

**CITY OF JONESBORO**  
**Jonesboro Historic Preservation Commission**  
**124 NORTH AVENUE**  
**June 17, 2019 – 5:30 PM**

**NOTE: As set forth in the Americans with Disabilities Act of 1990, the City of Jonesboro will assist citizens with special needs given proper notice to participate in any open meetings of the City of Jonesboro. Please contact the City Clerk's Office via telephone (770-478-3800) or email at [rclark@jonesboroqa.com](mailto:rclark@jonesboroqa.com) should you need assistance.**

**Agenda**

**I. CALL TO ORDER - CHAIRPERSON BETSY WESTER**

**II. ADOPTION OF THE AGENDA**

**III. MINUTES**

1. Consideration of the Minutes of the May 20, 2019 Regular Meeting.

**IV. AGENDA ITEMS**

1. Historic Preservation Commission to consider a Certificate of Appropriateness for Skibiel Law Office for an addition to an existing law office located at 161 South McDonough Street; Parcel No. 13241D H004.

**V. ADJOURN**

**CITY OF JONESBORO  
HISTORIC PRESERVATION COMMISSION  
124 North Avenue Jonesboro, Georgia  
May 20, 2019 – 5:30 P.M.**

**MINUTES**

The City of Jonesboro Historic Preservation Commission held their Regular Meeting on Monday, May 20, 2019. The meeting was held at 5:30 p.m. at the Jonesboro City Hall, 124 North Avenue, Jonesboro, Georgia.

**Commission Present:**

Betsy Wester - Chair  
Tracey Messick – Commissioner  
Cathy Roark – Commissioner  
Jule Segner – Commissioner

**Commission Absent:**

Arlene Charles - Commissioner

**Staff Present:**

David Allen,  
Community Development Director  
Cable Glenn-Brooks,  
Executive Assistant

**I. Meeting was called to order by Chair Betsy Wester at 5:30 pm.  
Secretary Cathy Roark recorded the minutes.**

**II. AGENDA ITEMS**

**Approval of Agenda:** Jule Segner made a motion to adopt agenda, seconded by Cathy Roark. The motion carried unanimously.

HISTORIC PRESERVATION COMMISION MEETING MINUTES 05/20/2019

**III. OLD BUSINESS:** Regarding the Expiration of Certificate of Appropriateness for Danielle Ramos-Puente, rehabilitation of and addition to a commercial business located at 178 North McDonough Street; Parcel No. 13240D A031.

**Motion made by Tracey Messick to contact Danielle Ramos-Puente to put her on notice of expiration of Certification of Appropriateness granted earlier. Also, to be informed that Commission has granted her an extension for sixty (60) days with active construction to begin within said extension period. Further, Ms. Ramos-Puente to be informed of the benefits of joining the Main Street program and grant options. Seconded by Jule Segner. Motion carried unanimously.**

**IV. NEW BUSINESS:**

**A.** Upon motion by Tracey Messick, seconded by Betsy Wester, the minutes from the April 15, 2019 meeting were approved.

**B.** Historic Preservation Commission to consider a Certificate of Appropriateness as requested by Universal Business Unlimited for a replacement sign panel located at 124 South Main Street; Parcel No. 13241D 010 (Historic District)

**Motion made by Betsy Wester to approve the request for a replacement sign panel located at 124 South Main Street. Seconded by Tracey Messick. Motion carried unanimously.**

**C.** Historic Preservation Commission to consider a Certificate of Appropriateness as requested for Dixon Residence, accessory building located at 124 Spring Street; Parcel No. 13240D C024.

**Motion made by Tracey Messick to approve the request for accessory building, said accessory building to be painted complimentary color to residence with a ramp and skirting installed covering underpinning. Landscaping also to be planted around accessory building. All items to be completed within thirty (30) days. Seconded by Cathy Roark. Motion carried unanimously.**

D. Historic Preservation Commission to consider a Certificate of Appropriateness for House of Dawn, a new residence (second chance home) located at 192 South Main Street; Parcel No. 05241B B007.

**Motion made by Jule Segner to approve the request for new residence located at 192 South Main Street with the stipulations that foundation be bricked and that columns be bricked one third to one half way up columns. Seconded by Tracey Messick. Motion carried unanimously.**

E. Historic Preservation Commission to consider a Certificate of Appropriateness for Millar Law Firm, for a replacement sign panel located at 151 North Main Street; Parcel No.13241B B005.

**Motion made by Jule Segner to approve the request for a replacement sign panel located 151 North Main Street with the stipulation that replacement panel fits flush against brick sign frame (current replacement panel already in existence and being moved from another address to said address and if failing to fit flush against brick sign frame, being replaced with exact signage in smaller size), landscaping be planted in area surrounding the frame and existing external lighting be maintained. Seconded by Betsy Wester. Motion carried unanimously.**

There being no further business, motion by Jule Segner to adjourn, seconded by Betsy Wester. Motion carried unanimously.

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BETSY WESTER – CHAIR

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CATHY ROARK – SECRETARY

HISTORIC PRESERVATION COMMISION MEETING MINUTES 05/20/2019



**CITY OF JONESBORO, GEORGIA COUNCIL**  
**Agenda Item Summary**

**Agenda Item #**

**-1**

**4.1**

**COUNCIL MEETING DATE**

June 17, 2019

**Requesting Agency (Initiator)**

Office of the City Manager

**Sponsor(s)**

Community Development Director Allen

**Requested Action** (*Identify appropriate Action or Motion, purpose, cost, timeframe, etc.*)

Historic Preservation Commission to consider a Certificate of Appropriateness for Skibiel Law Office for an addition to an existing law office located at 161 South McDonough Street; Parcel No. 13241D H004.

**Requirement for Board Action** (*Cite specific Council policy, statute or code requirement*)

City Code Section 86-103 H-2 Historic District Standards; Secretary of Interior Historic Design Standards

**Is this Item Goal Related?** (*If yes, describe how this action meets the specific Board Focus Area or Goal*)

Yes

Beautification, Historic Preservation

**Summary & Background**

(*First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.*)

**Agency recommendation – Approval of addition:** Mr. Skibiel has had his law office at 161 South McDonough Street for over 10 years. Since that time, he has obtained approvals to remodel the building, install new signage, and extend the parking lot. The refurbished property is a quality development, which complements the character of the Historic District. Recently, Mr. Skibiel applied to construct a 30-foot wide by 35-foot deep (1000 square foot) addition to the northern side of the building. The addition will match the exterior style and materials of the existing building. Also, there will be 5 additional parking spaces added to the back, and the driving circulation and entrance to the parking will be re-oriented to the south, since the access drive to the north will be blocked by the new addition.

The codification of the Design Review Commission authorizes the Commission to review such applications:

*Make recommendations to the Historic Preservation Commission regarding Certificate of Appropriateness applications for any exterior modifications to existing developments, buildings and structures (including signs) within the Historic Districts and Historic Residential Overlay, prior to the scheduled Historic Preservation Commission hearing on the applications.*

The Historic Preservation Commission is also authorized to review and approve exterior modifications (even color) to buildings within the Historic District, per Code Section 86-103.

