

DESIGN REVIEW COMMISSION

August 7, 2019

MEETING AGENDA:

- I. Call to Order
- II. Approval of Agenda
- III. Approval of Minutes
 - a. Consideration of the Minutes of the June 5, 2019 Regular Meeting.
- IV. Old Business - None
- V. New Business - Action Items
 - a. Lady Kemet - 8113 Tara Blvd - Replacement Signs
 - b. Durham Residence - 210 North McDonough Street
 - c. Hardin Auto Sales - 191 North Main Street - Sign Designs
 - d. Slutty Vegan Restaurant / Office - 164 North McDonough Street
 - e. Arts Clayton Renovations - 136 South Main Street
 - f. Resale Therapy Sign - 171 North Main Street
- VI. Adjournment



DESIGN REVIEW COMMISSION MEETING MINUTES

The Design Review Commission held their Regular Meeting on Wednesday June 5, 2019. The meeting was held at 4:30 p.m. at the Jonesboro City Hall, 124 North Avenue, Jonesboro, Georgia.

Committee Present:

Joel Aviles – Chairman
Bonnie Shekarabi – Vice Chair (via conference)
Barbara Casey Lane – Committee Member

Committee Absent:

Sam Fleet – Committee Member
Kimberly Lightford – Committee Member
David Allen – Community Development Director

Also present was Cable Brooks to record the meeting minutes

- I. Meeting was called to order by Joel Aviles at 4:41 p.m.
- II. **Approval of Agenda** – Barbara Casey-Lane made a motion to approve the agenda as presented, said motion seconded by Bonnie Shekarabi. Motioned carried unanimously.
- III. **Approval of May 1, 2019 Design Review Meeting Minutes** – Barbara Casey Lane made a motion to approve the April 3, 2019 meeting minutes, said motion seconded by Bonnie Shekarabi. Motioned carried unanimously.
- IV. **Old Business – None**
- V. **New Business – Action Items**

A. **Skibiel Law Office** – 161 South McDonough Street; Parcel No. 13241D H004; Addition to existing law office)

Upon discussion:

Barbara Casey-Lane made a motion to accept staff recommendation for the 1000 square feet addition, seconded by Joel Aviles, motion carried unanimously.

B. **Siglow's Lash Bar** – 279 North Main Street; Parcel No. 13209C C002; Sign panel for business.

Upon discussion:

Barbie Shekarabi made a motion to table the request for the sign panel due to applicant not be available to answer questions, sign placement and sign appearance, seconded by Barbara-Casey Lane, said motion carried unanimously.

- Directive was given to committee members to submit design recommendations for the sign

Comments and Updates

- City of Jonesboro was nominated the Mainstreet Program of the year
- Renovations for a restaurant in the old Ferguson / Brown and Brown law firm are on the way

II. Adjournment at 5:30 p.m.

There being no further business, a motion was made by Bonnie Shekarabi, seconded by Barbara Casey-Lane to adjourn. Motion carried unanimously.

/s/

Joel Aviles, Chairperson

/s/

Ricky L. Clark Jr., Executive Director



CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary

Agenda Item #

5.a

-a

COUNCIL MEETING DATE

August 7, 2019

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action *(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)*

Commission to make a recommendation on Lady Kemet signs located at 8113 Tara Blvd. Parcel No. 13239B A001; Replacement sign panels for new business in Tara Blvd Overlay

Requirement for Board Action *(Cite specific Council policy, statute or code requirement)*

City Code Section 86-489 and 86-490 – Sign Standards

Is this Item Goal Related? *(If yes, describe how this action meets the specific Board Focus Area or Goal)*

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of replacement panels; Recently, Lady Kemet hair products received zoning approval to conduct business in an office adjacent to Rocky's Pizza and Subs near the northwest corner of North Avenue and Tara Boulevard. The Code Enforcement Officer saw the sign panels for the business and instructed them that they needed a sign permit first. They were also instructed to cover the already installed panels until final approval could be achieved.

The replacement panel in the pre-existing ground (pylon) sign at the road will not exceed the panel framework already there. The green, yellow, and white color scheme will be compatible with adjacent businesses. The replacement panel in the pre-existing wall sign framework over the door will not exceed the boundaries of the frame. The green, yellow, and white color scheme will be compatible with adjacent businesses.

The ground sign replacement panel will be 32 square feet (each side), which is below the maximum 35 square feet allowed in Code Section 86-490(a). The wall sign replacement panel will be 14 square feet, which is below the maximum 150 square feet allowed in Code Section 86-490(b). The wall sign panel is about 1.2% of the total front building façade, well below the 7.5% allowed in Code Section 86-489.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private business owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Application
- Existing Site
- Replacement Signs

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

August, 7, 2019

Signature

City Clerk's Office

**CITY OF JONESBORO**

124 North Avenue
Jonesboro, Georgia
30236
770-478-3800

SIGN PERMIT N° 0768**GOOD FOR SIX MONTHS ONLY**

Business Lady Kemet

Location 8113 Tara Blvd
Ste. B

Owner Kevin Smith

Sign Description See Attached

Estimated Cost _____

Fee _____

Received Payment 60.00 App Fee

Date 01 26 19



CITY OF JONESBORO
 124 North Avenue
 Jonesboro, Georgia 30236
 City Hall: (770) 478-3800
 Fax: (770) 478-3775
www.jonesboroga.com

SIGN PERMIT APPLICATION

ATTACH ADDITIONAL PAGES IF NECESSARY. ALL ATTACHMENTS MUST BE NUMBERED. INDICATE THE PAGE NUMBER OF ATTACHMENT IN THE SPACES PROVIDED FOR EACH RELEVANT ANSWER. USE A SEPARATE PAGE FOR EACH NECESSARY QUESTION/ANSWER ATTACHMENT.

ANY MISSTATEMENT OR CONCEALMENT OF FACT IN THIS APPLICATION SHALL BE GROUNDS FOR REVOCATION OF THE LICENSE ISSUED AND SHALL MAKE THE APPLICANT LIABLE TO PROSECUTION FOR PERJURY. PLEASE DO NOT LEAVE ANY AREAS UNANSWERED.

APPLICATION FEE: \$60.00 (Non-Refundable). The Sign Permit fee is an additional cost. The City of Jonesboro will calculate and advise fees due.

Administrative fee	(flat fee) \$60.00
Area of Sign 1-10ft ²	(flat fee) \$35.00
Area of Sign 11-25ft ²	(flat fee) \$60.00
→ Area of Sign 26-50ft ²	(flat fee) \$90.00
Area of Sign 51ft ² and greater	(flat fee) \$125.00
Temporary Signs	(flat fee for second permit) \$30.00
Two permits allowed per property per year. First is free and a flat fee is required for 2nd permit.	

Date of Application: 7/26/19

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ _____ will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

Description of Permit

Please check:

- New Sign
- Change to Existing Sign
- Ground Sign
- Window Sign
- Subdivision Sign
- Projecting Sign Wall Sign
- Entrance Sign
- Special Event Sign
- Other (describe below)

Property Owner or Applicant Information

Name: Kevin Smith

Mailing Address: 506 Dominion Court

City: Hampton State: GA Zip: 30228

Phone: (Day) 770-376-1628 (Evening) _____

*Signature: _____

*By signing the above line, Property Owner gives permission for appropriate actions.

Jonesboro Property Information

Existing Uses and Structures: Brick (Restaurant)Surrounding Uses and Structures: (See Official Zoning Map): BUSINESSES, APARTMENT

Surrounding Zoning:

North: C2 South: C2 East: C2 West: C2Property Address of Sign: 8113 Tara Blvd.Complete dimensions and total area of the sign: (2) 4x8-(1) 2x7

What is the position of the sign in relation to nearby buildings/structures and other signs?

4x8 - Under Rocky's pizza sign on Tara Blvd2x7 - Over door of Lady Kemet entrance

What is the position of the sign in relation to nearby buildings/structures and other signs?

Ex. FRAME AT ROAD AND ON BUILDING

What are the setbacks from right-of-ways, property lines and easements?

10' Fwy Row - Existing Framework

Name of person, firm, corporation or association erecting the sign is:

Autograph

Name of business/activity at the address where the sign is to be erected:

Lady Kemet

Is this in a planned development?

No

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-3800

FOR OFFICE USE ONLY:

Date Received: 01/26/2019

Received By: 

Fee Amount Enclosed: \$ 60.00

Date Approved: / /20

Date Denied / /20

Permit Issued / /20

Comment:

ATTACHMENT -1-

PROPERTY OWNER'S AUTHORIZATION

The undersigned below, or as attached, is the owner of the property which is subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of an amendment to the property.

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Clayton County, Georgia.

I hereby depose and say that all above statements and attached statements and/or exhibits submitted are true and correct, to the best of knowledge and belief.

PROPERTY OWNER:

PRINT NAME

SIGNATURE/DATE

APPLICANT:Kevin Smith

PRINT NAME

SIGNATURE/DATE

NOTARY:

SIGNATURE/DATE

67 26 19

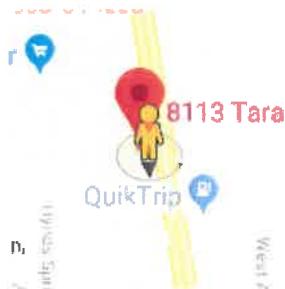




Image capture: Sep 2018 © 2019 Google



Street View - Sep 2018







chooseagp.com

ONT

CRAVES



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item

- b

5.b

COUNCIL MEETING DATE

August 7, 2019

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date August, 7, 2019	
Signature	City Clerk's Office	

proposed colors would not clash with neighboring buildings.

2. Neon colors are prohibited. **No neon proposed. Muted tones proposed.**

3. Primary colors may be acceptable for trim or accents pending review and approval by the director of downtown development. **No primary colors proposed**

4. Color patterns shall be consistent with the architectural style of the structure and with the overall historic character of the district. **The proposed colors would not clash with neighboring buildings.**

d. Foundations.

1. The original design and materials of the foundation, open pier foundation and the porch pier foundation shall be maintained.

2. Unpainted historic masonry foundations shall not be painted. **The plans call for the existing brick foundation to be painted. This is prohibited.**

3. Concrete block shall not be used as a foundation material.

While the proposed colors, Gibraltar Grey for walls and Roycroft Vellum for trim, would not be incompatible with neighboring buildings in the Historic District, the City Code Sections cited above prohibit the painting of unpainted brick facades and brick foundations. The trim, which is not brick, could be painted, but the vellum color would not look as good paired with the brick as the existing white does.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Application
- Existing Building
- Neighboring Properties
- Proposed Colors

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Denial

City of Jonesboro
JONESBORO HISTORIC PRESERVATION COMMISSION (J.H.P.C.)
Application for a Certificate of Appropriateness
 (proposed change to a property within a local historic district)

The Jonesboro Historic Preservation Commission or J.H.P.C. is tasked with insuring the Historic District's preservation and standards are met according to the City of Jonesboro's codes and ordinances. This application and approval thereof does not constitute an approval to begin construction. It is a review of Chapter 86 – Zoning, Section 86-102 (H-1) Historic District and Section 86-103 (H-2) Historic District. Once the applicant meets Historic District code, the process of approval of plans, land disturbance, and other compliance measures must be met. Please contact Jonesboro City Hall and speak with the City Clerk for further information (770) 478-3800.

Property Information -

Address: 210 N. McDONOUGH ST; Jonesboro, Ga 30236
 Owner: KARLA DURHAM

NOTE: If applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.

