ☒ Parking area(s), Driveway(s), or Walkway(s)
- ☒ Fence(s) or Wall (s)
- ☐ Sign(s)
- ☐ Mechanical System(s)
- ☐ Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

Demolition or Relocation

- ☐ Primary Building
- ☐ Outbuilding
- ☐ Site Feature

APPLICATION REQUIREMENTS

Applicants must include support materials as noted to be considered (i.e. plans, schematics, images, dimensions, surrounding structures). Incomplete applications will not be reviewed.

APPLICATION DEADLINE & REPRESENTATION

Applications must be delivered to the Jonesboro City Hall at least eighteen (18) days preceding the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis. Applicant's attendance is required: A presentation with visuals and detailed information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

REQUIRED MATERIALS

The following materials are required for a complete application. Incomplete applications WILL NOT be reviewed.

- A. New Buildings and Additions:
 - i. Description of Project — adding 1000 sq ft / additional part
 - ii. Site Plan ✓
 - iii. Architectural Elevations ✓
 - iv. Floor Plan ✓
 - v. Description of Materials ✓
 - vi. Photographs of Proposed Site
- B. Major Restoration, Rehabilitation, or Remodeling:
 - i. Architectural Elevations or Sketches
 - ii. Description of Project
 - iii. Description of Materials
 - iv. Photographs of Proposed Site
- C. Minor Exterior Changes:
 - i. Description of Project
 - ii. Description of Materials
 - iii. Photographs of Existing Building
- D. Site Changes: Parking, Driveways & Walkways:
 - i. Site Plan or Sketch of Site
 - ii. Description of Materials
 - iii. Photographs of Site
- E. Site Changes: Fences, Walls, and other Site Features:
 - i. Site Plan or Sketch of Site
 - ii. Architectural Elevations or Sketches
 - iii. Description of Materials
 - iv. Photographs of Site
- F. Site Changes: Signs:
 - i. Architectural Elevation or Sketch (For signs located on the building)
 - ii. Site Plan or Sketch of Site (For free standing signs)
 - iii. Description of Materials and Illumination

PROJECT AND MATERIALS DESCRIPTION

I want to add 1000 sq ft to my existing law office. A copy of the Architects plans are include. The materials used both inside + out will be the same materials used on the existing building. Hardy plank exterior with stack stone base. The inside will have similar trim - hardwood floors and 9 ft ceiling. Please see attached pictures of inside + outside structures.

We will also be adding 5 additional parking spaces to the rear (well beyond the facade) of the building


(Add Additional Sheets as Necessary)

Mark Skibiak

PRINT NAME

5/6/19

DATE



SIGNATURE

50.00

FEE AMOUNT

_____(Application Received By)

Attachment: Hist. Application (1445 : Skibiak Law Office)

Google Maps 171 S McDonough St

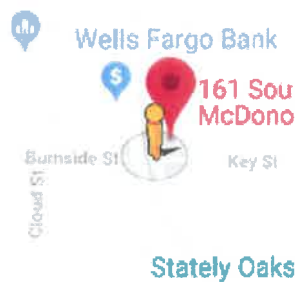


Image capture: Feb 2018 © 2019 Google

Jonesboro, Georgia



Street View - Feb 2018



Attachment: Property Info (1445 : Skibielski Law Office)

Real Property Records Search

[New Search](#)
[Current Year Assessment Notice](#)
[Sales Data](#)
[Previous Parcel](#)
[Next Parcel](#)

Clayton County Property Card For Year 2019

SKIBIEL MARK A

161 SOUTH MCDONOUGH ST

JONESBORO, GA 30236

PARCEL ID . . 13241D H004

LOCATION . . 161 S MCDONOUGH ST

LEGAL DESC DISTRICT 4

JONESBORO

NBRHOOD JB023 JONESBORO 2NDRY INT LOT

DESCRIPTION NOT IN SUBDIVISION - ALL UTILITIES

DESCRIPTION PAVED ROAD

SINGLE OFFICE CLASS C

ROAD FRONT . . . 156.0 184.0

SALES HISTORY

DEED BOOK	PAGE	SALE DATE	SALES INSTRUMENT	DISQUALIFIED	SALE AMT	DEED NAME
5795	295	7/15/02	WARRANTY DEED	QUALIFIED	185,000	SKIBIEL MARK A
2245	242	1/04/95	WARRANTY DEED	RELATED		WHITLOCK CARL L JR
0963	106	1/01/79	WARRANTY DEED			WHITLOCK LESTER

LAND SEGMENTS

LND#	ZONE	LAND TYPE/CODE	LAND QTY
1	CB	SF 1	29,055.000

MAP ACRES . . .667

IMPROVEMENT # 1 MISC IMPR-Y

GROUND FLOOR AREA . .	ACT/EFF YR/AGE . . 1940 1981 38
	DESCRIPTION . . . ATTORNEY OFFICE
	% COMP SQ FOOTAGE STORY
BUILDINGS	100 1757.00

IMPROVEMENT # 2 MISC IMPR-Y

GROUND FLOOR AREA . .	ACT/EFF YR/AGE . . 1940 79
	DESCRIPTION . . . UTILITY BLDG
	% COMP SQ FOOTAGE STORY
BUILDINGS	100 484.00

TOTAL PARCEL VALUES	LAND / OVR	IMPROVEMENTS / OVR	2019 VALUE	2018 VALUE
APV	58,000	160,500	218,500	218,500

Attachment: Property Info (1445 : Skibiel Law Office)

NEW BUILDINGS AND ADDITIONS

- **Description of Project:** Addition of 1000 square feet to law office
- **Site plan** - attached
- **Architectural Elevations** –attached
- **Floor plan** - attached
- **Description of Materials:** Materials used will be the same as those used on existing building- hardy plank exterior with stack stone base. Inside- similar trim, hardwood floor, 9 ft ceiling – photos attached
- **Proposed Site photographs** - attached

Attachment: Building Plans (1445 : Skibiell Law Office)

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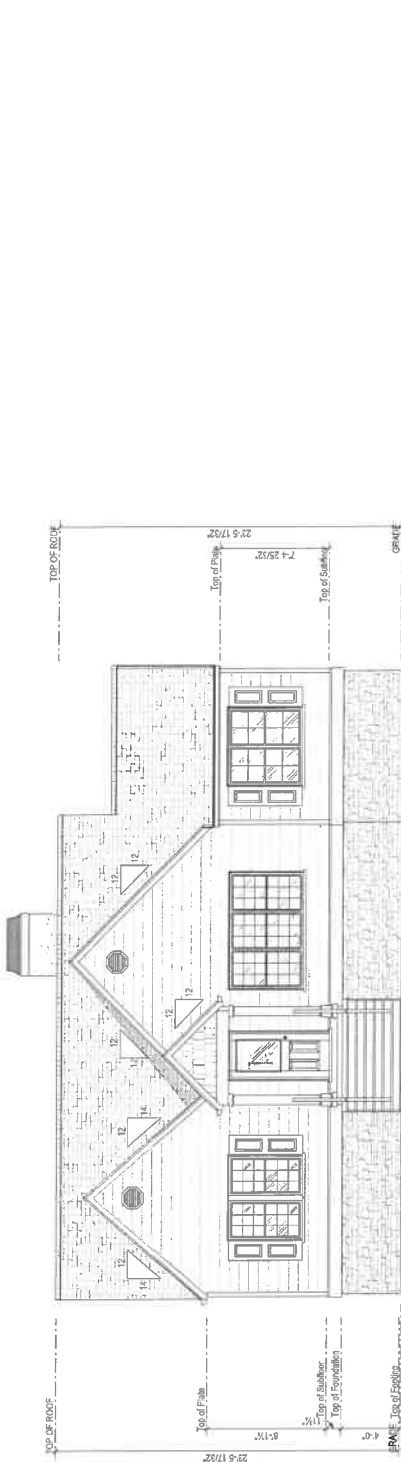
OSDS JOB NUMBER: 15.1027
DRAWN BY: JOHN K. HONEA