Also, Per Section 86-103 of the H-2 Historic District:

*(I) Design standards. In order to preserve the physical character of existing historic structures in the H-2 historic district, every effort shall be made to adapt the property in a manner that complements the historic character of the area when making exterior alterations to the existing building, site, or environment. New construction shall also be appropriate for the district in design, placement, and scale. **The previous refurbishment of the existing building and grounds complements the character of the Historic District. The addition will exhibit the same style and materials.***

*k. Walks and drives.*

*1. Historic walks and drives shall be maintained.*

*2. New walks and drives shall use traditional placement and materials that are appropriate to the dwelling and to the district. The use of gravel is prohibited. Parking shall be required to be asphalt-paved.*

*3. Parking shall be located to the rear of the dwelling or to the side behind the facade line of the dwelling. **Parking has always been located in the front and the side.***

*l. Other features.*

*1. Mechanical systems (including but not limited to air conditioning units and satellite dishes), recreational equipment (including but not limited to*

**FOLLOW-UP APPROVAL ACTION (City Clerk)**

**Typed Name and Title**

Ricky L. Clark, City Manager

**Date**

June, 17, 2019

**Signature**

City Clerk's Office

pools and semi-permanent play structures), and decks shall be placed to the rear of the property so as to minimize visibility from the public. Any mechanical systems that must be located on the roof shall be placed to the rear of the roof. **Already in rear, not on roof.**

4.1

2. Skylights shall be located to the rear of the roof and shall not be within public view. **No skylights.**
3. Compatible fencing or vegetation shall be used to screen features that are located to the rear of the property. **So noted.**
4. Utility meters shall be placed unobtrusively.
5. For commercial or office-zoned properties in the district, dumpsters shall be placed to the rear of buildings and shall be screened from public view by appropriate fencing, vegetation or walls.

(2) New construction. New buildings shall be compatible with surrounding historic structures and shall contribute to the character of the area. Prevalent architectural styles in the district shall guide new development. (See article VII, Architectural style and scale, for guidance on specific historic styles and building materials traditionally found in Jonesboro.)

a. Scale and form.

1. New buildings shall be compatible with the existing scale and form of nearby historic homes in terms of foundation and story heights, roof height, shape and pitch, number of stories, width, and depth.
2. The maximum heated floor area of infill development shall not exceed 150 percent of the average heated floor area of single family detached dwellings located on the same street for a distance of 600 feet in either direction. **Not applicable.**

3. The maximum building height for infill development shall be determined by the maximum building height of single family detached dwellings located on the same street for a distance of 600 feet in either direction. **Height matches existing building.**

b. Materials and color.

1. The predominant exterior siding material or a modern material that creates a similar texture or appearance shall be used. **So noted.**
2. The use of brick is encouraged for chimneys.
3. Prohibited exterior materials include synthetic materials with a false wood grain, vinyl siding, brick veneer, concrete block, and the use of materials that do not complement the architectural or historic style of the structure. **Hardie Plank and stone will be used, as per existing building.**
4. Brick and paint colors shall be compatible with the style of the structure and with surrounding historic structures. **Match rest of building.**
5. Neon colors are prohibited. **Just earth tone colors used.**
6. Primary colors may be acceptable for trim or accents pending review and approval by the director of downtown development. **Just earth tone colors used.**

c. Doors and windows.

1. Window and door placement, shape, and dimensions shall be compatible with the pattern on nearby historic structures. **Match rest of building.**
2. Blank wall facades are discouraged. **None**

d. Additions.

1. Additions shall be placed away from public view on the rear elevation or on a side elevation well behind the facade. **Addition will be on side, flush with rest of building. It will be hard to distinguish addition from rest of building once installed. The building is a generous distance off the road, and the property is well vegetated.**
2. Additions shall not obscure the form, orientation, or symmetry of the original structure, nor shall they exceed the degree of ornamentation of the original structure. **So noted.**
3. Matching or compatible siding and roofing materials shall be used. **Match rest of building.**
4. Matching or compatible windows and doors shall be used. **Match rest of building.**
5. The removal of a significant portion of original materials to construct an addition is prohibited. **So noted.**

(1) Minimum lot area: None **Not changing**(2) Minimum lot width: 50 feet **Not changing**

(3) Minimum setbacks:

Front: Building setbacks that have been established over time by historic structures, as listed on the most recent inventory of historic buildings kept on file at the office of downtown development, shall establish the minimum front setback. **Will be flush with front of existing building.**

Side: Five feet, except when abutting a residential zoning district where there is no intervening right-of-way, the setback requirement is ten feet.

**The subject property abuts commercial properties on the northern and southern sides. The current distance from the existing building to the northern side property line is 39 feet. With the new addition going 30 feet towards that property line, the resulting side setback will be 19 feet.**

Rear: 20 feet **Will not extend beyond rear of existing building.**

(4) Maximum height: Three stories or 35 feet **Match rest of building.**(5) Minimum height: Two stories **Match rest of building.**

There are no maximum impervious cover standards listed in this district.

Once constructed, the addition should be a seamless complement to a quality building in the Historic District. The parking area will still largely be in the rear of the property. Staff would like to see the large trees at the southern side of the building and parking be preserved. The total increase in impervious area (addition plus parking) will be approximately 1850 square feet. The applicant has shown a new access from the rear parking lot to adjacent Key Street, but the feasibility of this proposal will have to be discussed with City of Jonesboro Public Works.

**Design Review Commission, 6.5.19: Barbara Casey-Lane made a motion to accept staff recommendation for the 1000 square feet addition, seconded by Joel Aviles, motion carried unanimously.**

Fiscal Impact	(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)
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Private Owner

<b>Exhibits Attached</b> (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)
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- Hist. Application
- Property Info
- Building Plans
- Building Pictures
- Parking
- Legal Ad - Addition

<b>Staff Recommendation</b> (Type Name, Title, Agency and Phone)
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<b>Approval</b>
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## CITY OF JONESBORO

124 North Avenue  
Jonesboro, Georgia 30236  
[www.jonesboro.ga.com](http://www.jonesboro.ga.com)

### JONESBORO HISTORIC PRESERVATION COMMISSION

#### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The Jonesboro Historic Preservation Commission or J.H.P.C. is tasked with insuring the Historic District's Preservation and standards are met according to the City of Jonesboro Codes and Ordinances. This application and approval thereof does not constitute an approval to begin construction. It is a review of Chapter 86 – Zoning, Section 86-102 (H-1) Historic District and Section 86-103 (H-2) Historic District. Once the applicants meets Historic District Code, the process of approval of plans, land disturbance, and other compliance measures must be met. Please contact the Jonesboro City Hall (770) 478-3800 and speak with the City Clerk for further information.

#### Property Information:

Address: 135 ~~Hanley~~ Point 161 South McDonough St Jonesboro, GA

Owner: Mark A. Skibiel

*Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.*

#### Applicant Information:

Applicant Name: Mark A. Skibiel

Mailing Address: 161 South McDonough ST Jonesboro, GA

Email Address: MARK@SKIBIELAW.COM Telephone: 404-550-6333

- Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Residential - \$35.00

Commercial: \$50.00

Sign: \$10.00

## PROJECT INFORMATION

### Type of Project (Check all that apply)

#### Construction

- New building
- Additional building
- Minor Exterior Change
- Major Building Restoration, Rehabilitation, or Remodeling  
*Adding to existing Bldg*

#### Site Changes

- Parking area(s), Driveway(s), or Walkway(s)
- Fence(s) or Wall (s)
- Sign(s)
- Mechanical System(s)
- Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

#### Demolition or Relocation

- Primary Building
- Outbuilding
- Site Feature

## APPLICATION REQUIREMENTS

Applicants must include support materials as noted to be considered (i.e. plans, schematics, images, dimensions, surrounding structures). Incomplete applications will not be reviewed.

## APPLICATION DEADLINE & REPRESENTATION

Applications must be delivered to the Jonesboro City Hall at least eighteen (18) days preceding the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis. Applicant's attendance is required: A presentation with visuals and detailed information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

## REQUIRED MATERIALS

The following materials are required for a complete application. Incomplete applications WILL NOT be reviewed.