Applicant Information -

Applicant Name: KARLA Durham
 Mailing Address: 210 N. McDONOUGH ST
Jonesboro, Ga 30236
 Email Address: Karlablack16@gmail.com Telephone: (678) 796-3558

***Fees and charges as identified in the City of Jonesboro's Fees and Charges schedule for the Historic Preservation Commission Certificate of Appropriateness:**

Residential - \$35.00

Commercial - \$50.00

Sign - \$10.00

Project Information -

Type of Project (Check all that apply):

Construction -

- New building
- Additional building
- Minor exterior change
- Major building restoration, rehabilitation, or remodeling

Site Changes -

- Parking area(s), driveway(s), or walkway(s)
- Fence(s) or wall(s)
- Sign(s)
- Mechanical system(s)
- Non-temporary site feature(s): (e.g. satellite dishes, pools, lighting, arbors, gazebos, etc.)

Demolition or Relocation -

- Primary building
- Outbuilding
- Site Feature

Application Requirements:

Applications must include support materials as noted to be considered complete i.e. – plans, schematics, images, dimension, surrounding structures) Incomplete applications will not be reviewed.

Application Deadline:

Applications must be delivered to Jonesboro City Hall eighteen (18) days prior to the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis.

Application Representation:

Applicant's attendance is required. A presentation with visuals and detail information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

Required Materials:

The following materials are required for a complete application. Incomplete applications will NOT be reviewed.

New Building and Additions:

- Description of project
- Site plan
- Architectural elevations
- Floor plan
- Description of materials
- Photographs of proposed site

Major Restoration, Rehabilitation, or Remodeling:

- Architectural elevations or sketches
- Description of project
- Description of materials
- Photographs of proposed site

Minor Exterior Changes:

- Description of project
- Description of materials
- Photographs of existing building

Site Changes: parking, drives, and walks

- Site plan or sketch of site
- Description of materials
- Photographs of site

Site Change: fences, walls, and other site features

- Site plan or sketch of site
- Architectural elevations or sketches
- Description of materials
- Photographs of site

Site Changes: signs

- Architectural elevation or sketch (for signs located on the building)
- Site plan or sketch of site (for free standing signs)
- Description of materials and illumination

Project and Materials Description -

Paint exterior of house, front, sides, back
Color - SW 6257 Gibraltar - Trim - Roycroft
Brand - Sherwin Williams

Attachments

Picture 1 - Home to be painted - Original

Picture 2 - Home in the neighborhood

Picture 3 - Online example of color

1 - Sample paint color - SW 6257 Gibraltar

1 - Sample paint color - SW Roycroft Vethum

(Add additional sheets as necessary)

Signature:

Kirla Durham

Date:

7-23-19

Application fee received by

Reed

Amount:

35.00



Attachment: Existing Building (1465 : Durham Residence)

Google Maps 210 N McDonough St

Image capture: Sep 2018 © 2019 Google

Jonesboro, Georgia



Street View - Sep 2018



Attachment: Existing Building (1465 : Durham Residence)

Google Maps 214 N McDonough St

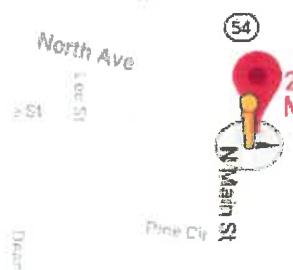


Image capture: Sep 2018 © 2019 Google

Jonesboro, Georgia



Street View - Sep 2018



Google Maps 208 N McDonough St



Image capture: Sep 2018 © 2019 Google

Jonesboro, Georgia



Street View - Sep 2018



180 NORTH
MCDONOVAN ST.



Attachment: Neighboring Properties (1465 : Durham Residence)

Proposed



 Pinterest



Slate colors with cream trim and
blue/gray toned stone. Probably ...

Images may be subject to copyright. Learn More

Related images



SW 2833
Roycroft Vellum

TRIM



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

5.c

-c

COUNCIL MEETING DATE

August 7, 2019

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
Requested Action (<i>Identify appropriate Action or Motion, purpose, cost, timeframe, etc.</i>) Commission to make a recommendation for Hardin Auto Sales – 291 North Main Street; Parcel No. 13209C C005; New wall sign and ground sign for existing business	
Requirement for Board Action (<i>Cite specific Council policy, statute or code requirement</i>) City Code Section 86-489 and 86-490 – Sign Standards; Design Review Criteria	
Is this Item Goal Related? (<i>If yes, describe how this action meets the specific Board Focus Area or Goal</i>) Yes Beautification, Community Planning, Neighborhood and Business Revitalization	

Summary & Background (First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval with further recommendations; Hardin Auto Sales has been located at 291 North Main Street for several years. The property does not lie in any Historic or Overlay District.

Several months ago, the business applied for a variance for a new ground sign to be placed near the southeast corner of the property. The variance was denied. The Design Review Commission's recommendation on the proposed sign on May 1, 2019 was:

Bonnie Shekarabi made a motion to reject staff recommendation for the new ground sign, nine feet in height, seconded by Kim Lightford, motion carried unanimously with the following recommendations:

- Consult a professional sign company and submit a scaled drawing
- Adhere to all Code Specification and building materials
- Use Mainstreet Façade Grant to assist with funding

The applicant has now submitted new designs for both a ground sign in the parking lot, and a newer wall sign to replace the existing wall sign on the storefront.

Wall Sign

Sec. 86-489. General regulations.

(b) Non-residential zoning districts. In non-residential zoning districts signs shall be permitted in the following combination of wall and ground signs subject to the provisions hereinafter stated:

(1) Lot with one building, which building is currently occupied pursuant to a current and valid certificate of occupancy issued by the city.

a. Combination of one wall sign and one ground sign, subject to the respective size limitations in section 86-490. In addition to Sec. 86-490, each wall sign shall not exceed 7.5 percent of the exterior building façade, without an approved variance. The new wall sign would be approximately 5% of the façade.

Sec. 86-490. Regulated signs.

(b) Wall signs shall be permitted in non-residential zoning districts. Permitted area of wall signs shall not exceed 150 square feet. No single building or unit shall be permitted more than one wall sign except for multiple frontage lots as provided in section 86-489(b)(1). Wall signs are allowed only upon a building which is currently occupied pursuant to a current and valid certificate of occupancy issued by the city or which is currently being developed under an active building permit issued by the city. There would be only one wall sign on the active, legal business. The wall sign would

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date August, 7, 2019	
Signature	City Clerk's Office	

As stated before, the new wall sign will replace the red and white wall sign already mounted above the door. The new wall sign will be mounted on the chimney, lower than the existing sign. There is no specified code prohibition against mounting the sign on a chimney, and the sign would be below all rooflines. While the sign would have no changeable copy, it would be internally illuminated (see attached sheet) of there is no prohibition outside of the Historic District. The back frame of the sign will be aluminum with a "plexi face" (acrylic surface over non-visible wood) front. While the Sign Ordinance does not regulate color, staff would suggest that the proposed yellow portion be changed to either white (since the original was partly white) or a less bold yellow. There are several red and white signs for other businesses in the immediate area but no yellows. Staff also suggests that the red be less bold to better match the milder red of the brick planter recommended for the ground sign (see below). The new wall sign should make the business have a fresher look, will direct more attention to the building, but will not interfere with the line of sight of vehicles driving down North Main Street.

Ground Sign

Sec. 86-489. General regulations.

(b) *Non-residential zoning districts. In non-residential zoning districts signs shall be permitted in the following combination of wall and ground signs subject to the provisions hereinafter stated:*

(1) *Lot with one building, which building is currently occupied pursuant to a current and valid certificate of occupancy issued by the city.*

a. *Combination of one wall sign and one ground sign, subject to the respective size limitations in section 86-490. Only one of each.*

Sec. 86-490. Regulated signs.

(a) *Ground signs, which are permanent, shall be permitted in non-residential zoning districts. No ground sign shall have a height greater than six feet above normal grade, or a sign face area greater than 35 square feet (each side) for lots with a single building and 45 square feet (each side) for planned centers. No portion of a ground sign shall not be located within ten feet of a street right-of-way or within 50 feet of any other permanent sign, major structure or building. Changeable copy shall not exceed 33 percent of the area of the sign face. Ground signs are allowed only on lots upon which there is a building which is currently occupied pursuant to a current and valid certificate of occupancy issued by the city or which is currently being developed under an active building permit issued by the city. The maximum proposed height will be 6 feet. The sign will be double-sided, with 32 square feet each side, below the 35 square-foot maximum. There is no proposed changeable copy, or internal or external illumination.*

As stated before, while the Sign Ordinance does not regulate color, staff would suggest that the proposed yellow portion be changed to either white (since the original was partly white) or a less bold yellow. There are several red and white signs for other businesses in the immediate area but no yellows. After the variance denial several months ago, I met onsite with the property owners to find a more suitable location for the ground sign, which would still have good visibility but not impact the number of parking spaces. After some discussion, it was decided to place the sign in the northeast corner, taking up one or two parking spaces, but if the vehicles were all shifted to the west, the same number of vehicles could be parked.

- If this was the agreed-upon location then, why has the location now changed back to the front middle, in the midst of the vehicles?
- If the sign is going to not exceed 6 feet tall, wouldn't the applicant's problem with visibility over vehicles not be solved at this location?
- If the front middle is chosen, the sign must be at least 50 feet away from the building, per Sec. 86-490 (a). If this cannot be achieved, the sign will need to be moved to the northeast corner, per our site meeting.
- The sign must be at least 10 feet from the right-of-way, regardless of location.
- Sec. 86-493. A sign containing wood in its structure, face or frame or any part thereof shall be painted or stained. No wood, metal or any other type of supports for ground signs shall be less than four by four inches in size for each support or less than three inches in diameter if circular. The proposed wood support posts are 4 inches by 4 inches and will be painted black.
- For the ground sign, regardless of location in the parking lot, staff is recommending a brick planter underneath the sign face and around the sign posts, to completely fill in the parking space that the sign will occupy. Staff further recommends that the bricks used in the planter match the brick color of businesses across the street. While the Sign Ordinance does not regulate color, staff would suggest that the proposed yellow portion be changed white and that the red be less bold to better match the milder red of the brick.

(k) Acceptable Commission reaction to review items.

(1) *By a majority vote of present members, the Commission may elect to recommend an agenda item for approval, based on substantial adherence*

(a) Is it aesthetically compatible with adjacent and nearby properties? There are a wide variety of styles and colors and commercial uses all along North Main Street, and also a wide variety of sign sizes, shapes, and styles. Less bold colors and the inclusion of a brick planter base will make the proposed ground sign more compatible.

(b) Does it utilize quality building materials? Yes.

(c) Does it improve the appearance of any existing buildings or structures on the subject property? The signs will give the property a newer, fresher look.

(d) Will its appearance cause substantial detriment to use and enjoyment of adjacent and nearby properties? No, it will not. There are a variety of styles and colors and commercial uses all along North Main Street.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Business

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Wall Sign Application
- Wall Sign Design
- Ground Sign Application
- Ground Sign Design
- Site Pictures

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval with Further Recommendations



CITY OF JONESBORO
 124 North Avenue
 Jonesboro, Georgia 30236
 City Hall: (770) 478-3800
 Fax: (770) 478-3775
www.jonesboroga.com

SIGN PERMIT APPLICATION

ATTACH ADDITIONAL PAGES IF NECESSARY. ALL ATTACHMENTS MUST BE NUMBERED. INDICATE THE PAGE NUMBER OF ATTACHMENT IN THE SPACES PROVIDED FOR EACH RELEVANT ANSWER. USE A SEPARATE PAGE FOR EACH NECESSARY QUESTION/ANSWER ATTACHMENT.