Skibiell Law
161 S McDonough St
Jonesboro, GA 30236

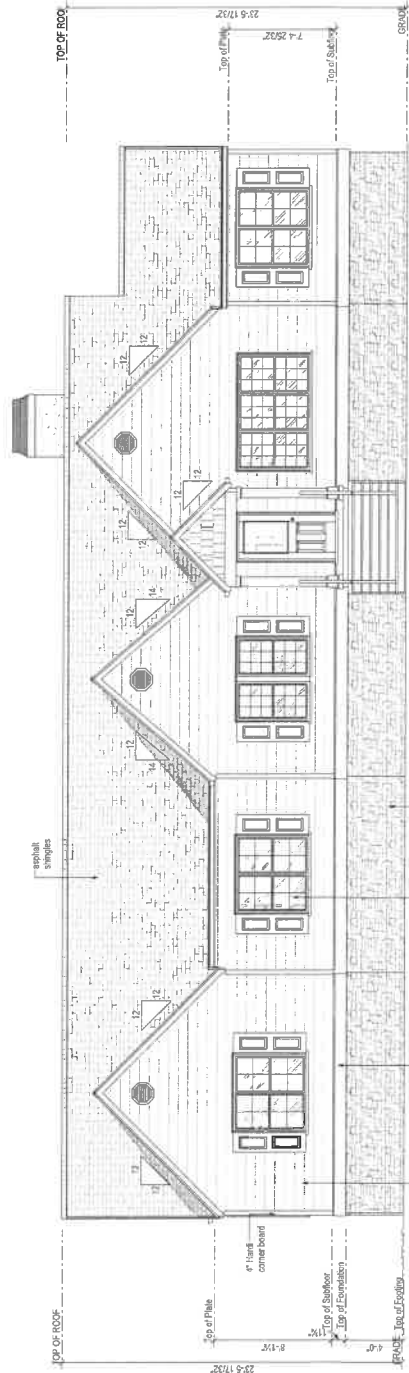
Front Elevations

Olde South

www.civicresearchinstitute.com 4143 Road Laurel Way, Shreveville, GA 30070
Phone: 1404925-1816 Fax: 1770978-7120 Email: jshornea@csrrmail.com



EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

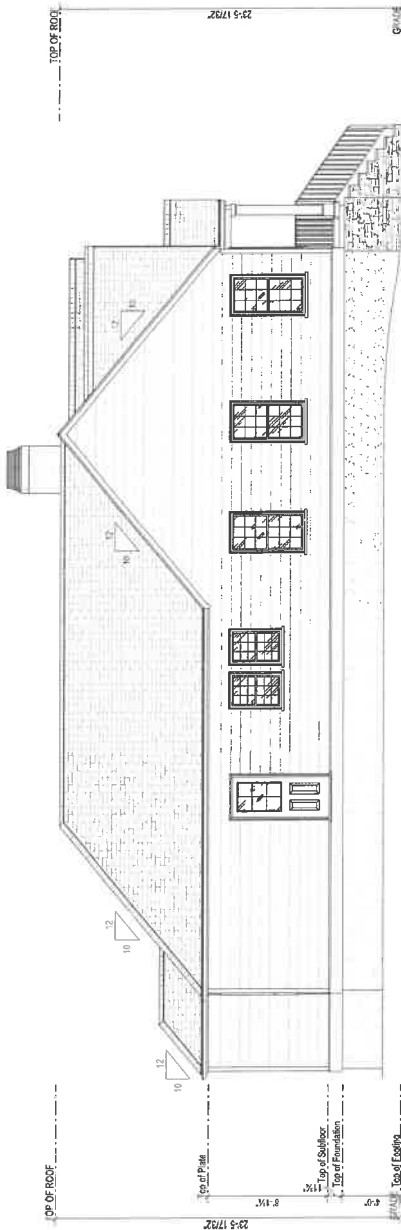
SCALE: 1/4" = 1'-0"

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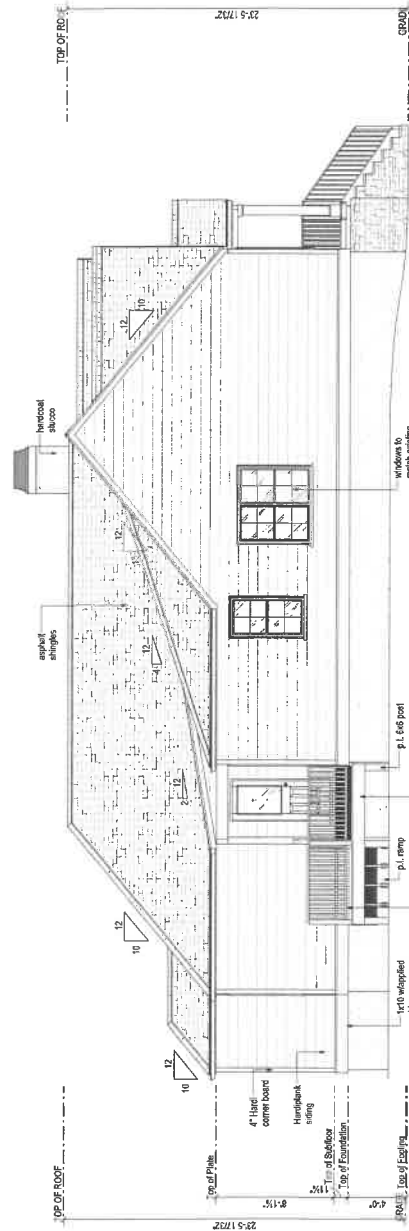
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Left Elevations

Olde South



EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"

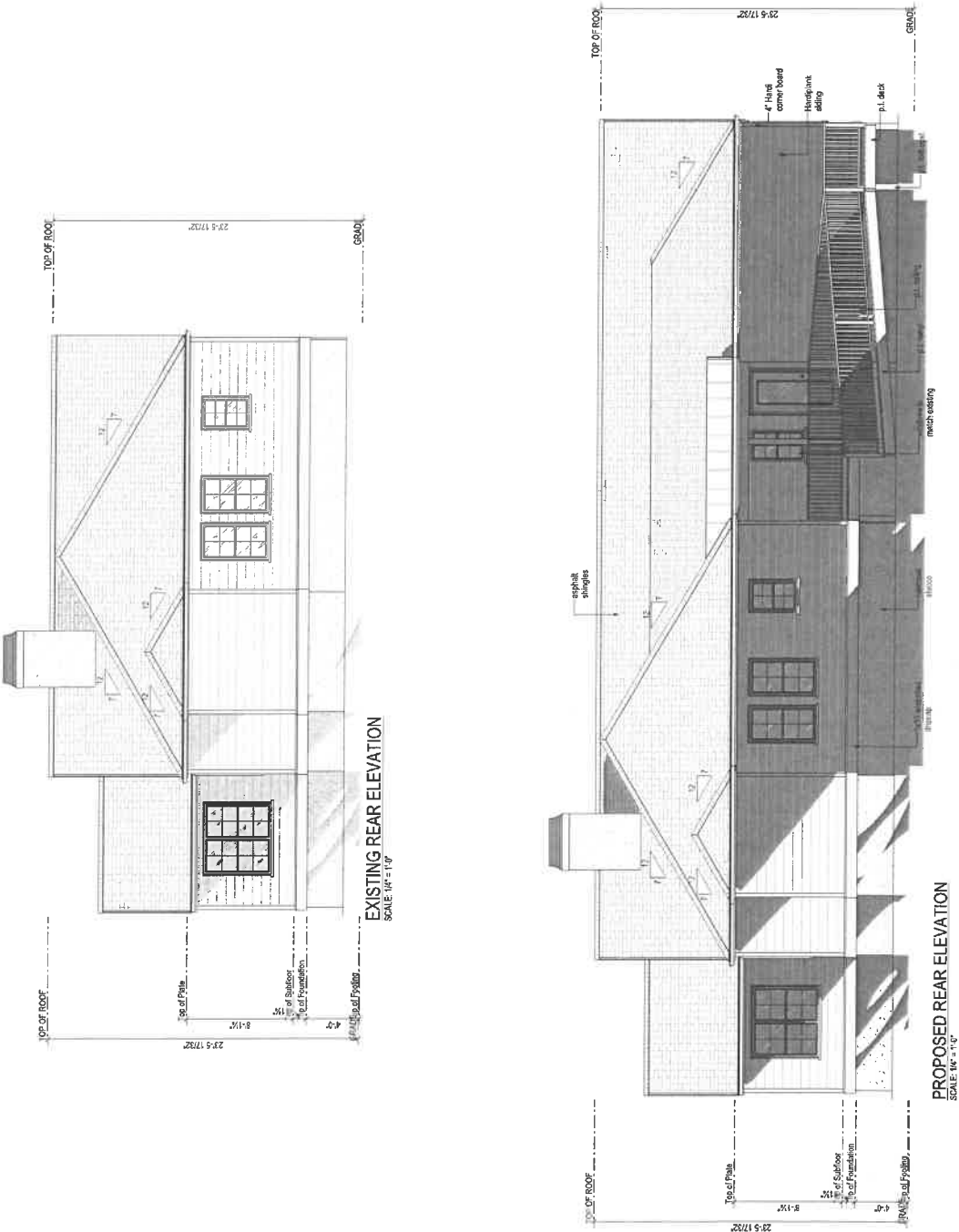
FORM HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY. THE CONTRACTOR MUST CHECK ALL DETAILS, SIZES AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL DESIGN CONDITIONS AND BUILDING PRACTICES. FORM HAS BEEN MADE ACCORDING TO THE FOLLOWING DIMENSIONS: 11' 0" X 17' 0" X 11' 0". CONTRACTOR MUST CHECK ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL DESIGN CONDITIONS AND BUILDING PRACTICES. ONLY THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL DESIGN CONDITIONS AND BUILDING PRACTICES. CONTRACTOR SHALL VERIFY ALL FLOOR AND ROOF BEARING LOCATIONS, CONNECTIONS, SHALL BE MADE TO A TYPE OF THE ACTUAL CONTRACT PRICE OF SAID HOME DESIGN.