### A. New Buildings and Additions:

- i. Description of Project - adding 1000 sq ft / additional parking
- ii. Site Plan ✓
- iii. Architectural Elevations ✓
- iv. Floor Plan ✓
- v. Description of Materials ✓
- vi. Photographs of Proposed Site ✓

### B. Major Restoration, Rehabilitation, or Remodeling:

- i. Architectural Elevations or Sketches
- ii. Description of Project
- iii. Description of Materials
- iv. Photographs of Proposed Site

### C. Minor Exterior Changes:

- i. Description of Project
- ii. Description of Materials
- iii. Photographs of Existing Building

### D. Site Changes: Parking, Driveways & Walkways:

- i. Site Plan or Sketch of Site
- ii. Description of Materials
- iii. Photographs of Site

### E. Site Changes: Fences, Walls, and other Site Features:

- i. Site Plan or Sketch of Site
- ii. Architectural Elevations or Sketches
- iii. Description of Materials
- iv. Photographs of Site

### F. Site Changes: Signs:

- i. Architectural Elevation or Sketch (For signs located on the building)
- ii. Site Plan or Sketch of Site (For free standing signs)
- iii. Description of Materials and Illumination

**PROJECT AND MATERIALS DESCRIPTION**

I want to add 1000 sq ft to my existing law office. A copy of the Architects plans are included. The materials used both inside & out will be the same materials used on the existing building. Hardi plank exterior with stack stone base. The inside will have similar fir - hardwood floors and 9 ft ceilings. Please see attached pictures of inside & outside structures.

We will also be adding 5 additional parking spaces to the rear (well beyond the facade) of the building

**(Add Additional Sheets as Necessary)**

Mark Skibiel

**PRINT NAME**

5/6/19

**DATE**



**SIGNATURE**

50.00

**FEE AMOUNT**

**(Application Received By)**

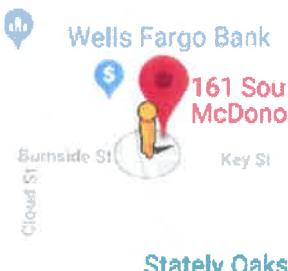
**Google Maps 171 S McDonough St**

Image capture: Feb 2018 © 2019 Google

Jonesboro, Georgia



Street View - Feb 2018



# Real Property Records Search

[New Search](#)
[Current Year Assessment Notice](#)
[Sales Data](#)
[Previous Parcel](#)
[Next Parcel](#)

## Clayton County Property Card For Year 2019

SKIBIEL MARK A  
161 SOUTH MCDONOUGH ST  
JONESBORO, GA 30236

PARCEL ID . . 13241D H004  
LOCATION . . 161 S MCDONOUGH ST

LEGAL DESC DISTRICT 4 JONESBORO  
NBRHOOD JB023 JONESBORO 2NDRY INT LOT

DESCRIPTION NOT IN SUBDIVISION - ALL UTILITIES

DESCRIPTION PAVED ROAD  
ROAD FRONT . . 156.0 184.0

SINGLE OFFICE CLASS C

### SALES HISTORY

DEED BOOK	PAGE	SALE DATE	SALES INSTRUMENT	DISQUALIFIED	SALE AMT	DEED NAME
5795	295	7/15/02	WARRANTY DEED	QUALIFIED	185,000	SKIBIEL MARK A
2245	242	1/04/95	WARRANTY DEED	RELATED		WHITLOCK CARL L JR
0963	106	1/01/79	WARRANTY DEED	.		WHITLOCK LESTER

### LAND SEGMENTS

LND#	ZONE	LAND TYPE/CODE	LAND QTY
1	CB	SF 1	29,055.000

MAP ACRES . . 667

### IMPROVEMENT # 1 MISC IMPR-Y

GROUND FLOOR AREA . .	ACT/EFF YR/AGE . . 1940 1981 38		
	DESCRIPTION . . . . ATTORNEY OFFICE		
	% COMP	SQ FOOTAGE	STORY
BUILDINGS	100	1757.00	

### IMPROVEMENT # 2 MISC IMPR-Y

GROUND FLOOR AREA . .	ACT/EFF YR/AGE . . 1940 79		
	DESCRIPTION . . . . UTILITY BLDG		
	% COMP	SQ FOOTAGE	STORY
BUILDINGS	100	484.00	

TOTAL PARCEL VALUES	LAND / OVR	IMPROVEMENTS / OVR	2019 VALUE	2018 VALUE
APV . . . . .	58,000	160,500	218,500	218,500

## NEW BUILDINGS AND ADDITIONS

Attachment: Building Plans (1445 : Skibiel Law Office)

- **Description of Project:** Addition of 1000 square feet to law office
- **Site plan** - attached
- **Architectural Elevations** –attached
- **Floor plan** - attached
- **Description of Materials:** Materials used will be the same as those used on existing building- hardy plank exterior with stack stone base. Inside- similar trim, hardwood floor, 9 ft ceiling – photos attached
- **Proposed Site photographs** - attached