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APPLICATION FEE: \$60.00 (Non-Refundable). The Sign Permit fee is an additional cost. The City of Jonesboro will calculate and advise fees due.

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Area of Sign 1-10ft ²	(flat fee) \$35.00
Area of Sign 11-25ft ²	(flat fee) \$60.00
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Area of Sign 51ft ² and greater	(flat fee) \$120.00
Temporary Signs	(flat fee for second permit) \$30.00

Two permits allowed per property per year.
 First is free and a flat fee is required for
 2nd permit.

ORDINANCES
 MAY 2008

Date of Application: _____

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ _____ will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

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Description of Permit

Please check:

- New Sign
- Change to Existing Sign
- Ground Sign
- Window Sign
- Subdivision Sign
- Projecting Sign Wall Sign
- Entrance Sign
- Special Event Sign
- Other (describe below)

Property Owner or Applicant Information

Name: RICKY HARDIN

Mailing Address: 291 N. MAIN STREET

City: JONESBORO State: GA Zip: 30236

Phone: (Day) 770-472-0035 (Evening) 404-642-1261

Jonesboro Property Information

Existing Uses and Structures: _____

Surrounding Uses and Structures: (See Official Zoning Map): _____

Surrounding Zoning: _____

North: _____ South: _____ East: _____ West: _____

Property Address of Sign: 291 N MAIN ST.Complete dimensions and total area of the sign: 32' 8" x 4'

What is the position of the sign in relation to nearby buildings/structures and other signs?

LOCATED ON BLDG ON CHIMNEY
BELOW ROOF LINE (SHOWN IN DRAWING)

What is the position of the sign in relation to nearby buildings/structures and other signs?

IT IS LOCATED TO LEFT CENTER OF
BLDGWhat are the setbacks from right-of-ways, property lines and easements? NA

Name of person, firm, corporation or association erecting the sign is:

KEENE EYE PRINTING

Name of business/activity at the address where the sign is to be erected:

HARDIN AUTO LLC

Is this in a planned development?

SINGLE LOT

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-740

I HEREBY CERTIFY THAT THE ABOVE INFORMATION AND ALL ATTACHED INFORMATION IS TRUE AND CORRECT:

Date: July 26 2019

Signed: Donna Lee Edwards

Notary: Donna Lee Edwards
Feb 25 2023

SEAL

FOR OFFICE USE ONLY:

Date Received: / /20 Received By: _____

Fee Amount Enclosed: \$ _____

Date Approved: / /20

Date Denied / /20

Permit Issued / /20

Comment:

ATTACHMENT -1-

PROPERTY OWNER'S AUTHORIZATION

The undersigned below, or as attached, is the owner of the property which is subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of an amendment to the property.

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Clayton County, Georgia.

I hereby depose and say that all above statements and attached statements and/or exhibits submitted are true and correct, to the best of knowledge and belief.

PROPERTY OWNER:

Ricky Hardin
PRINT NAME

Ricky Hardin
SIGNATURE/DATE

APPLICANT:

Donna Martin
PRINT NAME

Donna Martin
SIGNATURE/DATE

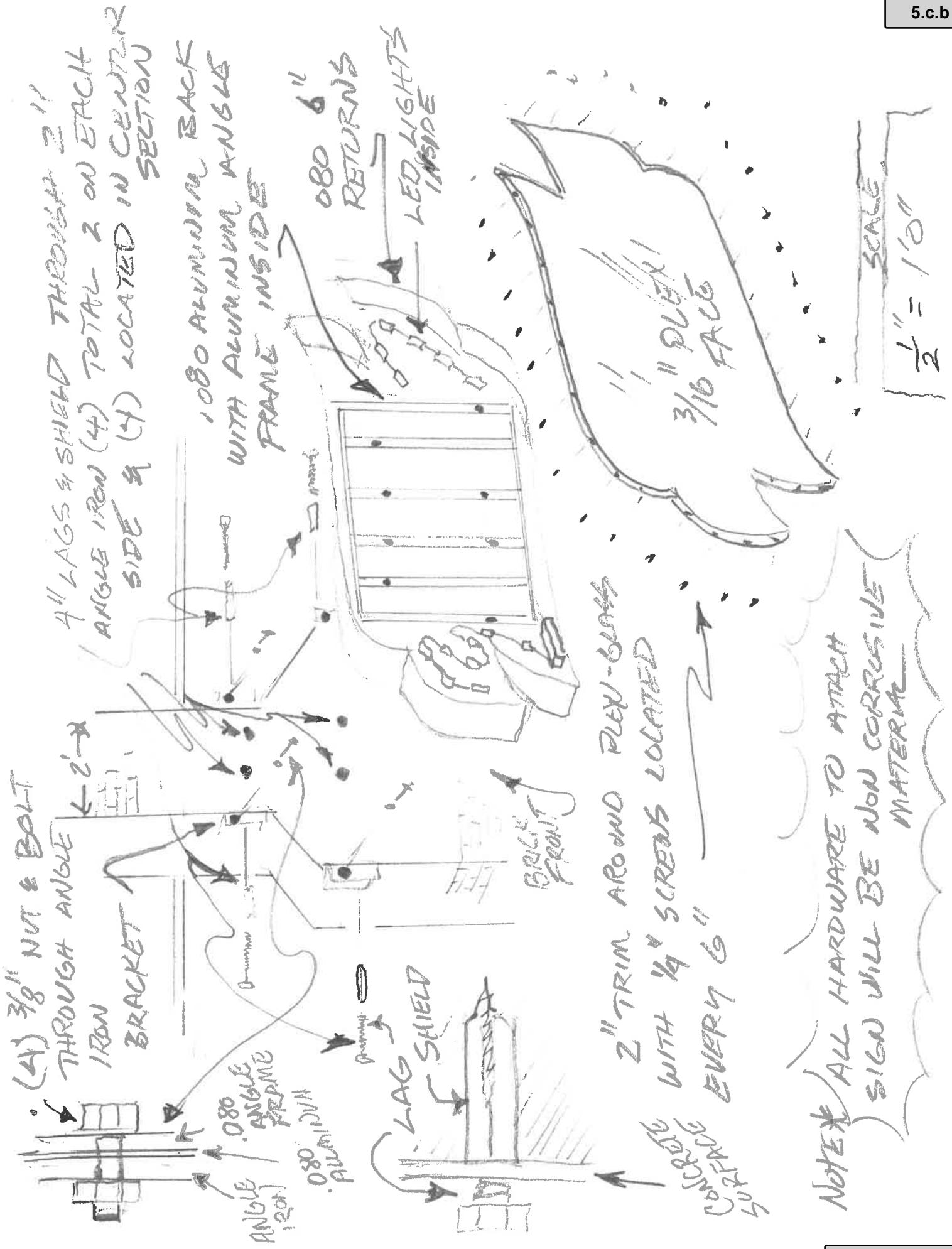
NOTARY:

Donna Rae Edwards
SIGNATURE/DATE
Feb 28, 2023

SEAL



Attachment: Wall Sign Design (1466 : Hardin Auto Sales)



UNIFORM BUSINESS

291 N MAIN ST

HARDIN AUTO RE

INSURANCE
BUSINESS

PROPOSED
SIGNS

4' x 8'

4' x 8'

4' x 8'

NORTH
MAIN
STREET

AUTO
SERVICE

AUTO
SERVICE

VACANT
BEDS

5.c.b



CITY OF JONESBORO
 124 North Avenue
 Jonesboro, Georgia 30236
 City Hall: (770) 478-3800
 Fax: (770) 478-3775
www.jonesboroga.com

SIGN PERMIT APPLICATION

ATTACH ADDITIONAL PAGES IF NECESSARY. ALL ATTACHMENTS MUST BE NUMBERED. INDICATE THE PAGE NUMBER OF ATTACHMENT IN THE SPACES PROVIDED FOR EACH RELEVANT ANSWER. USE A SEPARATE PAGE FOR EACH NECESSARY QUESTION/ANSWER ATTACHMENT.

ANY MISSTATEMENT OR CONCEALMENT OF FACT IN THIS APPLICATION SHALL BE GROUNDS FOR REVOCATION OF THE LICENSE ISSUED AND SHALL MAKE THE APPLICANT LIABLE TO PROSECUTION FOR PERJURY. PLEASE DO NOT LEAVE ANY AREAS UNANSWERED.

APPLICATION FEE: \$60.00 (Non-Refundable). The Sign Permit fee is an additional cost. The City of Jonesboro will calculate and advise fees due.

Administrative fee

(flat fee) \$60.00

Area of Sign 1-10ft²

(flat fee) \$35.00

Area of Sign 11-25ft²

(flat fee) \$60.00

Area of Sign 26-50ft²

(flat fee) \$90.00

Area of Sign 51ft² and greater

(flat fee) \$120.00

Temporary Signs

(flat fee for second permit) \$30.00

Two permits allowed per property per year.

First is free and a flat fee is required for
2nd permit.

ORDINANCES

MAY 2002

APPLICATION FOR SIGN PERMIT

Date of Application: _____

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ _____ will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization.

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

Description of Permit

Please check:

- New Sign
- Change to Existing Sign
- Ground Sign
- Window Sign
- Subdivision Sign
- Projecting Sign Wall Sign
- Entrance Sign
- Special Event Sign
- Other (describe below)

Property Owner or Applicant Information

Name: RICKY HARDIN

Mailing Address: 291 N. MAIN STREET

City: JONESBORO State: GA Zip: 30236

Phone: (Day) 404-642-1261 (Evening) _____

OFFICE 770-472-0035

APPLICATION FOR SIGN PERMIT

Jonesboro Property Information

Existing Uses and Structures: _____

Surrounding Uses and Structures: (See Official Zoning Map): _____

Surrounding Zoning:

North: _____ South: _____ East: _____ West: _____

Property Address of Sign: 291 N. MAIN STREETComplete dimensions and total area of the sign: 32 SQUARE FEET

What is the position of the sign in relation to nearby buildings/structures and other signs?

LOCATED IN CENTER OF LOT 40' FROM CENTER OF STREET (AS DISCUSSED w/ DAVID ALLEN)

What is the position of the sign in relation to nearby buildings/structures and other signs?

THERE IS A UNIFORM BLDG ON LEFT & A TARA INSURANCE TO THE RIGHT OF BLDG

What are the setbacks from right-of-ways, property lines and easements?

40' FROM CENTER OF STREET AS DISCUSSED w/ DAVID ALLEN

Name of person, firm, corporation or association erecting the sign is:

KEENE-EYE PRINTING

Name of business/activity at the address where the sign is to be erected:

HARDIN'S AUTO LLC

Is this in a planned development?

SINGLE LOT

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

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- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-740

I HEREBY CERTIFY THAT THE ABOVE INFORMATION AND ALL ATTACHED INFORMATION IS TRUE AND CORRECT:

Date: July 26 2019

Signed: Donna Lee Edwards

SEAL

Notary: Donna Lee Edwards

Feb 25 2023

FOR OFFICE USE ONLY:

Date Received: / /20 Received By:

Fee Amount Enclosed: \$

Date Approved: / /20

Date Denied / /20

Permit Issued / /20

Comment:

ATTACHMENT -1-

PROPERTY OWNER'S AUTHORIZATION

The undersigned below, or as attached, is the owner of the property which is subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of an amendment to the property.

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Clayton County, Georgia.

I hereby depose and say that all above statements and attached statements and/or exhibits submitted are true and correct, to the best of knowledge and belief.