Attachment: Building Plans (1445 : Skibiel Law Office)

SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

RELEASED FOR CONSTRUCTION

THIS HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY. THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL COVERING CODES AND BUILDING PRACTICES FROM TO GENERALLY ACCEPTED BUILDING PRACTICES. HOWEVER, STATE AND LOCAL CODES VARY WIDELY. THE DRAFTSMAN, JOHN K. HONEA, SHALL NOT BE HELD LIABLE FOR ANY ERRORS. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES. DO NOT SCALE DIMENSIONS. USE ONLY THE PRINTED DIMENSIONS. VERIFY WITH THE WINDOW MANUFACTURER ALL WINDOW SIZES AND APPLICABLE EGRESS REQUIREMENTS. ALL DIMENSIONS ARE TAKEN FROM TO HOUSE TO HOUSE OR A DIMENSION OF 1/8" (1/2" FOR STUDIOS) ON TO THE CURSIVE OF MASONRY. CONTRACTOR SHALL VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCES. CONTRACTOR SHALL VERIFY ALL FLOOR AND ROOF BEARING LOCATIONS. CONTRACTOR SHALL VERIFY ALL HEADINGS AND HEADERS SIZES FOR CODE COMPLIANCE. DESIGNER'S FINANCIAL LIABILITY SHALL BE LIMITED TO HALF OF THE ACTUAL CONTRACT PRICE OF SAID HOME DESIGN.



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SKIBIELL LAW
161 S McDonough St
Jonesboro, GA 30236
DRAWN BY: JOHN K. HONEA
0905 JOB NUMBER: 15.1627

Rear Elevations

Olde South
DESIGN STUDIOS
www.oldesouthga.com 4155 Bulcroft Rd. Suwanee, GA 30078
Phone (404) 212-4519 Fax (770) 719-1120 Email: skibiell@olde.com

www.olde-south.com 11111 South Main St. Suite 100, Jonesboro, GA 30236
Phone: (770) 972-4334 Fax: (770) 972-4335 Email: info@olde-south.com

Olde South

Existing Roof Elevation

Skibiell Law
161 S McDonough St
Jonesboro, GA 30236

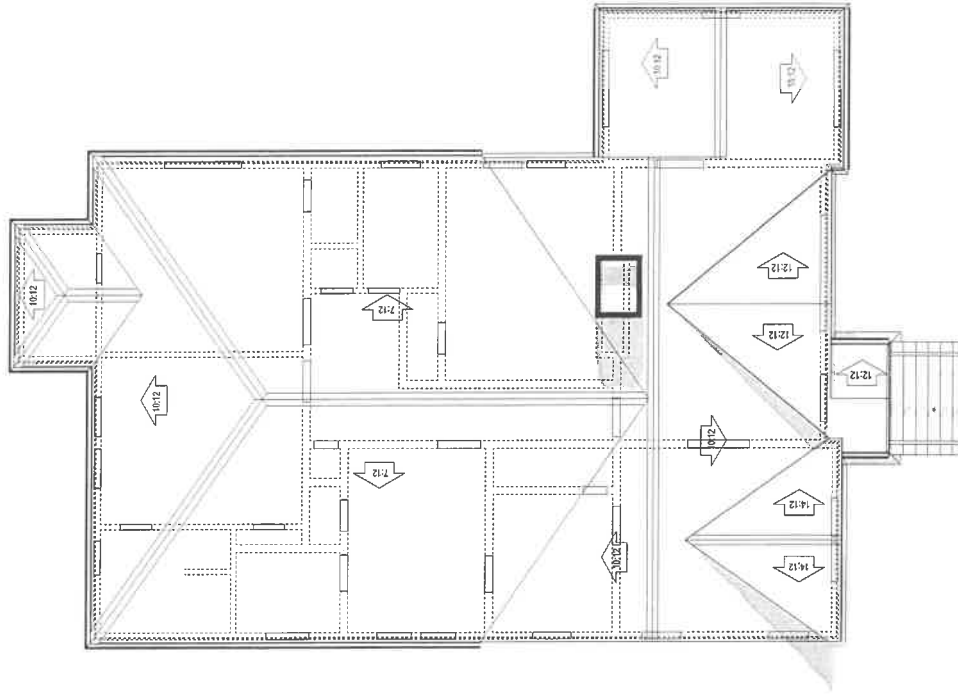
DRAWN BY: JOHN K. HONER

0805 JOB NUMBER: 15.1027

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DATE	REVISION	REVISION

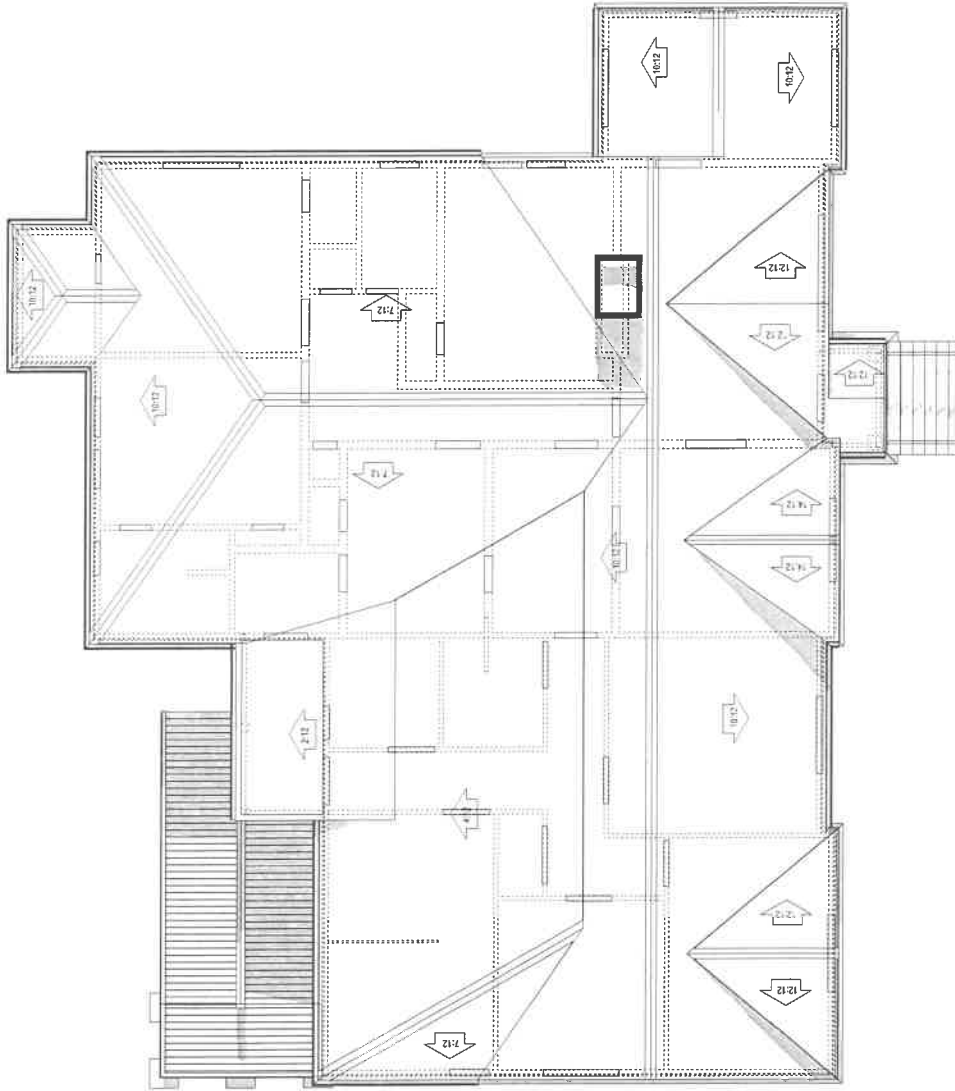
SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE



EXISTING ROOF ELEVATION
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

PROPOSED ROOF ELEVATION
SCALE: 1/4" = 1'-0"