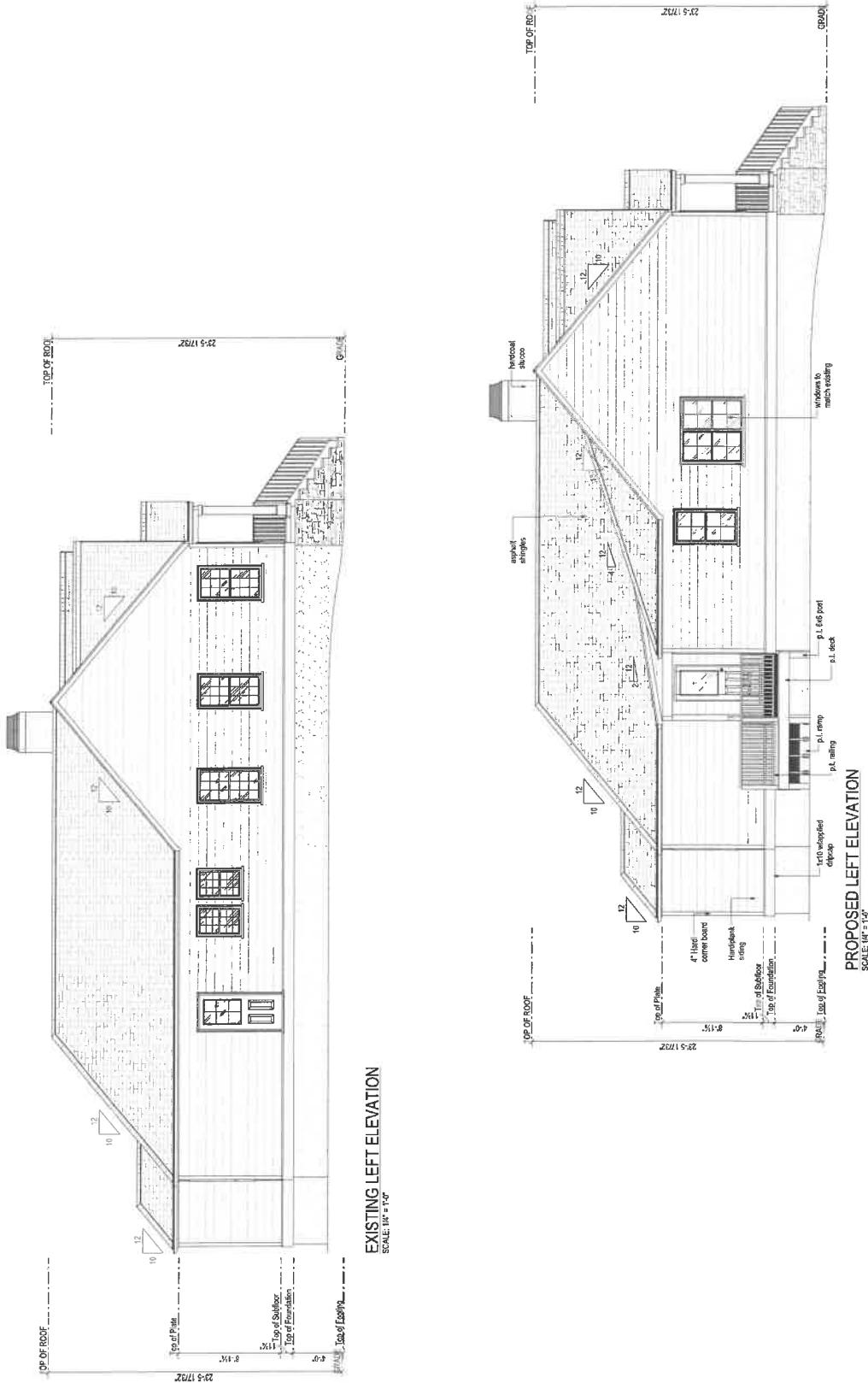


**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

**RELEASED FOR CONSTRUCTION**



<p>Olde South</p>		<p>Front Elevations</p> <p>Skibiel Law 161 S McDonough St Jonesboro, GA 30236</p>		<p>ALL RIGHTS RESERVED .....COPYRIGHT NOTE.....</p> <p>Designs, drawings, and other materials contained in this document are the sole property of the designer. They are to be reproduced, copied, or otherwise distributed only with the express written consent of the designer. The preparation of these plans and designs is the result of the designer's professional judgment and skill. The designer reserves the right to make changes in the plans and designs at any time and for any reason. The designer is not responsible for any errors or omissions in these plans and designs. The designer is not responsible for any damage or loss resulting from the use of these plans and designs. The designer is not responsible for any damage or loss resulting from the use of these plans and designs.</p>		<p>DATE: _____ NAME: _____ ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____</p>	
<p>OS 5 JOB MEMBER 18702</p> <p>DRAWN BY: JOHN R. HOGUE</p>		<p>161 S McDonough St Jonesboro, GA 30236</p>		<p>Designs, drawings, and other materials contained in this document are the sole property of the designer. They are to be reproduced, copied, or otherwise distributed only with the express written consent of the designer. The preparation of these plans and designs is the result of the designer's professional judgment and skill. The designer reserves the right to make changes in the plans and designs at any time and for any reason. The designer is not responsible for any errors or omissions in these plans and designs. The designer is not responsible for any damage or loss resulting from the use of these plans and designs. The designer is not responsible for any damage or loss resulting from the use of these plans and designs.</p>		<p>DATE: _____ NAME: _____ ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____</p>	
<p>161 S McDonough St Jonesboro, GA 30236</p>		<p>Front Elevations</p> <p>Skibiel Law 161 S McDonough St Jonesboro, GA 30236</p>		<p>ALL RIGHTS RESERVED .....COPYRIGHT NOTE.....</p> <p>Designs, drawings, and other materials contained in this document are the sole property of the designer. They are to be reproduced, copied, or otherwise distributed only with the express written consent of the designer. The preparation of these plans and designs is the result of the designer's professional judgment and skill. The designer reserves the right to make changes in the plans and designs at any time and for any reason. The designer is not responsible for any errors or omissions in these plans and designs. The designer is not responsible for any damage or loss resulting from the use of these plans and designs. The designer is not responsible for any damage or loss resulting from the use of these plans and designs.</p>		<p>DATE: _____ NAME: _____ ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____</p>	

**Attachment: Building Plans (1445 : Skibiel Law Office)**


Oldie South	Left Elevations	161 S McDonough St Jonesboro, GA 30236	ALL RIGHTS RESERVED The property of the designer and copyright holder. Unauthorized copying of this drawing is illegal and is a violation of Federal Law. Copying or distribution of this drawing or any portion thereof without the express written permission of the copyright holder is illegal.	DATE: _____ NAME: _____ FIRM: _____ ADDRESS: _____
0003 JG NUMBER: 161627	DRAWN BY: JOHN A. WOOD	161 S McDonough St Jonesboro, GA 30236	ALL rights reserved. This drawing contains confidential information of the designer and is the property of the designer. It is to be kept secret and is not to be reproduced, copied or distributed. Those who handle this drawing are cautioned to be responsible and not to let it fall into the wrong hands. It is to be handled with care and respect.	DATE: _____ NAME: _____ FIRM: _____ ADDRESS: _____
COPYRIGHT NOTICE		Designs by JOHN A. WOOD		DATE: _____ NAME: _____ FIRM: _____ ADDRESS: _____





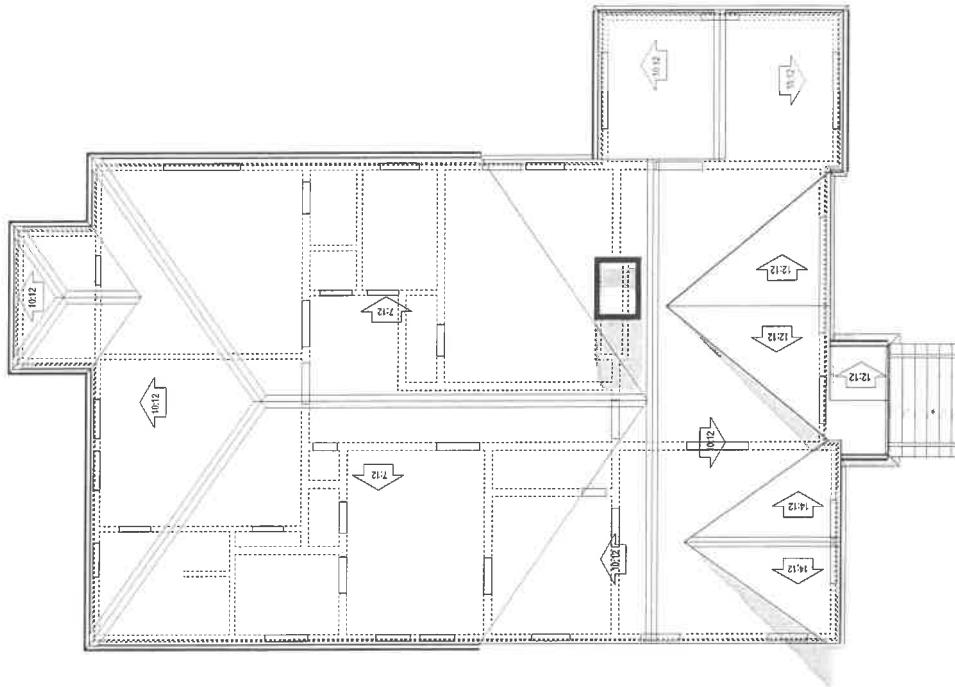
SHEET NO.	1
DRAWING DATE:	2010/01/01

RELEASED FOR CONSTRUCTION

Packet Pg. 20



**EXISTING ROOF ELEVATION**  
SCALE:  $1/4" = 1'-0"$





RELEASED FOR CONSTRUCTION

Packet Pg. 21

**PROPOSED ROOF ELEVATION**  
SCALE: 1/4" = 1'-0"

Phone: (503)925-1516 Fax: (503)925-1720 Email: [kthomas@willcom.com](mailto:kthomas@willcom.com)