PROPERTY OWNER:

Ricky Hardin
PRINT NAME

Ricky Hardin
SIGNATURE/DATE

APPLICANT:

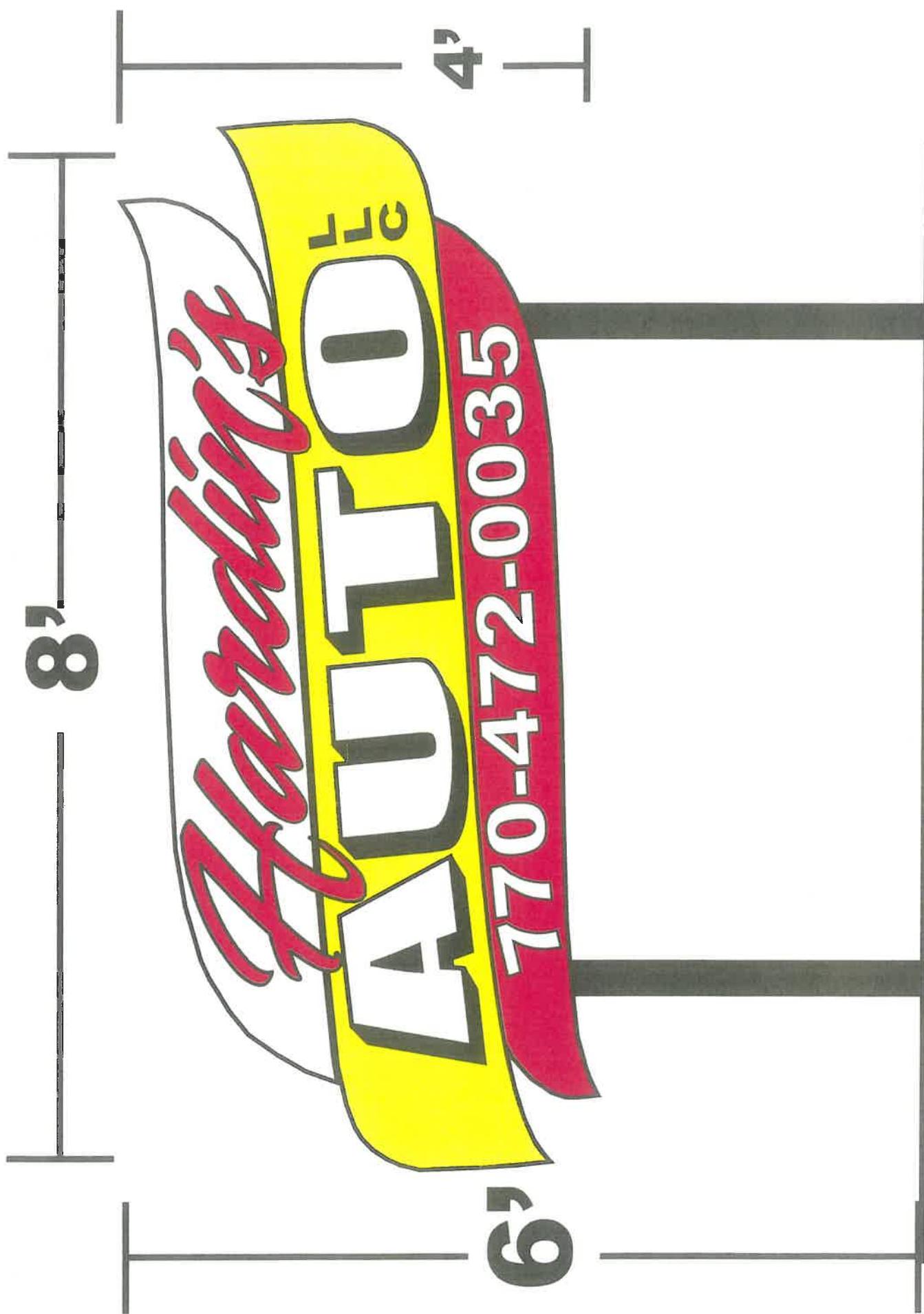
DONNIE MARTIN
PRINT NAME

DONNIE MARTIN
SIGNATURE/DATE

NOTARY:

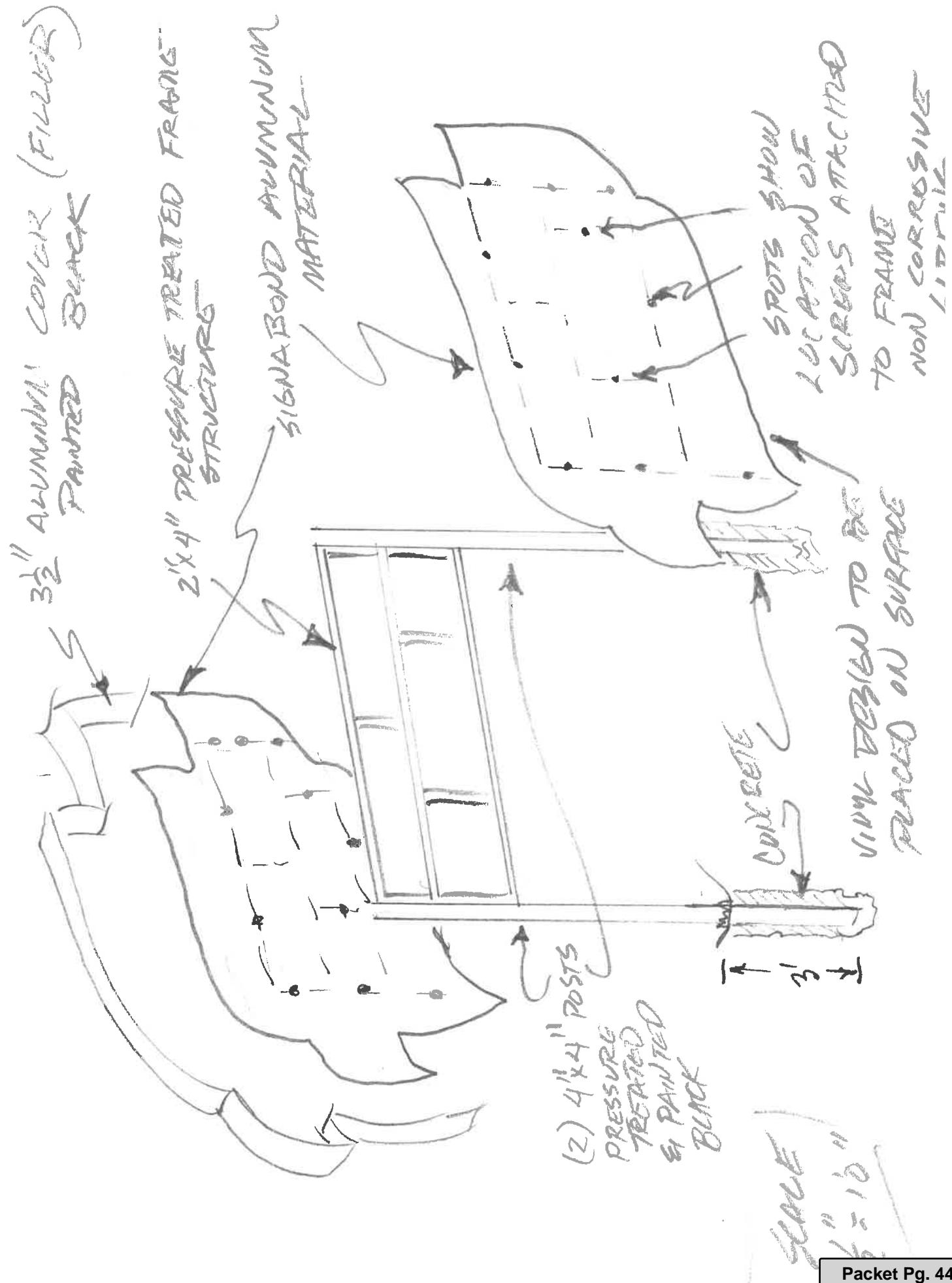
Dana Lee Edwards
SIGNATURE/DATE
Feb 25 2023

SEAL





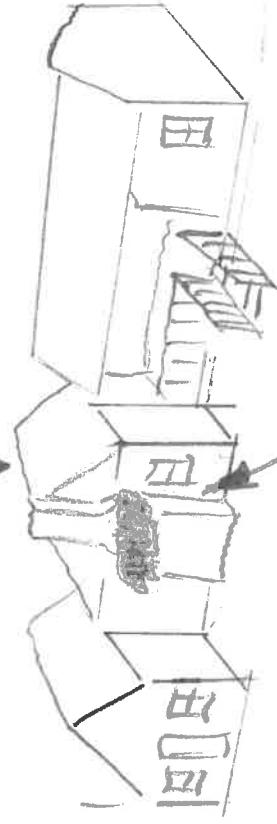
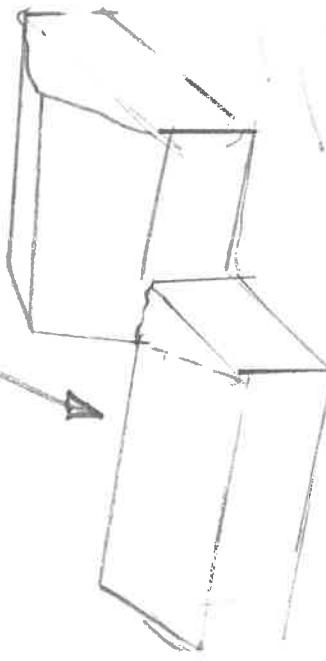
Attachment: Ground Sign Design (1466 : Hardin Auto Sales)