Proposed Roof Elevation

Skibiell Law
161 S McDonough St
Jonesboro, GA 30236

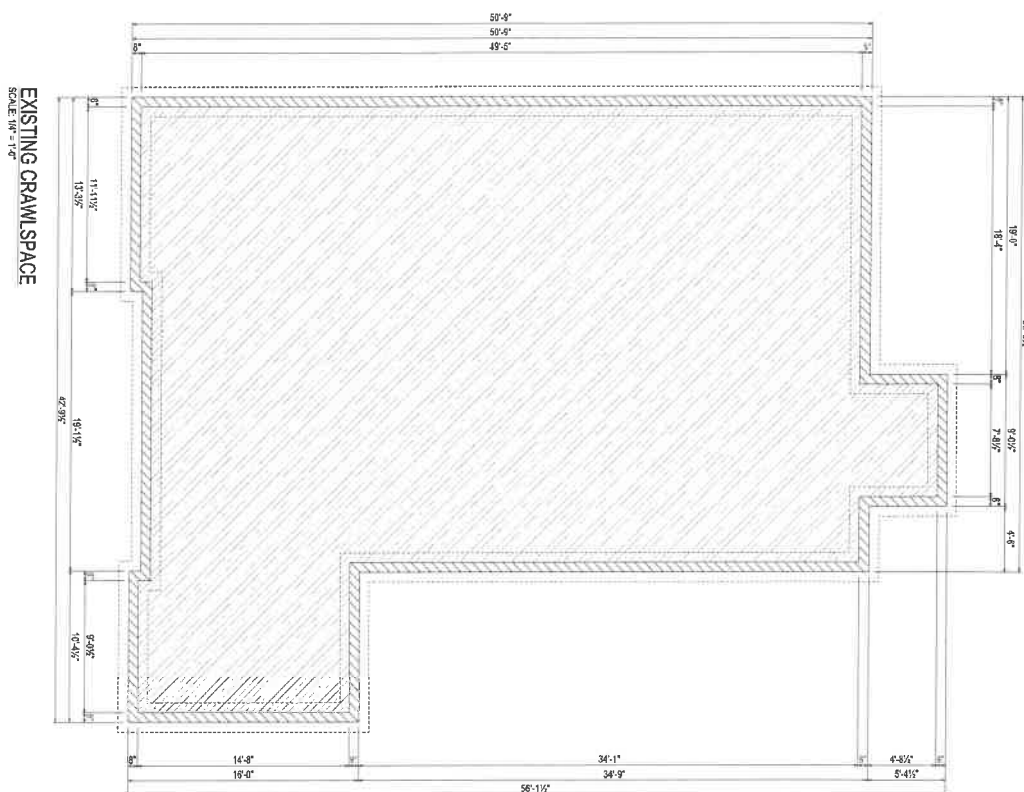
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Older South
DESIGN STUDIO

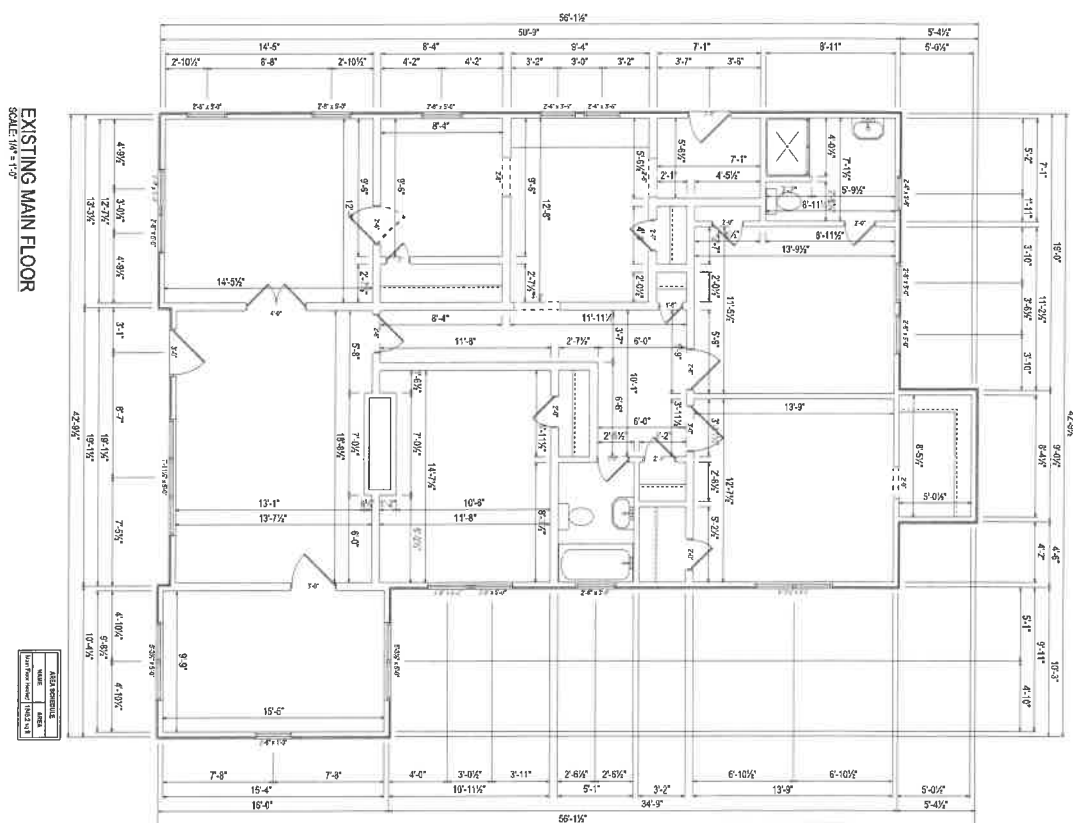
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4.1.c

RELEASED FOR CONSTRUCTION



EXISTING CRAWLSPACE
SCALE: 1/4" = 1'-0"



EXISTING MAIN FLOOR
SCALE: 1/4" = 1'-0"

AREA SCHEDULE	
NAME	AREA
Ward Room Meeting	14023 to 14024

SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

DRAWING
DATE:
JAN 2018

SHEET N
A1

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CSDS JOB NUMBER: 16.1027

DRAWN BY: JOHN K. HONEA

Skibiell Law
161 S McDonough St
Jonesboro, GA 30236

Existing Floor Plan

Olde South

DESIGN STUDIO
www.oldsouthdesign.com 4143 Red Laurel
Phone: (404) 925-1836 Fax: (770) 978-2129 E-

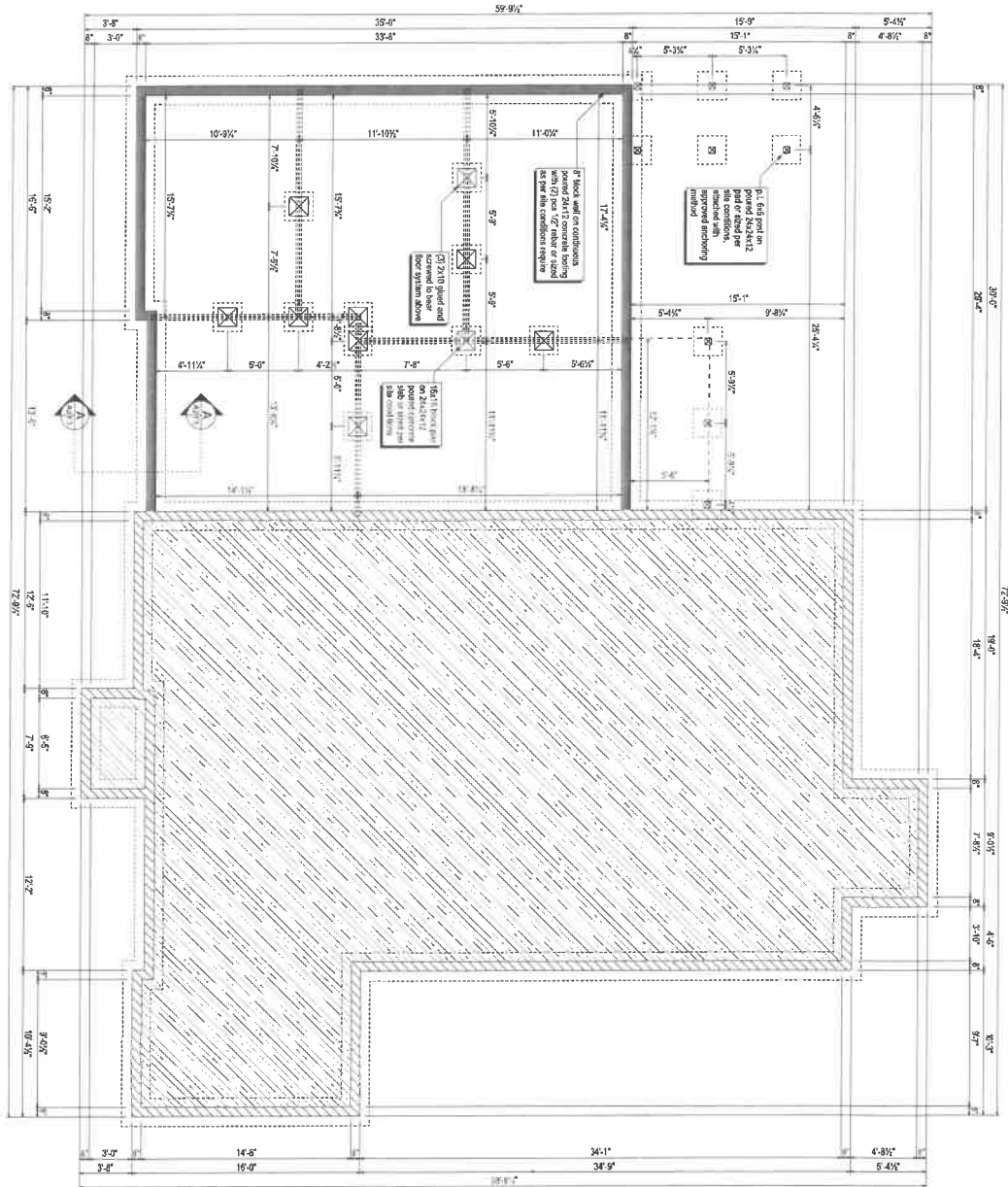
Packet Pg. 22

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4.1.c

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PROPOSED CRAWLSPACE
SCALE 1/8" = 1'-0"