## Old South

### Proposed Roof Elevation

161 S McDonough St  
Sparta, GA 30236

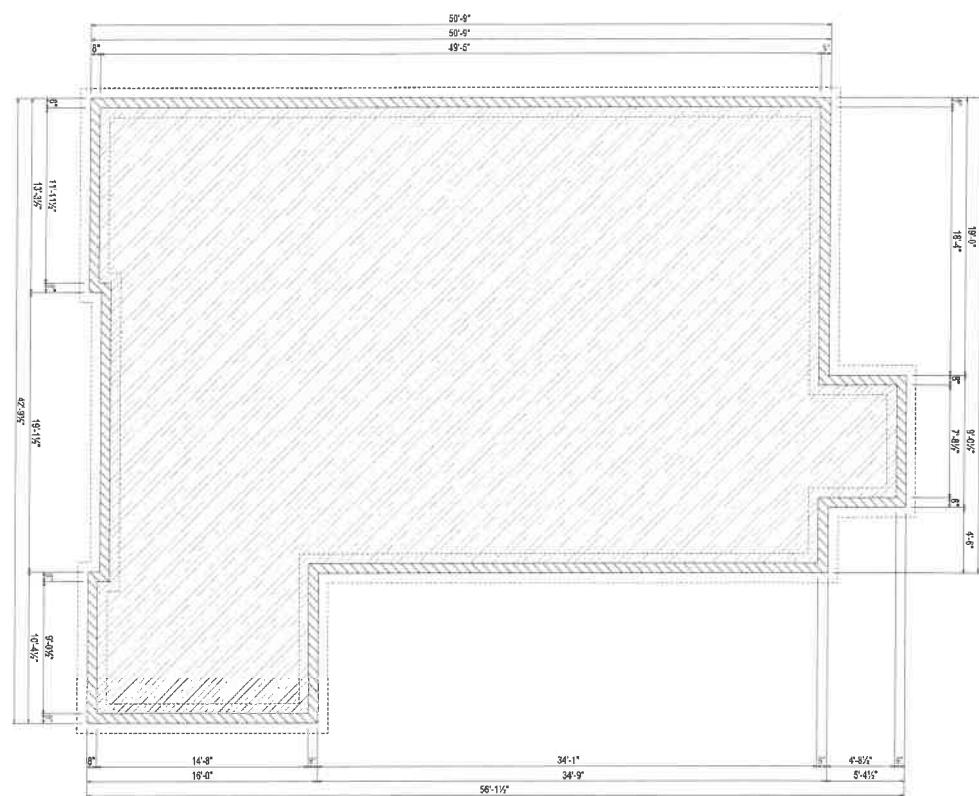
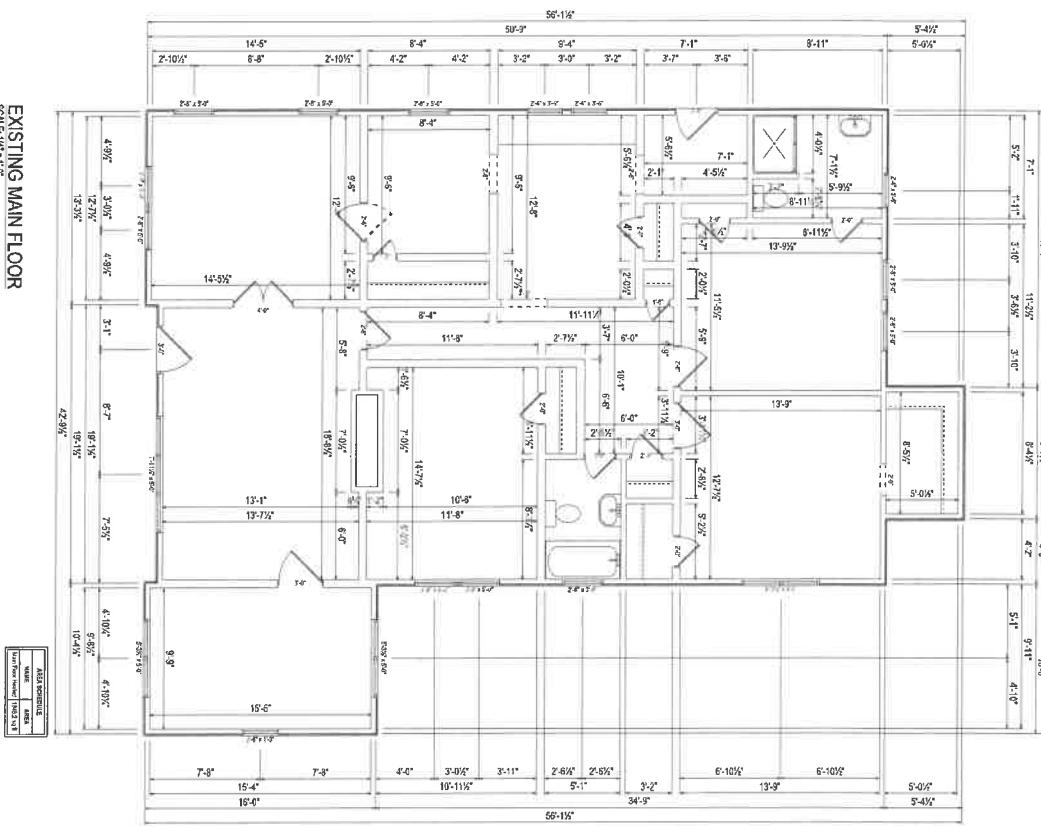
0505 J05 NUMBER 18,1027 DRAWN BY: JOHN W. HUNTER

62

SUBMITTER	DATE
FRIST DRAFT	14/07/2016
SECOND DRAFT	15/07/2016

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL GOVERNING CODES AND BUILDING PRACTICES. THESE DRAWINGS CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES; HOWEVER STATE AND LOCAL CODES VARY WIDELY. THE DRAFTSMAN, JOHN K. HONEA, SHALL NOT BE HELD LIABLE FOR ANY ERRORS. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES. DO NOT SCALE DRAWINGS. USE ONLY THE PRINTED DIMENSIONS. VERIFY WITH THE WINDOW MANUFACTURE ALL WINDOW SIZES AND APPLICABLE EGRESS REQUIREMENTS. ALL DIMENSIONS ARE TAKEN FROM TO ROUGH STUDS OF A DIMENSION OF EITHER 5 1/2" (2x8 STUDS), 3 1/2" (2x6 STUDS) OR TO THE OUTSIDE OF MASONRY. CONTRACTOR SHALL VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCES. CONTRACTOR SHALL VERIFY ALL FLOOR AND ROOF BEARING LOCATIONS. CONTRACTOR SHALL VERIFY ALL BEAM AND HEADER SIZES FOR CODE COMPLIANCE. DESIGNERS FINANCIAL LIABILITY SHALL BE LIMITED TO HALF OF THE ACTUAL CONTRACT PRICE OF SAID HOME DESIGN.

RELEASED FOR CONSTRUCTION

EXISTING CRAWLSPACE  
SCALE: 1/4" = 1'-0"EXISTING MAIN FLOOR  
SCALE: 1/4" = 1'-0"

DATE	NAME
10/10/2023	John K. Honea

DATE	NAME
10/10/2023	John K. Honea

SOFTPLAN  
ARCHITECTURAL DESIGN SOFTWARE

\*\*\*\*COPYRIGHT NOTE\*\*\*\*  
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CSDS JOB NUMBER: 16.1027