UNIFORM BUSINESS

291 N MAIN ST

HARDIN AUTO REC



PROPOSED
SIGNS



NORTH

MAIN

STREET

AUTO
SERVICE
STATION

VACANT
BLDG

Auto
Service

Service

INSURANCE
Bldg

INSURANCE
Bldg

Google Maps 290 N Main St



Image capture: Feb 2018 © 2019 Google

Jonesboro, Georgia



Street View - Feb 2018

291 North Main St



291 North I

United States
Postal Service

Google Maps 286 N Main St

Image capture: Feb 2018 © 2019 Google

Jonesboro, Georgia



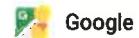
Street View - Feb 2018



Google Maps 286 N Main St

Image capture: Feb 2018 © 2019 Google

Jonesboro, Georgia



Street View - Feb 2018





CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

5.d

-d

COUNCIL MEETING DATE

August 7, 2019

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
Requested Action (<i>Identify appropriate Action or Motion, purpose, cost, timeframe, etc.</i>) Commission to make a recommendation on Slutty Vegan Restaurant / Office – 164 North McDonough Street; Parcel No. 13241B C002; Exterior modifications to accessory building in Historic District	
Requirement for Board Action (<i>Cite specific Council policy, statute or code requirement</i>) City Code Section 86-270 Accessory Building Standards; Sec. 86-103 Historic District Standards	
Is this Item Goal Related? (<i>If yes, describe how this action meets the specific Board Focus Area or Goal</i>) Yes Beautification, Community Planning, Neighborhood and Business Revitalization	
Summary & Background	(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.) Agency recommendation – Approval of modifications: recently, the property at 164 North McDonough Street was purchased by Ms. Cole, the owner of the Slutty Vegan restaurant and food truck. Ms. Cole desires to convert the principal building (home) on the property into a sit-down restaurant, but this will be handled in a future application. This application concerns the large accessory building at the back of the property, which Ms. Cole wants to turn into the corporate office of her food enterprise, complete with several offices, restrooms, and storage areas. The proposal would also have an enclosure to park the food truck. The property is zoned H-2 Historic District, which requires a Certificate of Appropriateness for new or modified structures, per Sec. 86-103. For the purposes of the Design Review Commission, the accessory building will mainly involve interior renovation, with the front exterior to include modern windows.
Section 86-270 gives standards for new accessory buildings in the City: <i>No accessory building shall exceed the height of the principal dwelling in any residential district, nor shall the combined total area of all accessory buildings on a lot exceed the larger of 800 square feet in area or 25 percent of the floor area of the principal dwelling. Calculation of floor area shall not include basement areas. All accessory buildings shall be set back a minimum of 100 percent of the front yard setback for the district; however, no accessory building other than a detached garage may be located between the principal dwelling and the public right-of-way. A minimum side yard and rear yard setback of five feet shall apply to accessory building located a distance greater than 20 feet from the principal dwelling; otherwise the building setbacks for the principal dwelling shall apply to the accessory building. The existing accessory building does not exceed the height of the principal building and is fully in the rear yard. The floor area (2334 s.f.) of the building predates the Zoning Code and is therefore grandfathered. The lot is not a multiple frontage or corner lot. The accessory building's position on the property will not change, nor will the overall footprint change.</i> <i>All accessory structures established on the street side of a corner lot and located a distance equal to or less than the dimension of the required side yard for principal dwellings in the zoning district in which the lot is situated shall be screened through the installation of landscaping or stockade-type fence. Such screening shall comply with provisions of article XV of this chapter. The lot is not a multiple frontage or corner lot.</i> <i>The exterior finishes and color of all accessory structures shall be identical to the exterior finish and color of the principal dwelling on which the accessory structures are located. For brick construction, only the characteristics of the trim work shall apply to the accessory buildings. So noted.</i> <i>No accessory structure shall be located upon a lot until construction of the principal building has been completed and a certificate of occupancy has been issued. n/a</i> <i>No plumbing beyond a wash sink shall be permitted in an accessory structure. There will be full restrooms and a kitchenette within the office. The restricting standard of “wash sink only” more applies to residential structures, with the concern being that an accessory building for a residential structure may turn into another residence or an active business. The Historic District allows for both residential and commercial uses.</i>	

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date August, 7, 2019	
Signature	City Clerk's Office	

Lot Size Number of Structures

Up to 1 acre 1

Above 1 acre 2

Section 86-103 gives further standards for accessory buildings in the Historic District.

e. Accessory structures.

1. Historic accessory structures, or outbuildings, shall be maintained in accordance with guidelines for dwellings in the district.
2. New accessory structures (including but not limited to carports, garages, and storage sheds) shall be located behind the facade line of the dwelling.
3. The design, scale, placement, and materials of new structures within public view shall be compatible with those of the dwelling. The modified accessory building will comply with these standards. **The renovation of this building along with the restaurant will seek to balance the historic character of the property with a more modern “upgrade”, both in style and in use. Staff does not believe that adding modern windows to the accessory building (which can barely be seen from the road) will affect the historic character of the property. There will also be provisions within the modified building to park the food truck out of sight from the road.**

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Business

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Application
- 7.29.2019 Slutty Vegan Jonesboro Progress Set _ SHAPE
- Site Pictures

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval



CITY OF JONESBORO

124 North Avenue
Jonesboro, Georgia 30236
www.jonesboroga.com

JONESBORO HISTORIC PRESERVATION COMMISSION

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The Jonesboro Historic Preservation Commission or J.H.P.C. is tasked with insuring the Historic District's Preservation and standards are met according to the City of Jonesboro Codes and Ordinances. This application and approval thereof does not constitute an approval to begin construction. It is a review of Chapter 86 – Zoning, Section 86-102 (H-1) Historic District and Section 86-103 (H-2) Historic District. Once the applicants meets Historic District Code, the process of approval of plans, land disturbance, and other compliance measures must be met. Please contact the Jonesboro City Hall (770) 478-3800 and speak with the City Clerk for further information.

Property Information:

Address: 164 N. Mc DONOUGH ST.

Owner: P. Nky Cole

Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.

Applicant Information:

Applicant Name: Mark E. Jones, P. Al @ Summit DESIGNBuild, LLC

Mailing Address: 8255 CLUBHOUSE WAY, JONESBORO, GA. 30236

Email Address: MARKC SUMMIT DESIGNAND Telephone: 434-260-2643
BUILD.COM

- Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Residential - \$35.00

Commercial: \$50.00

Sign: \$10.00

\$ 125.00

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS |

PROJECT INFORMATION

Type of Project (Check all that apply)

Construction *INTERIOR UP F/F*

- New building
- Additional building
- Minor Exterior Change
- Major Building Restoration, Rehabilitation, or Remodeling

Site Changes

- Parking area(s), Driveway(s), or Walkway(s)
- Fence(s) or Wall (s)
- Sign(s)
- Mechanical System(s)
- Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

Demolition or Relocation

- Primary Building
- Outbuilding
- Site Feature

APPLICATION REQUIREMENTS

Applicants must include support materials as noted to be considered (i.e. plans, schematics, images, dimensions, surrounding structures). Incomplete applications will not be reviewed.

APPLICATION DEADLINE & REPRESENTATION

Applications must be delivered to the Jonesboro City Hall at least eighteen (18) days preceding the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis. Applicant's attendance is required: A presentation with visuals and detailed information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

REQUIRED MATERIALS

The following materials are required for a complete application. Incomplete applications WILL NOT be reviewed.

A. New Buildings and Additions:

- i. Description of Project
- ii. Site Plan
- iii. Architectural Elevations
- iv. Floor Plan
- v. Description of Materials
- vi. Photographs of Proposed Site

B. Major Restoration, Rehabilitation, or Remodeling:

- i. Architectural Elevations or Sketches
- ii. Description of Project
- iii. Description of Materials
- iv. Photographs of Proposed Site

C. Minor Exterior Changes:

- i. Description of Project
- ii. Description of Materials
- iii. Photographs of Existing Building

D. Site Changes: Parking, Driveways & Walkways:

- i. Site Plan or Sketch of Site
- ii. Description of Materials
- iii. Photographs of Site

E. Site Changes: Fences, Walls, and other Site Features:

- i. Site Plan or Sketch of Site
- ii. Architectural Elevations or Sketches
- iii. Description of Materials
- iv. Photographs of Site

F. Site Changes: Signs:

- i. Architectural Elevation or Sketch (For signs located on the building)
- ii. Site Plan or Sketch of Site (For free standing signs)
- iii. Description of Materials and Illumination

PROJECT AND MATERIALS DESCRIPTION

NUMBER FOR INTERIOR UPFCT

NEW HVAC SYSTEM

NEW ELECTRICAL SERVICE

NEW SINGLE PHASE COOLER

(Add Additional Sheets as Necessary)

Mark E. Jones

PRINT NAME

7-31-19

DATE

MSJ

SIGNATURE

\$125.00

FEE AMOUNT

(Application Received By)

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS |

The Slutty Vegan

Jonesboro, GA 303236
Existing Site Plan

Notes:

Main Building

Approximate Total Area: 3,762

Ground Level

Approximate Total Area: 1,881
Proposed Use: Restaurant + Bar

Second Level

Approximate Total Area: 1,881
Proposed Use: Admin

Deck

Approximate Total Area: 395

The Shed

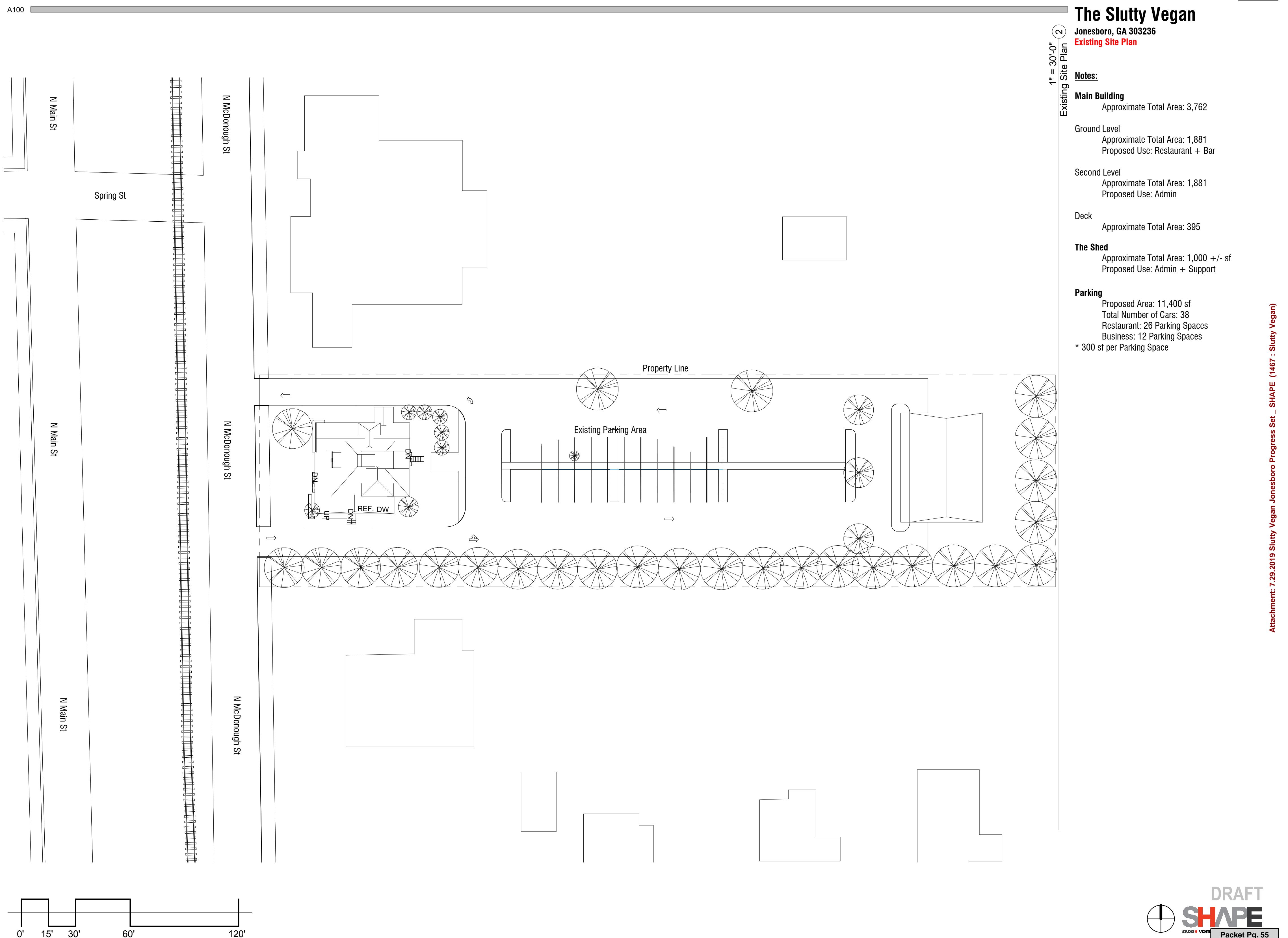
Approximate Total Area: 1,000 +/- sf
Proposed Use: Admin + Support

Parking

Proposed Area: 11,400 sf
Total Number of Cars: 38
Restaurant: 26 Parking Spaces
Business: 12 Parking Spaces
* 300 sf per Parking Space