Attachment: Building Plans (1445 : Skibiel Law Office)

SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

PROJECT NO.
DATE
DRAWN BY
CHECKED BY
REVISIONS

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OSDS JOB NUMBER: 16.1027

DRAWN BY: JOHN K. HONEA

Skibiel Law
161 S McDonough St
Jonesboro, GA 30236

Proposed Crawlspace

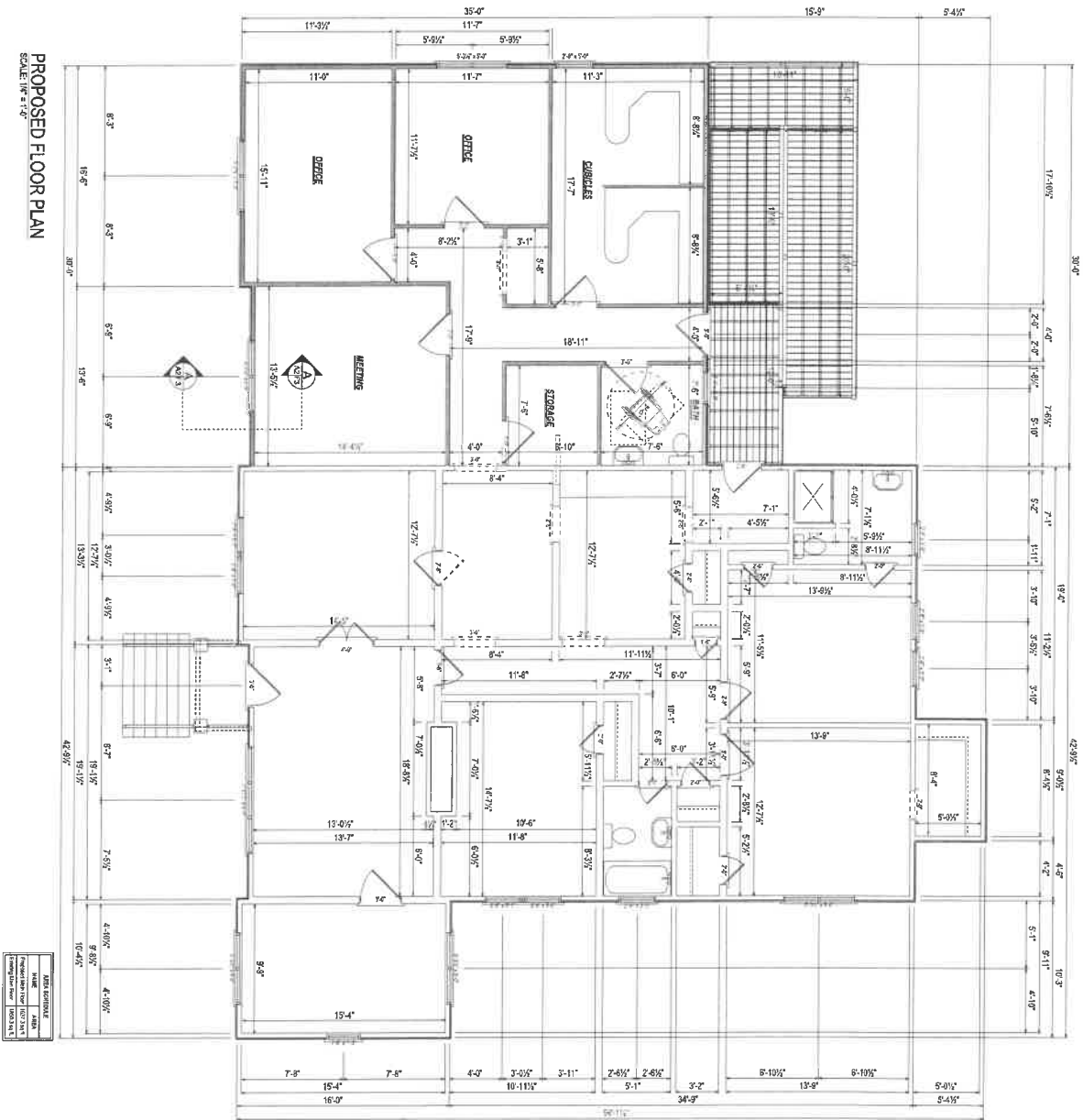
Olde South
DESIGN STUDIO
www.oldesouthdesign.com 4101 Red Lane SE
Phone: (404) 925-4836 Fax: (770) 778-1120 Etc.

Packet Pg. 23

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PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"



Attachment: Building Plans (1445 : Skibiell Law Office)

SOFTPLAN
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FOUNDING
ARCHITECT
A3

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OSDS JOB NUMBER: 16,1027

DRAWN BY: JOHN K. HONEA

Skibiell Law
161 S McDonough St
Jonesboro, GA 30236

Proposed Main Floor

Olde South
DESIGN STUDIO

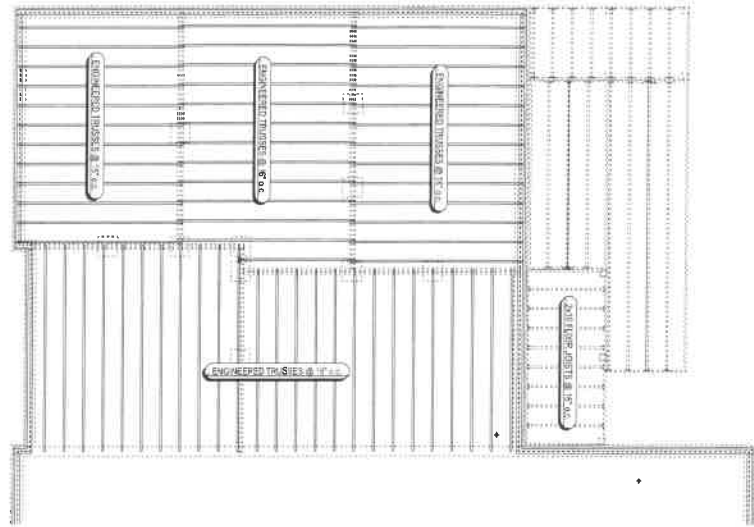
www.olde-south.com 4143 Roswell Rd
Phone: (404) 251-1434 Fax: (770) 79-3121

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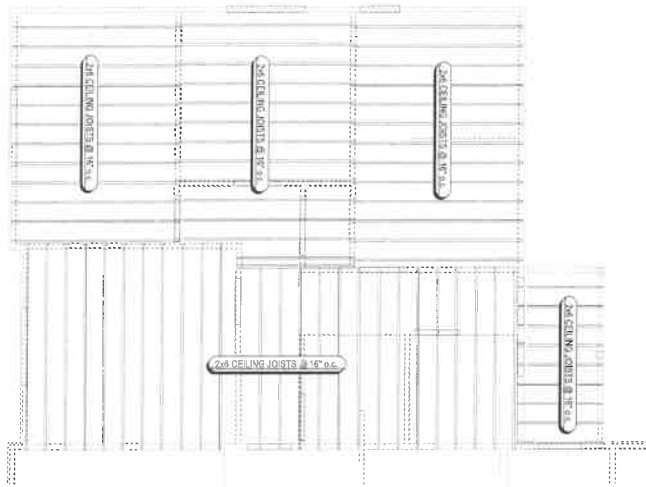
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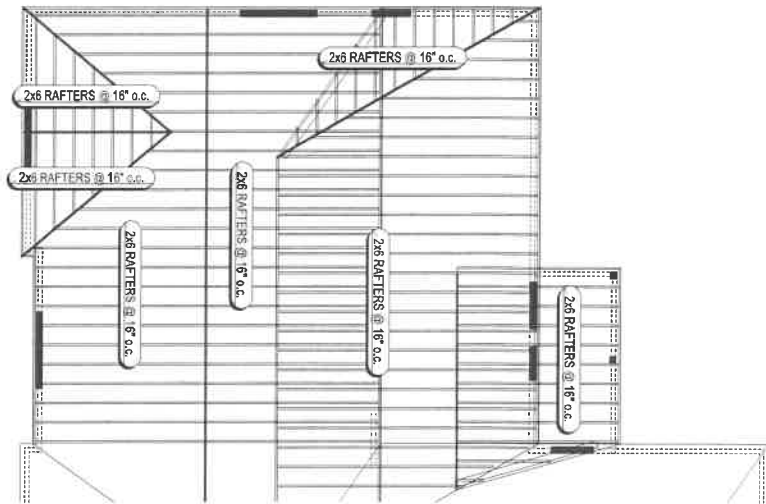
PROPOSED FLOOR PLAN - FLOOR SYSTEM
SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN - CEILING
SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN - ROOF
SCALE: 1/8" = 1'-0"



SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

DRAWING
DATE: 7/20/2020
BY: JKH
SHEET NO.: R1

REVISION	DATE
1. INITIAL	7/20/2020
2. REVISION	
3. REVISION	

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OSD'S JOB NUMBER: 16.1027

DRAWN BY: JOHN K. HONEA

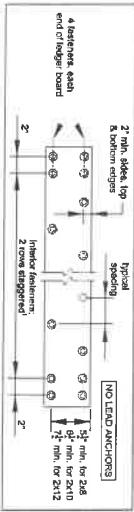
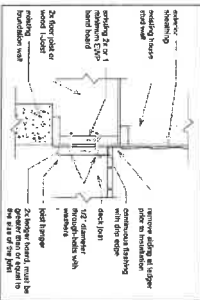
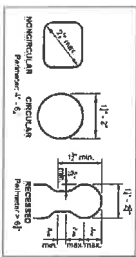
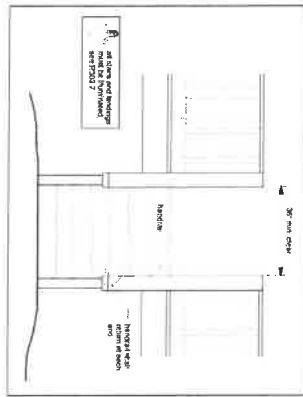
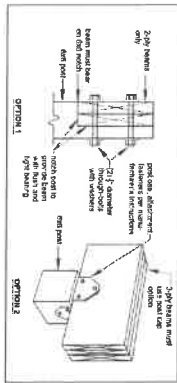
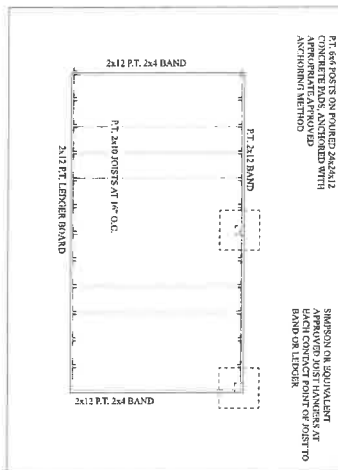
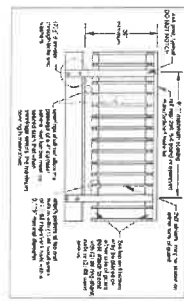
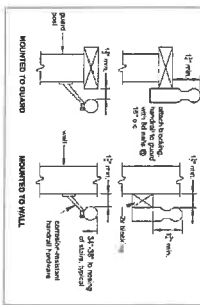
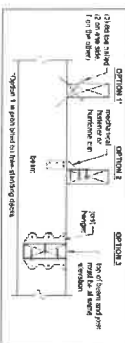
Skibiell Law
161 S McDonough St
Jonesboro, GA 30236

Framing Plan

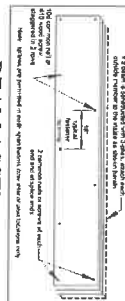
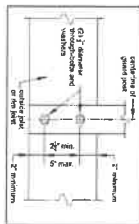
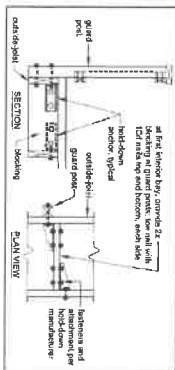
Olde South
DESIGN STUDIO
www.oldesouthdesign.com 410A Red Leaf Rd
Phone: (847) 254-4336 Fax: (773) 978-7129 E-mail: info@oldesouthdesign.com

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LEDGER FASTENER
DETAILLEDGER TO BAND
DETAILHANDRAIL
GEOMETRYMISC. STAIR
REQUIREMENTSPOST TO BEAM
DETAILTYPICAL DECK
FRAMING DETAILTYPICAL GUARD
DETAILHANDRAIL
REQUIREMENTSJOIST TO BEAM
DETAILJOIST TO SIDE
OF BEAM DETAIL

BEAM ASSEMBLY

FRAMING AT CHIMNEY
AND BAYGUARD POST
ATTACHMENTGUARD POST TO
OUTSIDE JOISTSOFTWARE
ARCHITECTURAL DESIGN SOFTWAREDRAWING
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F2

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CDS JOB NUMBER: 16.1027

DRAWN BY: JOHN K. HONEA

Skibiell Law
161 S McDonough St
Jonesboro, GA 30236

Deck Details

Olde South
DESIGN GROUP

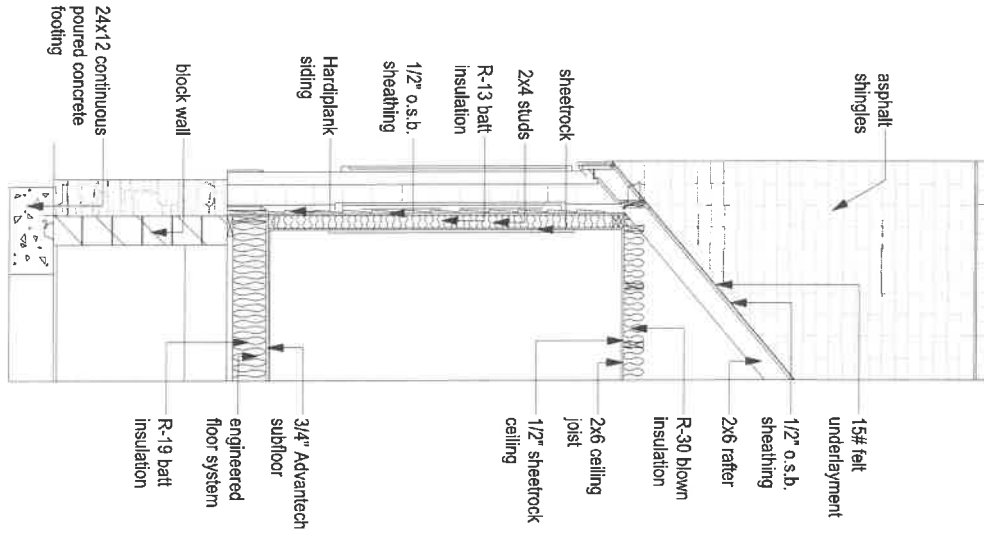
www.oldesouthdesign.com 4845 Oak Lane SE
Phone: (404) 425-4876 Fax: (770) 972-7139 Email: info@oldesouthdesign.com

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CROSS SECTION A
SCALE: 3/8" = 1'-0"



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NO. F3
SHEET NO.

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0505 JOB NUMBER: 16,1027

DRAWN BY: JOHN K. HONEA

Skibiell Law
161 S McDonough St
Jonesboro, GA 30236

Cross Section

Olde South
SECTION 1120
www.olde-south.com 4143 Red Level Rd
Phone: 800-925-8876 Fax: (770) 775-7120



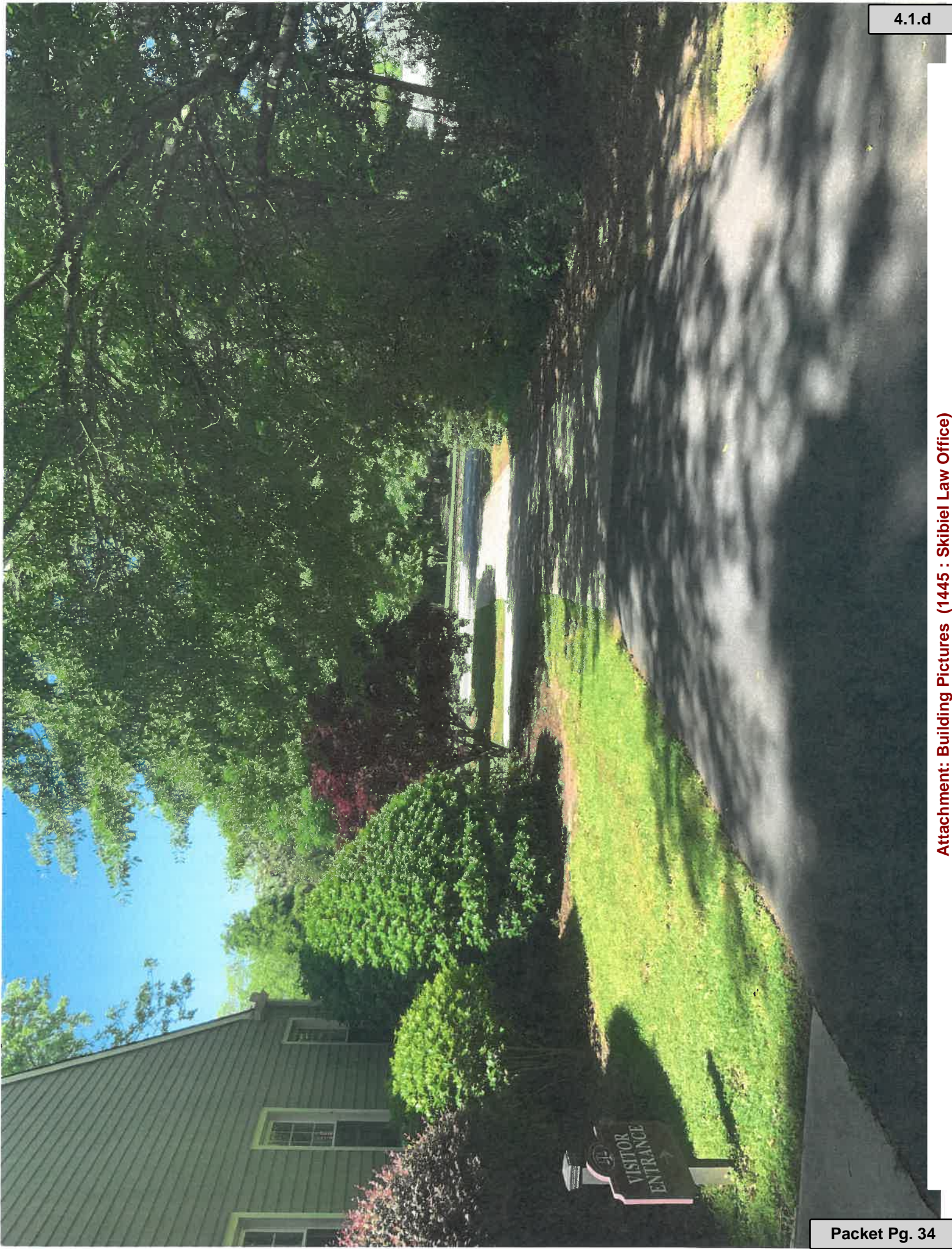
Attachment: Building Pictures (1445 : Skibiell Law Office)