DRAWN BY: JOHN K. HONEA

Skibiel Law  
161 S McDonough St  
Jonesboro, GA 30236

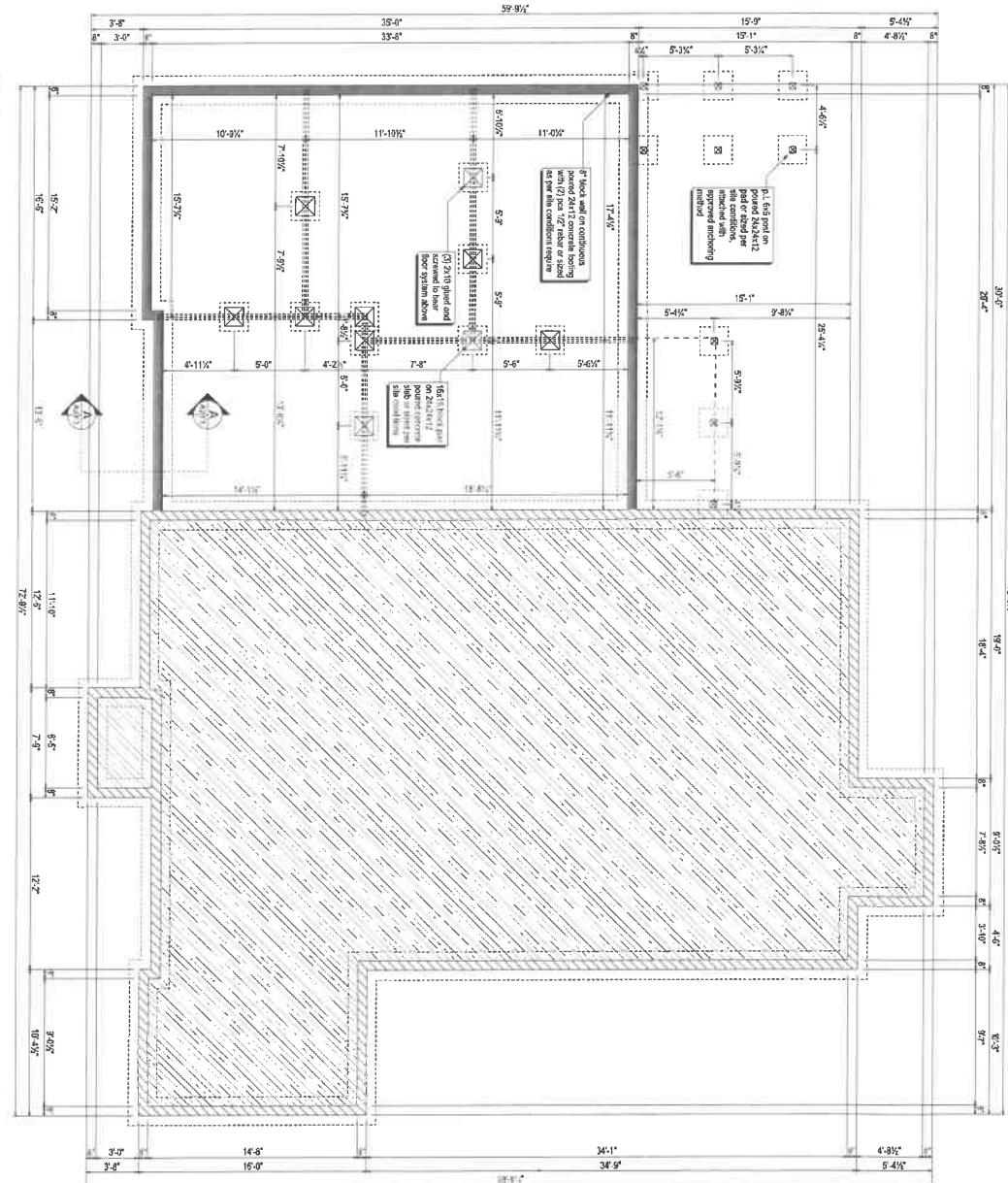
Existing Floor Plan

Olde South  
www.oldesouthlight.com 404.811.5191  
Phone: (404)455-4234 Fax: (770)978-1120 Email:

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## PROPOSED CRAWLSPACE

SOFTPLAN  
ARCHITECTURAL DESIGN SOFTWAREDRAWING  
DATE:  
12/10/2013  
SHEET NO.  
A2REVISION  
DATE:  
None  
None\*\*\*\*\*COPYRIGHT NOTE\*\*\*\*\*  
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OSDS JOB NUMBER: 161027

DRAWN BY: JOHN K. HONEA

Skibiel Law  
161 S McDonough St  
Jonesboro, GA 30236

Proposed CrawlSpace

Olde South  
DESIGN STUDIO  
www.oldesouthdesigns.com 4131 Red Laurel W  
Phone: (404)793-4834 Fax: (770)781-1220 Email:

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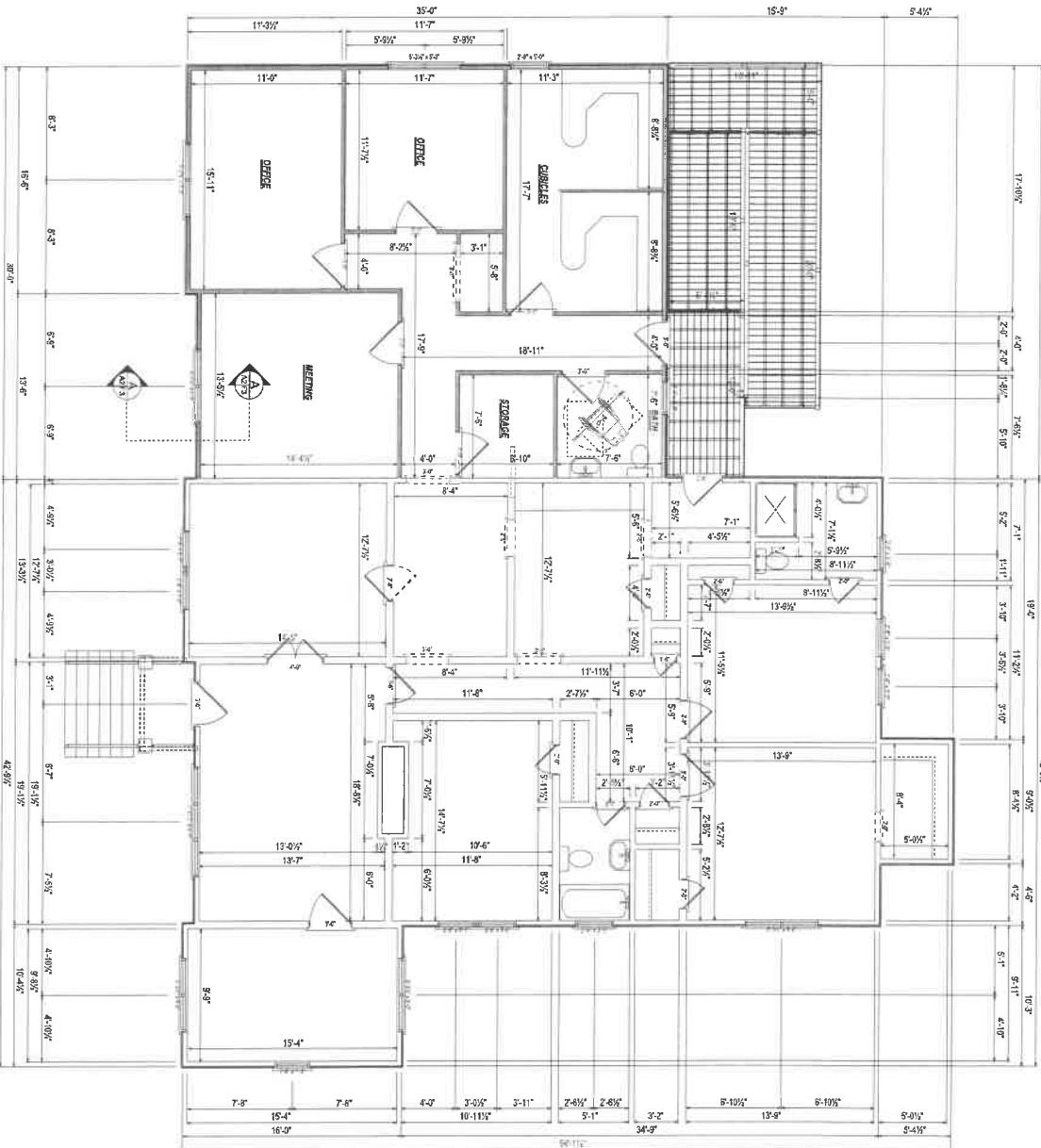
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## PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"

AREA/SECTION	AREA
Project Name	1445
Project Address	161 S McDonough St
Architect	John K. Honea