Existing Site Plan

1" = 30'-0" 2

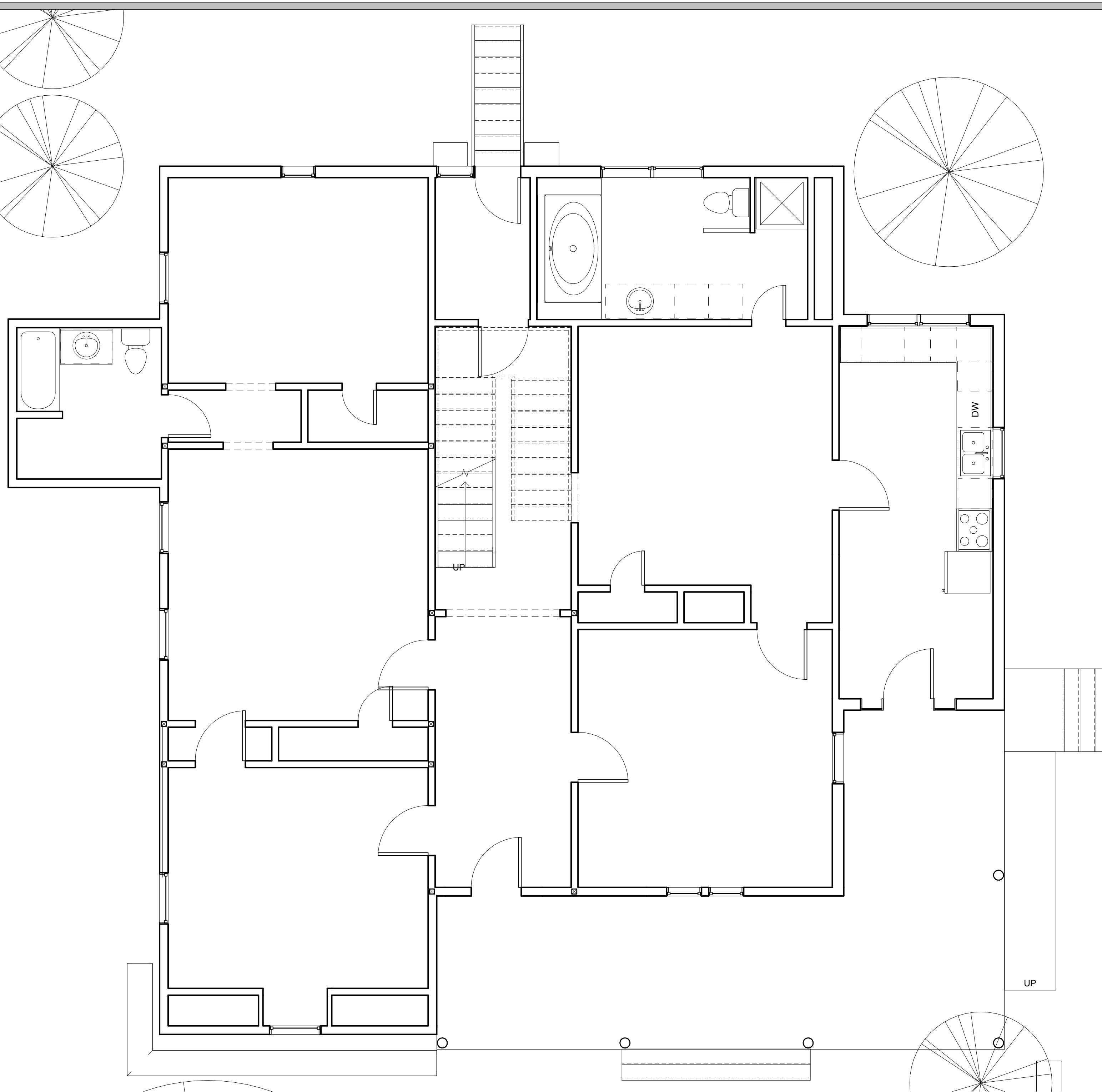


The Slutty Vegan

Jonesboro, GA 303236

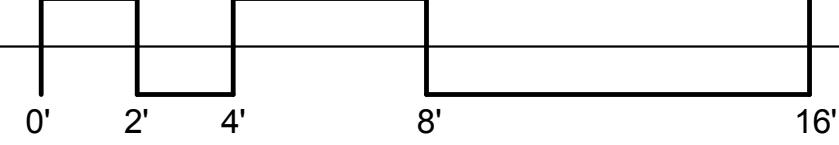
Existing Plan Level 1

Notes:



Existing Level 1

1/4" = 1'-0"



DRAFT

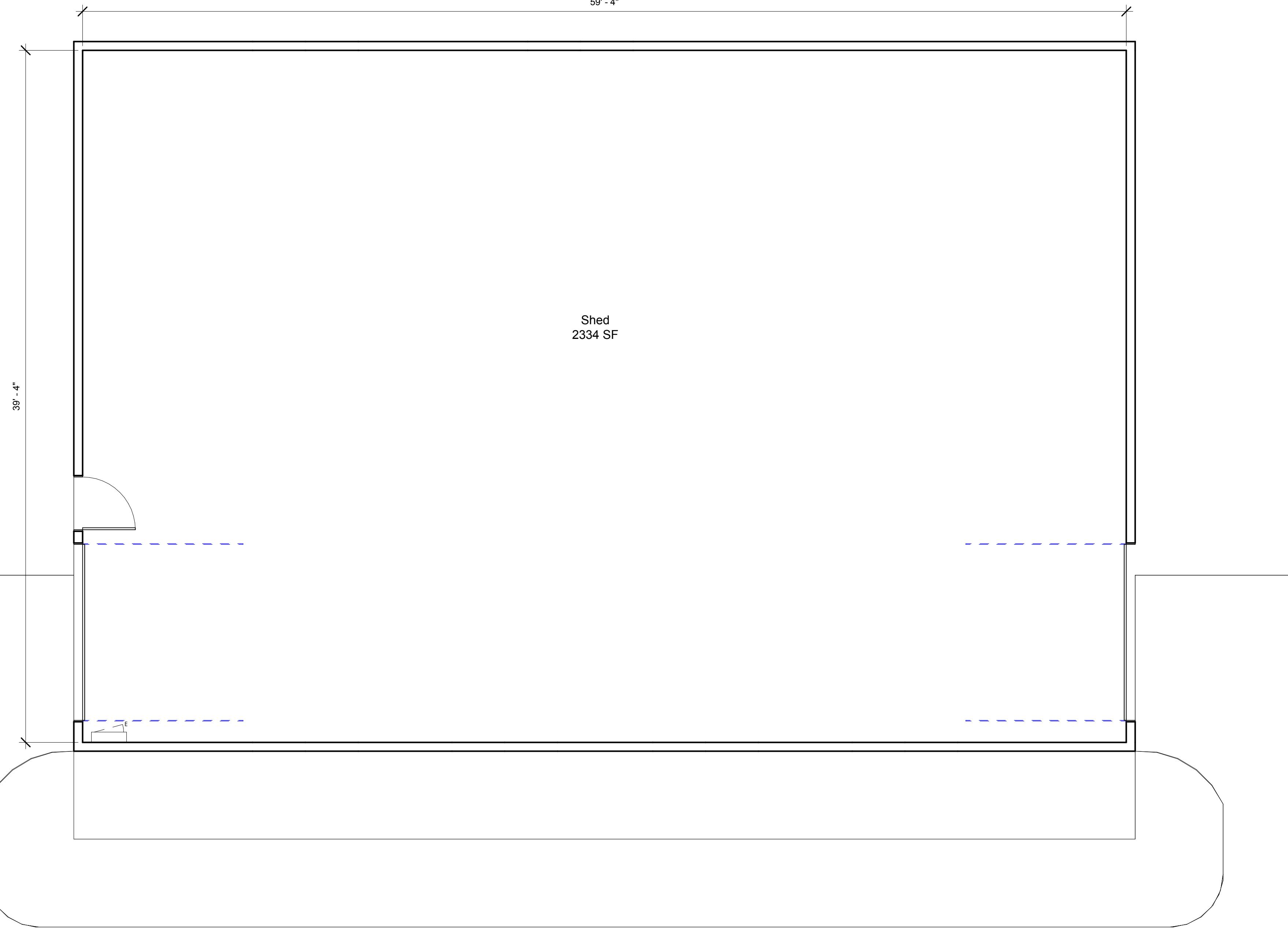
SHAPE

STUDIO H ARCHITECTURE

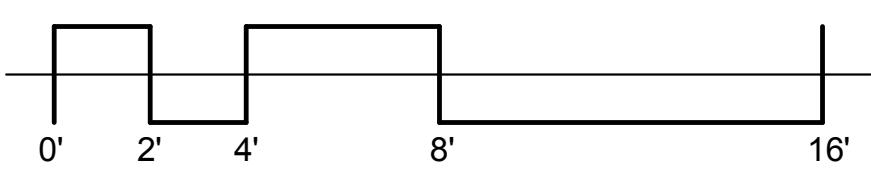
Packet Pg. 56

59' - 4"

Shed
2334 SF



① Existing Shed Level
1/4" = 1'-0"



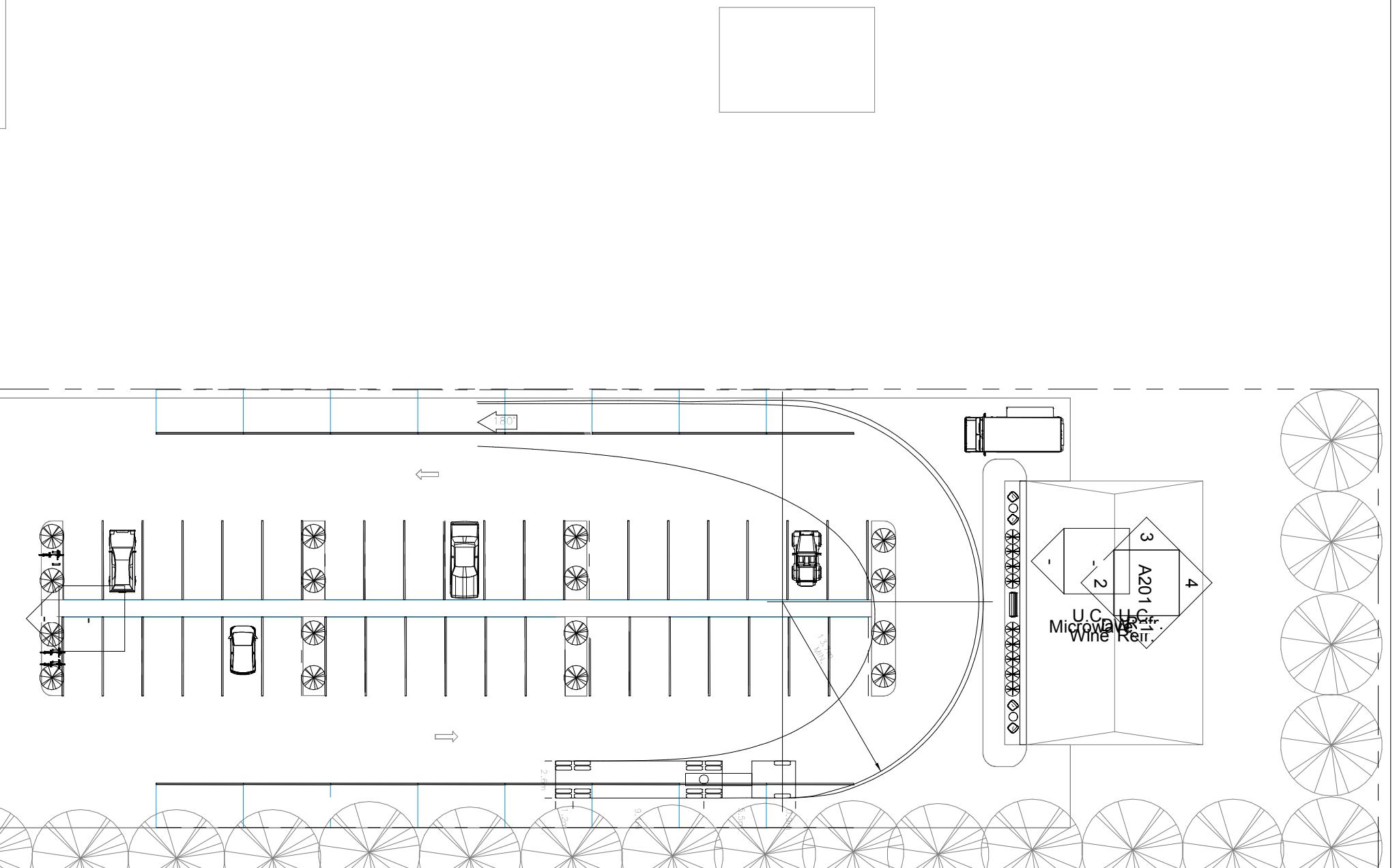
The Slutty Vegan

Jonesboro, GA 303236

Proposed Site Plan

Parking

Proposed Area: 11,400 sf
 Total Number of Cars: 38
 Restaurant: 26 Parking Spaces
 Business: 12 Parking Spaces
 * 300 sf per Parking Space