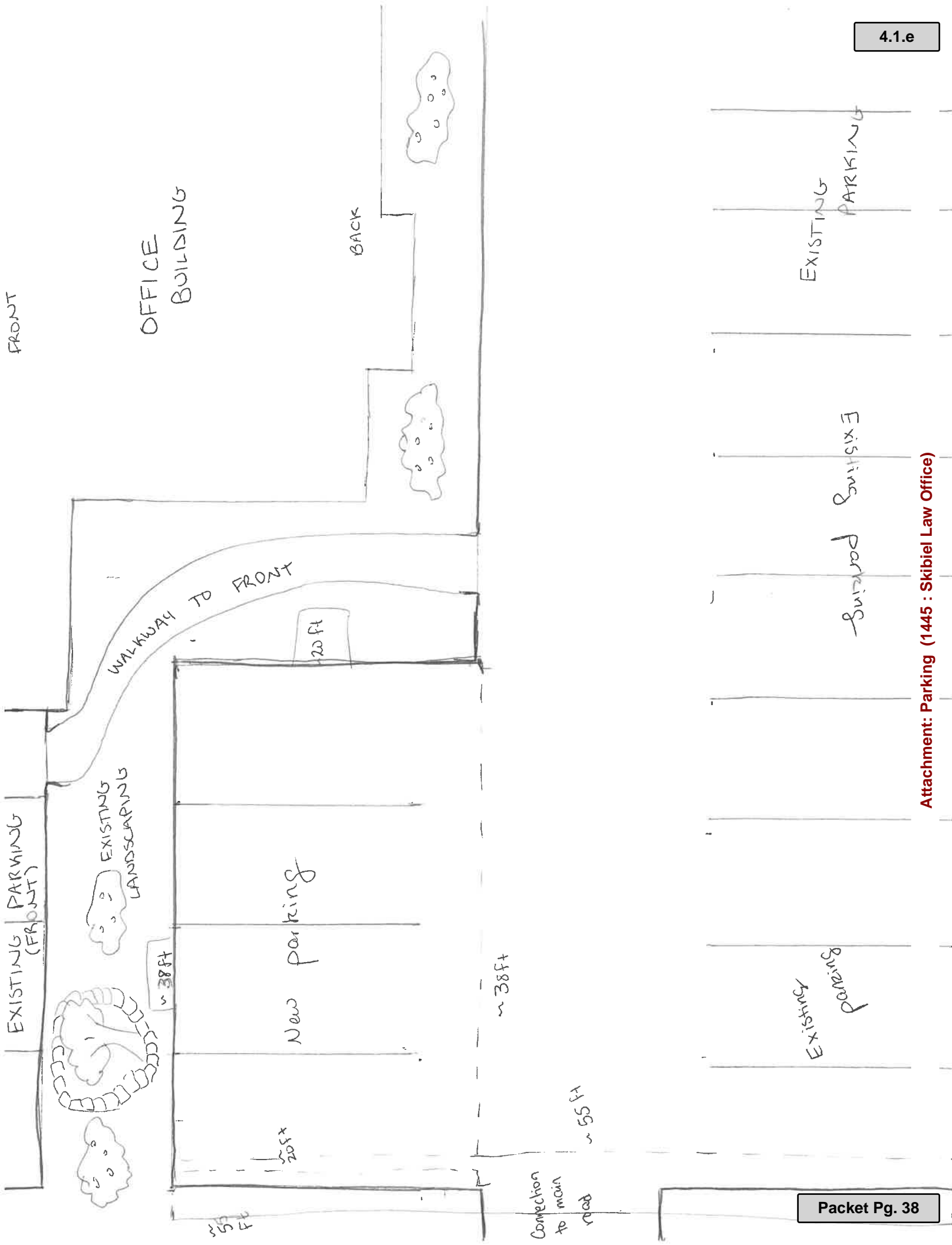






SITE CHANGES: PARKING, DRIVEWAYS & WALKWAYS

- **Site Plan/Sketch** - attached
- **Photographs of Site** – attached





Attachment: Parking (1445 : Skibiell Law Office)