SOFTPLAN  
ARCHITECTURAL DESIGN SOFTWARE

DATE	NAME	POSITION	PHONE	FAX
10/20/04				

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GDSN JOB NUMBER: 16.1027

DRAWN BY: JOHN K. HONEA

Skibiel Law  
161 S McDonough St  
Jonesboro, GA 30236

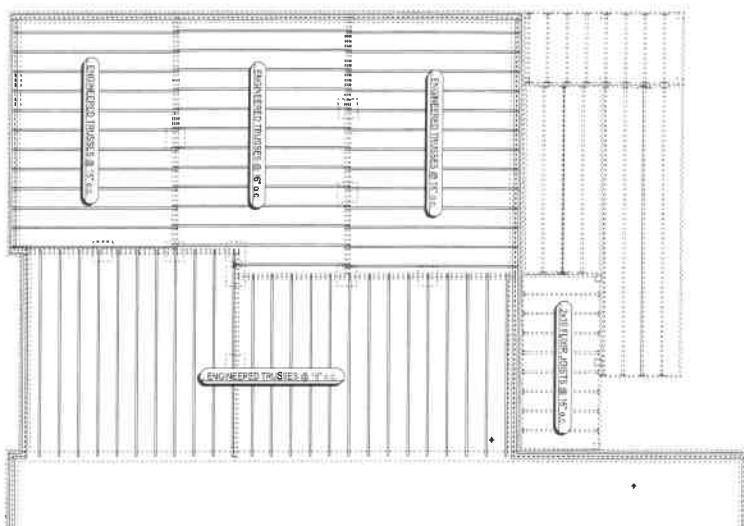
## Proposed Main Floor

Olde South  
www.oldesouthdesign.com 4133 8th St. Laurel, MD  
Phone: (301) 441-4336 Fax: (301) 779-3220

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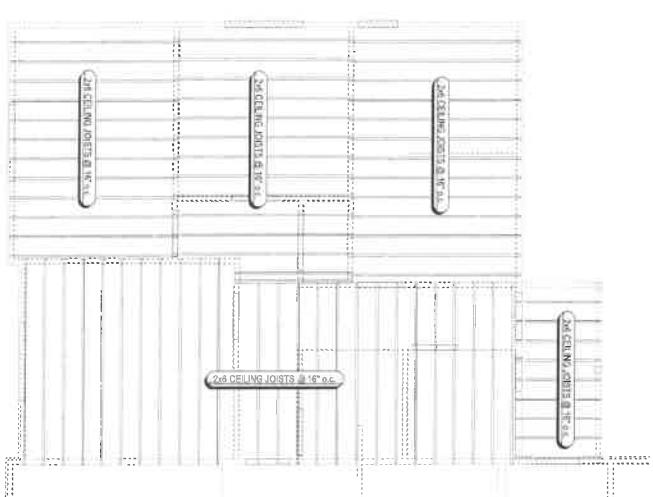
## PROPOSED FLOOR PLAN - FLOOR SYSTEM SCALE: 1/4" = 1'-0"

348



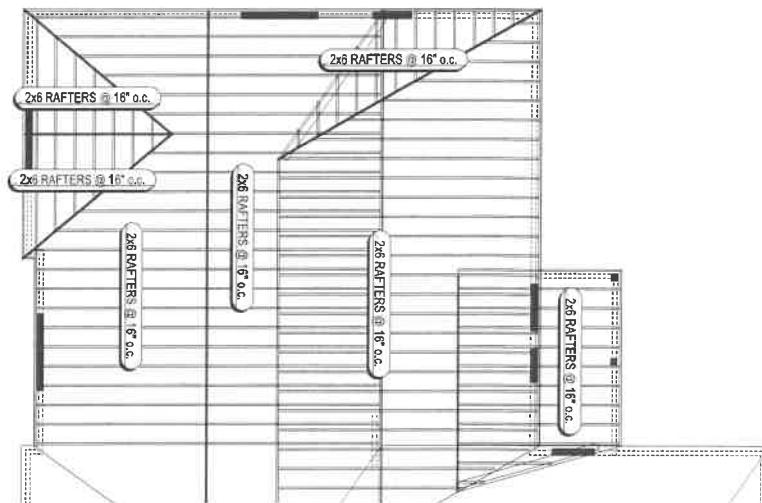
**PROPOSED FLOOR PLAN - CEILING**  
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'



**PROPOSED FLOOR PLAN - ROOF**

504



**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

DRAWING DATE: Version	REVISION	
	REV. NO.	DATE
SHEET NO. F1	REVISION	
	REV. NO.	DATE

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**Skibiel Law**  
161 S McDonough St  
Janesboro, CA 30236

## Framing Plan

Olde South

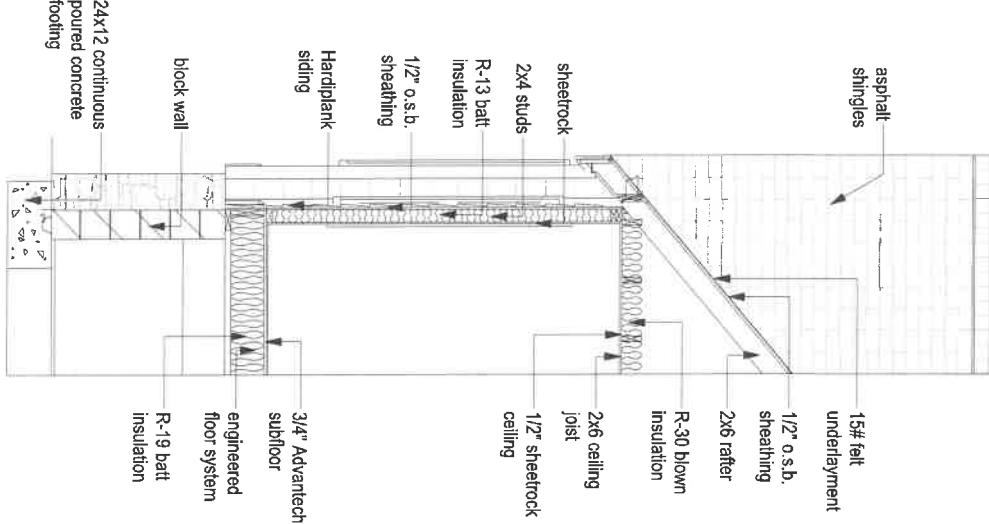
DESIGN STUDIO  
[www.oldsouthdesign.com](http://www.oldsouthdesign.com) 4181 Red Laurel Way  
Phone: (304)925-4336 Fax: (770)978-7120 Email:



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 CROSS SECTION A  
SCALE: 30' = 1'-0"



 SOFTPLAN  
ARCHITECTURAL DESIGN SOFTWARE

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OSDS JOB NUMBER: 161027

DRAWN BY: JOHN K. HONEA

Skibiel Law  
161 S McDonough St  
Jonesboro, GA 30236

Cross Section

 Olde South  
EST. 1988  
4181 Ed Lavard St  
Phone: (404) 362-4879 Fax: (404) 362-2120