1" = 30'-0" 1
Proposed Site Plan

The Slutty Vegan

Jonesboro, GA 303236

Proposed Plan Level 1

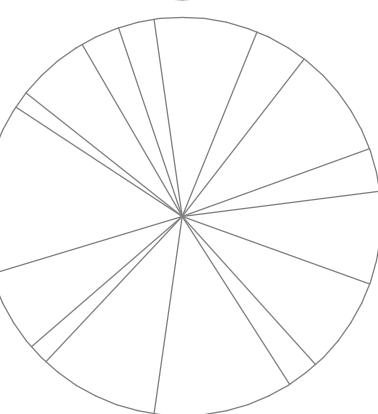
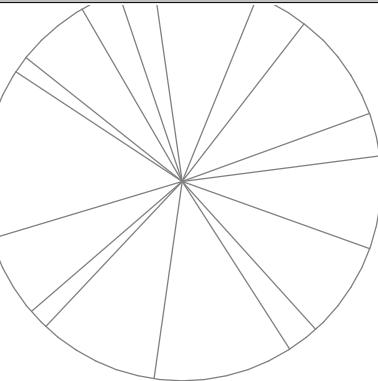
Notes:

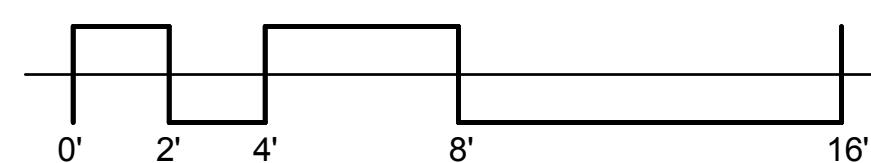
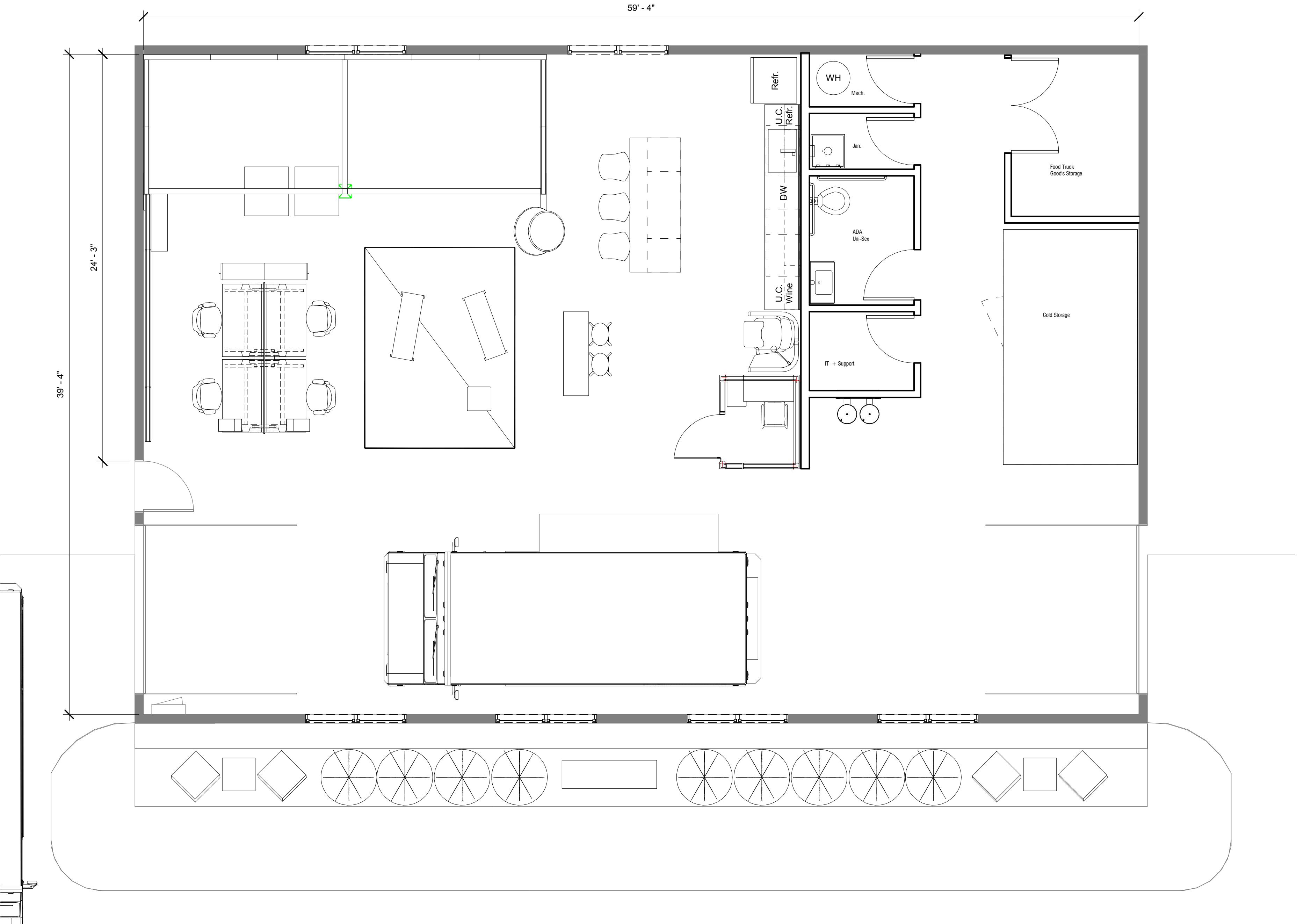
Freezer / Walk-in Cold Storage