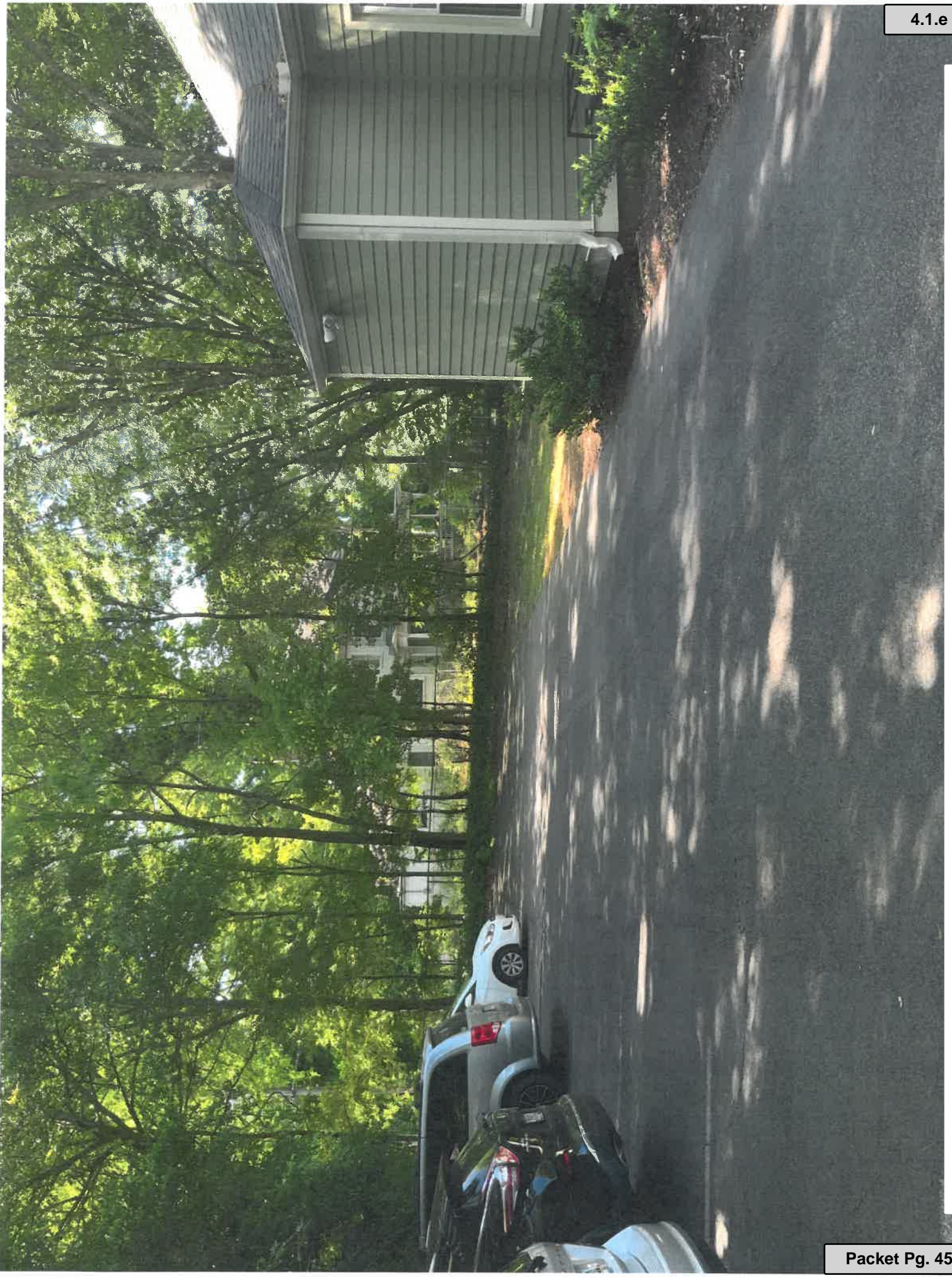


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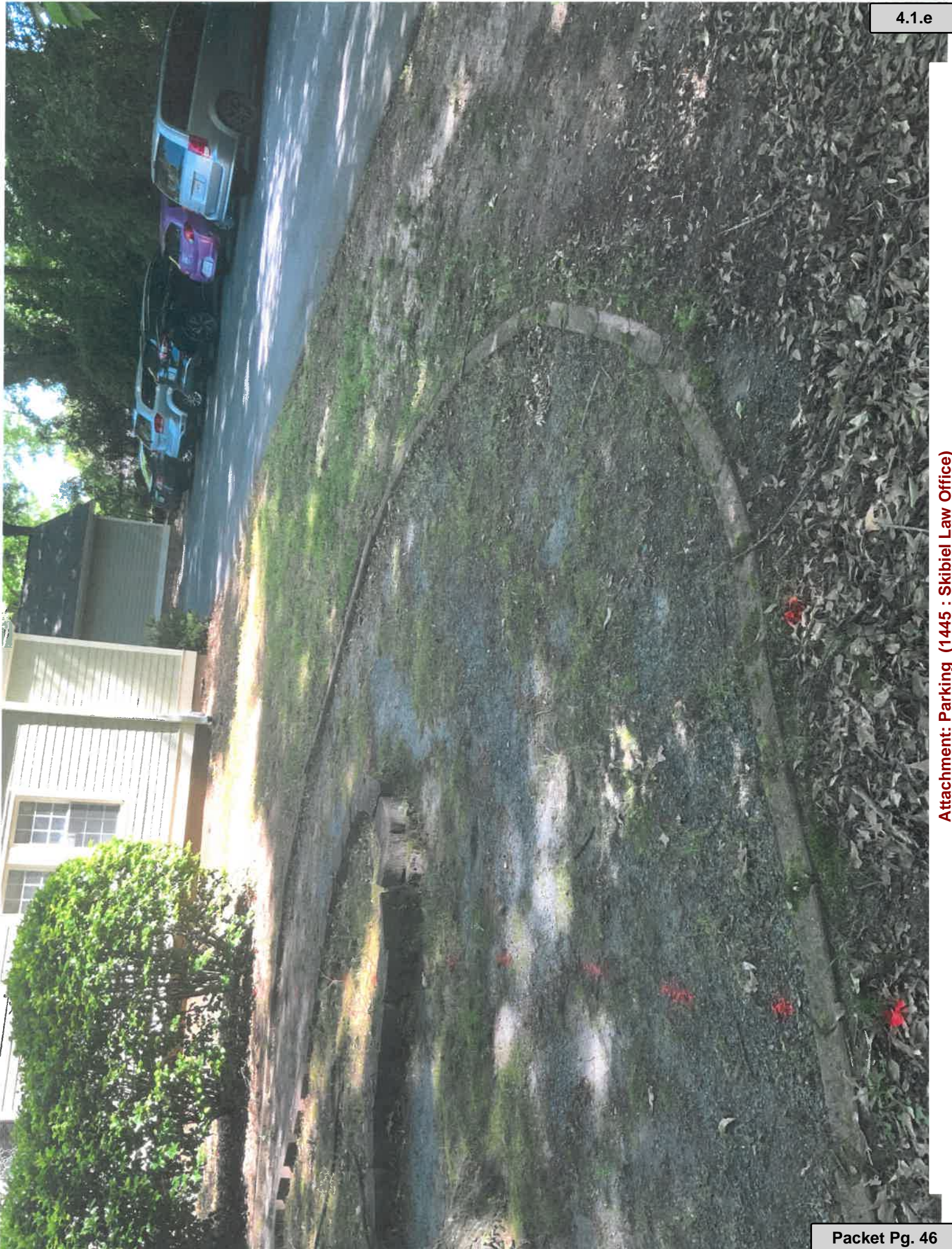


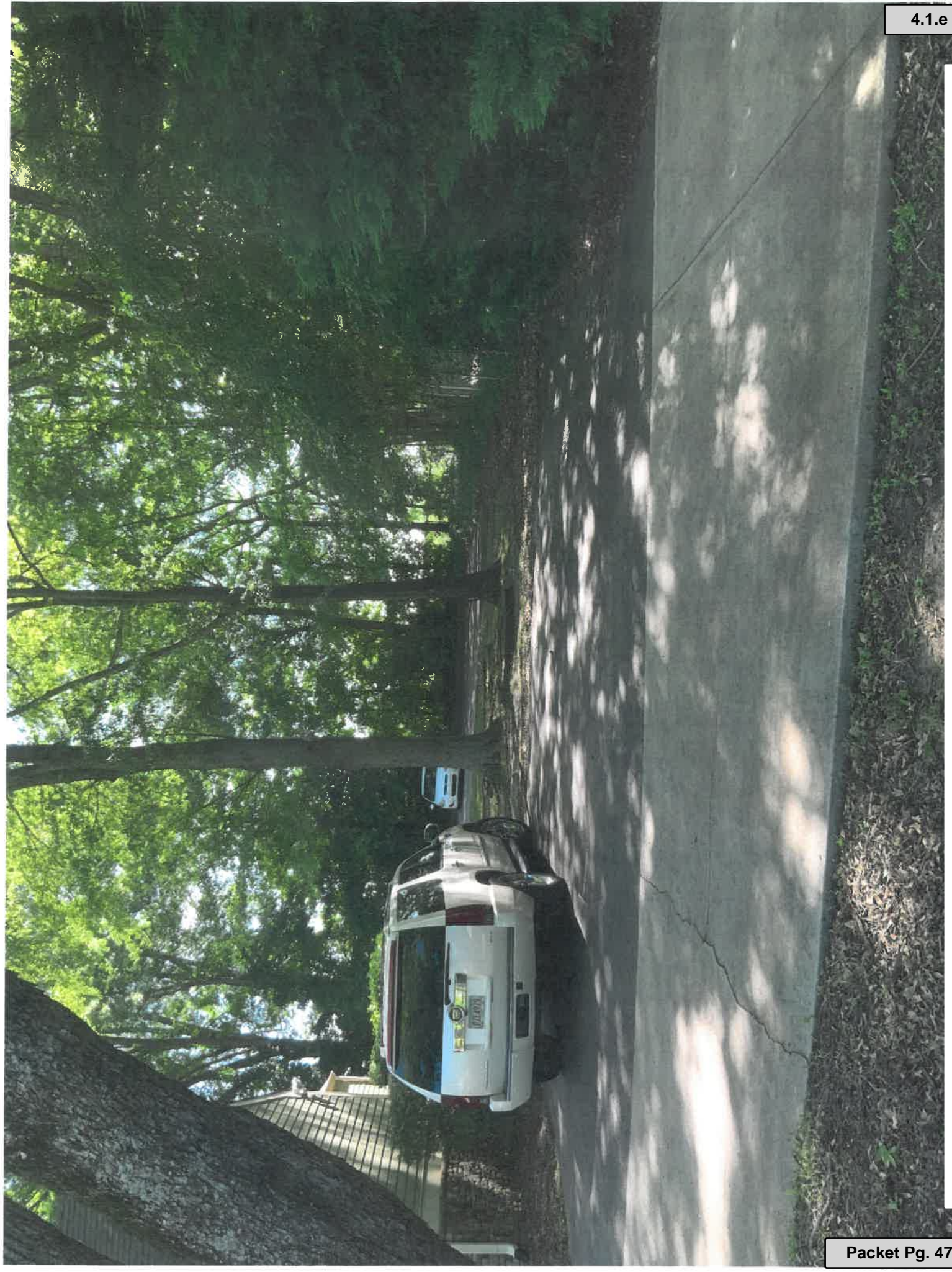






Attachment: Parking (1445 : Skibiell Law Office)





Attachment: Parking (1445 : Skibiell Law Office)



Legal Notice

Public Hearing will be held by the Jonesboro Historic Preservation Commission of the City of Jonesboro at 5:30 P.M. on June 17, 2019 in the Conference Room of the Jonesboro City Hall, 124 North Avenue, Jonesboro, GA, to consider a Certificate of Appropriateness for an addition to an existing commercial building (law office) and parking expansion within the Historic District at 161 South McDonough Street, Jonesboro, GA 30236.

Applicant – Mark A. Skibiel

David D. Allen,
Zoning Administrator / Community Development Director

Publish 06/5/19

Attachment: Legal Ad - Addition (1445 : Skibiel Law Office)