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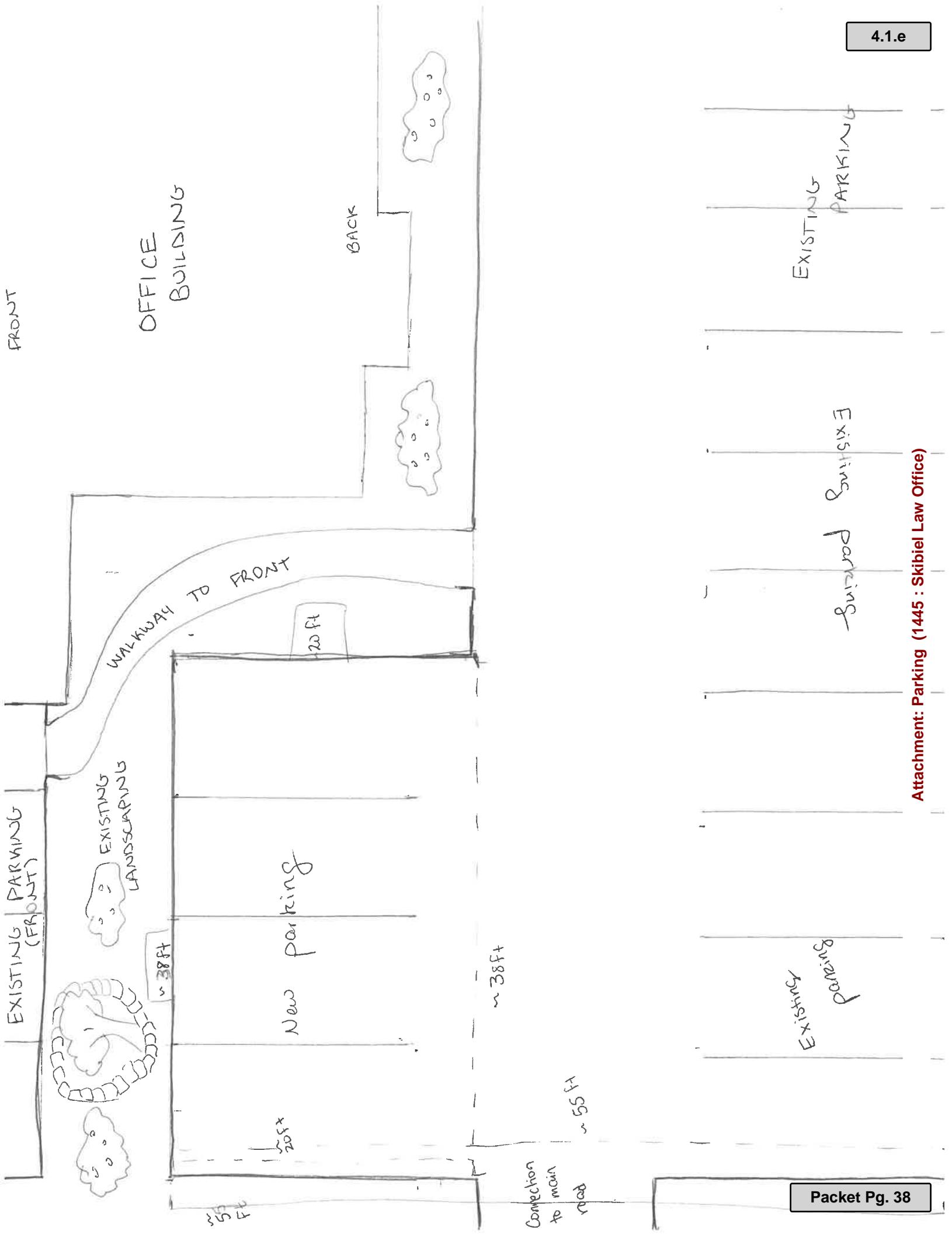






## **SITE CHANGES: PARKING, DRIVEWAYS & WALKWAYS**

- **Site Plan/Sketch** - attached
- **Photographs of Site** – attached











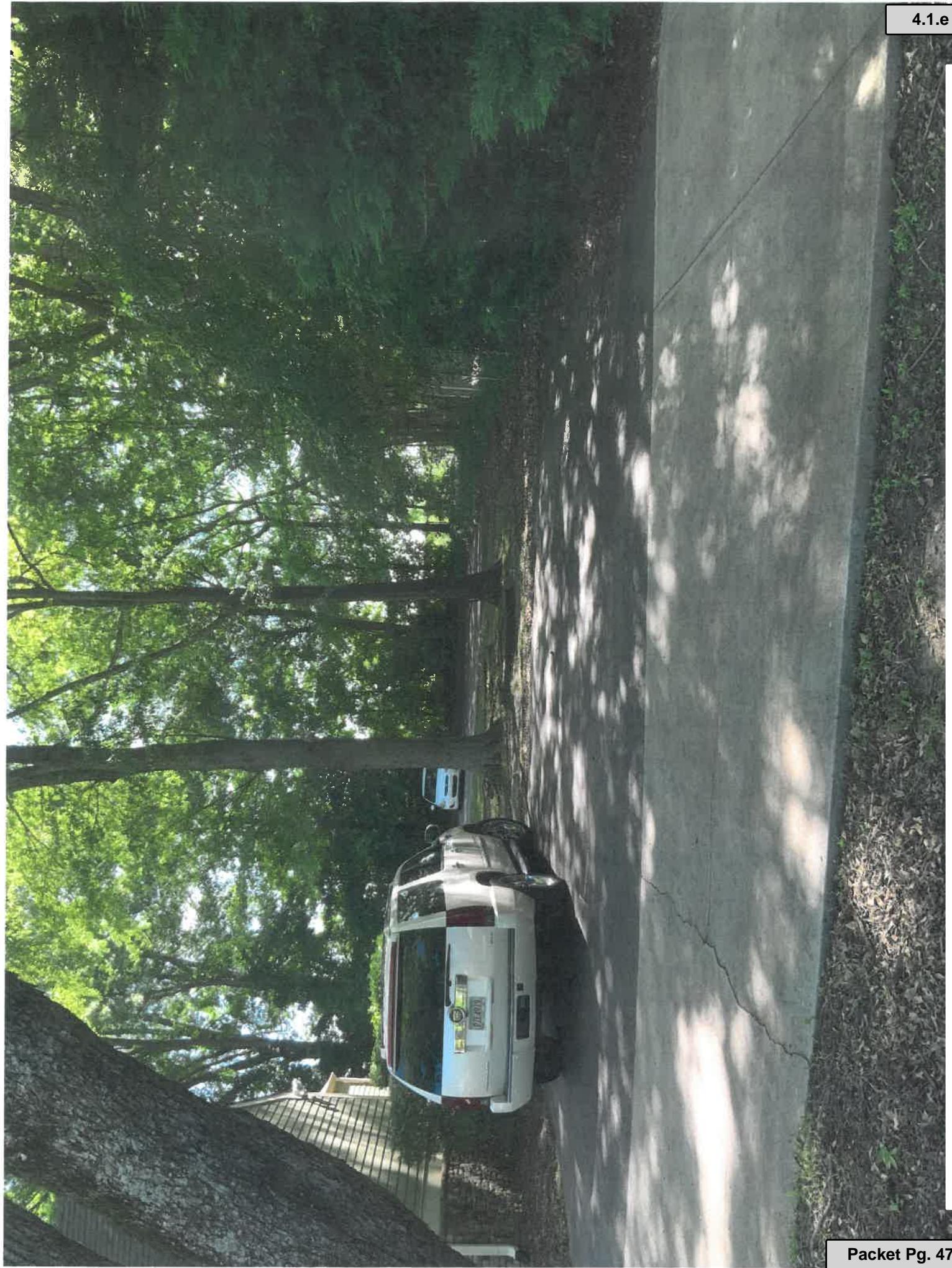








Attachment: Parking (1445 : Skibiel Law Office)





## Legal Notice

Public Hearing will be held by the Jonesboro Historic Preservation Commission of the City of Jonesboro at 5:30 P.M. on June 17, 2019 in the Conference Room of the Jonesboro City Hall, 124 North Avenue, Jonesboro, GA, to consider a Certificate of Appropriateness for an addition to an existing commercial building (law office) and parking expansion within the Historic District at 161 South McDonough Street, Jonesboro, GA 30236.

Applicant – Mark A. Skibiel

David D. Allen,  
Zoning Administrator / Community Development Director

Publish 06/5/19