Proposed new construction

Total Area: 72 sf

A121

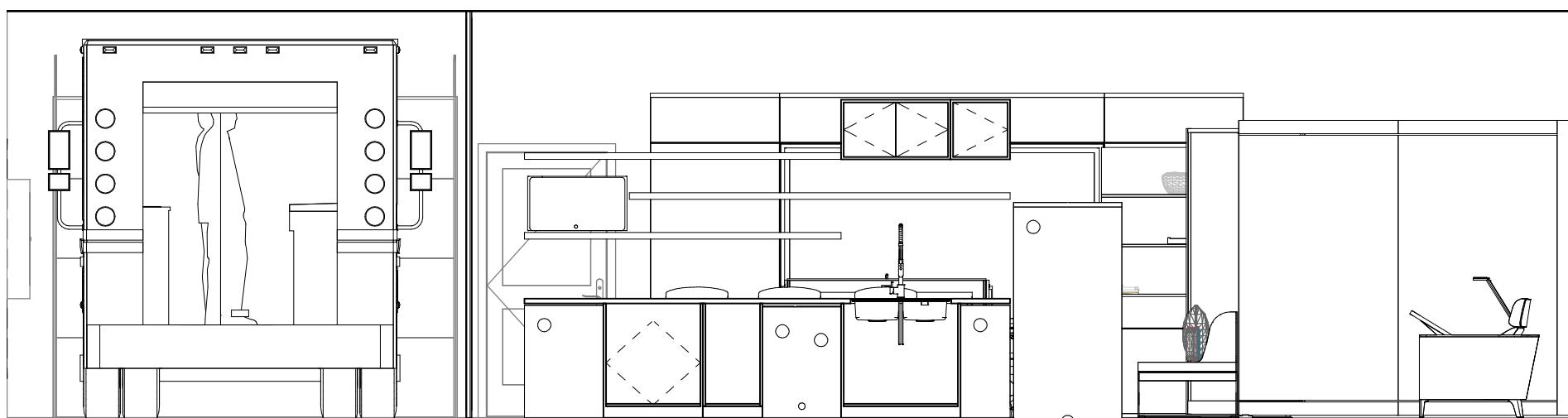




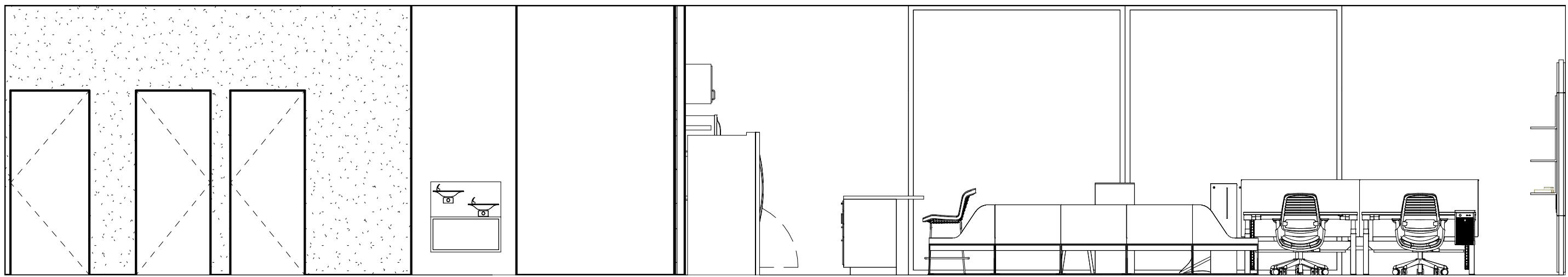
The Slutty Vegan

Jonesboro, GA 303236
Head Quarter Floor Plan

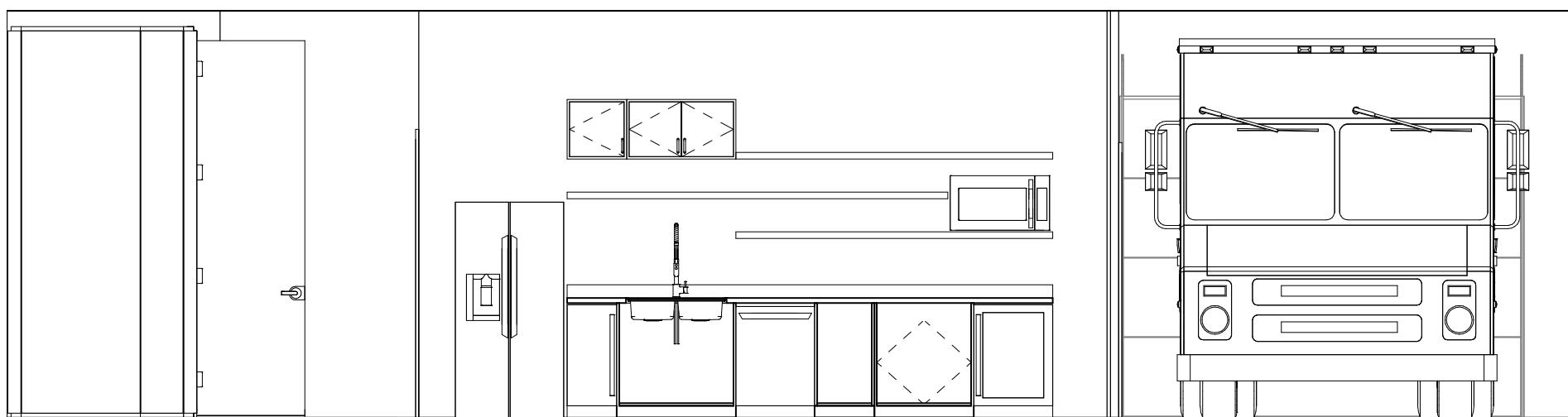




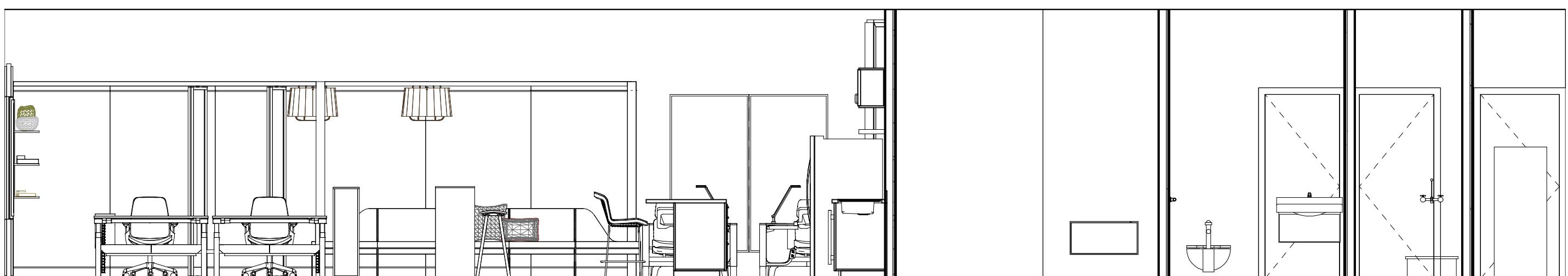
③ Shed North Elevation
1/4" = 1'-0"



② Shed East Elevation
1/4" = 1'-0"



① Shed South Elevation
1/4" = 1'-0"

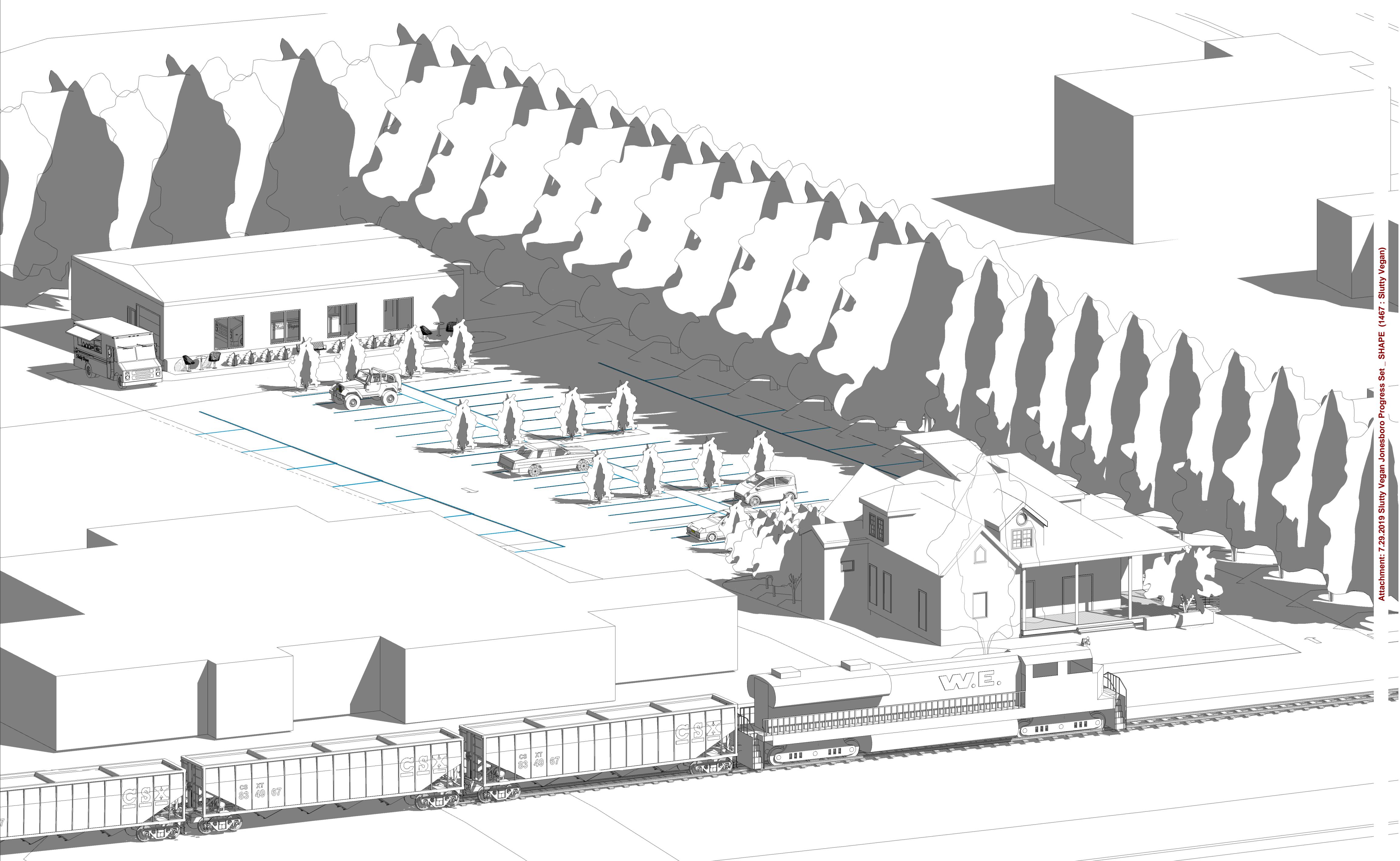


④ Shed West Elevation
1/4" = 1'-0"

The Slutty Vegan

Jonesboro, GA 303236

[The Slutty Vegan](#)



Attachment: 7.29.2019 Slutty Vegan Jonesboro Progress Set - SHAPE (1467 : Slutty Vegan)

The Slutty Vegan

Jonesboro, GA 303236

Demo Plan Level 1

Notes:

Structure

Structural Columns to be confirmed

Restroom

Locations to remain
New layout to be designed

Kitchen

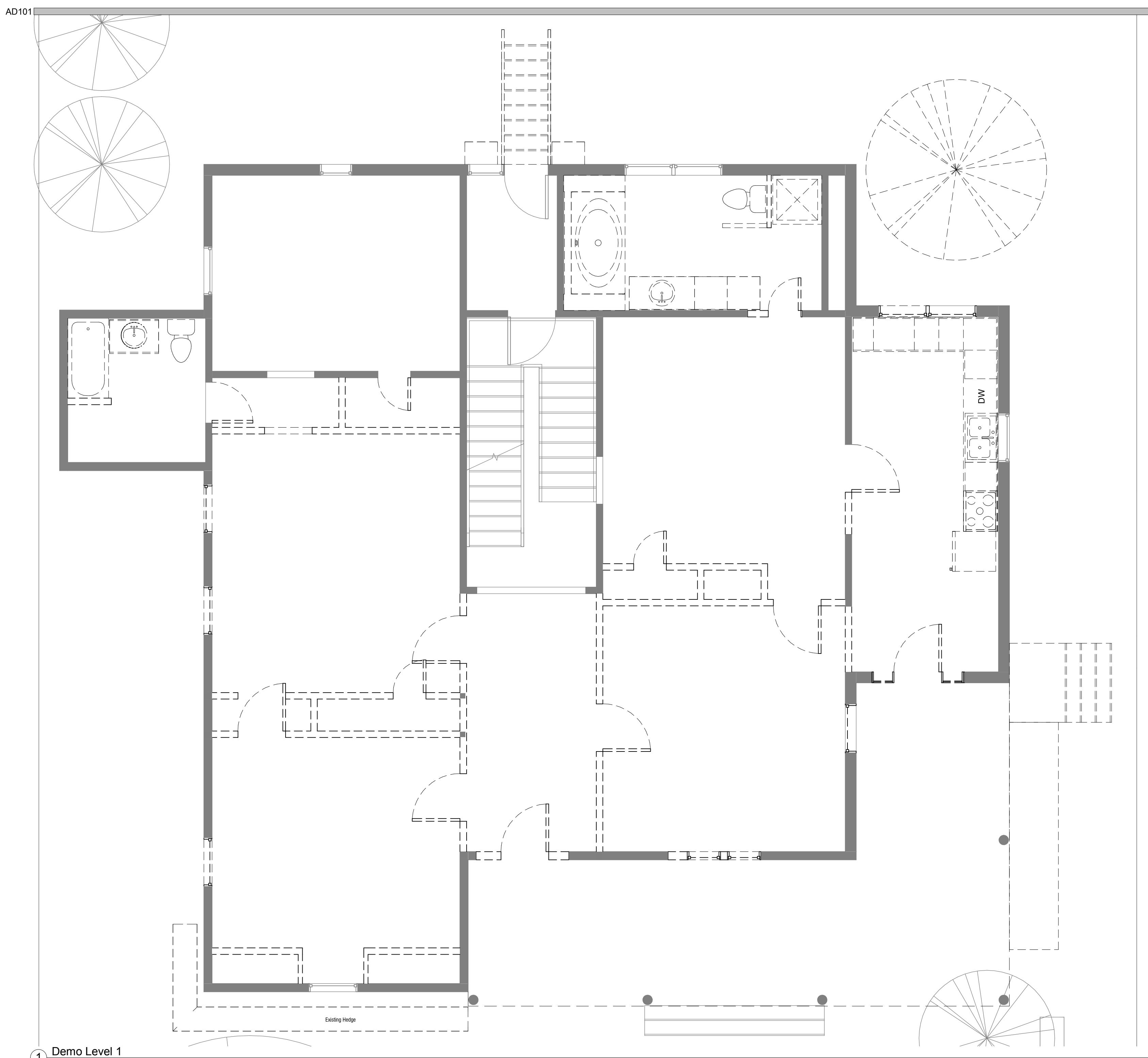
Location to remain
New layout to be designed

Finished Flooring

Existing flooring to be demolished
Proposed flooring to be determined

Interior Stairs

To Remain











**CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary**

Agenda Item #

5.e

-e

COUNCIL MEETING DATE
August 7, 2019

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (*Identify appropriate Action or Motion, purpose, cost, timeframe, etc.*)

Commission to make a recommendation for Arts Clayton – 136 South Main Street; Parcel No. 13241D C013; Exterior modifications to building in Historic District

Requirement for Board Action (*Cite specific Council policy, statute or code requirement*)

Sec. 86-102 Historic District Standards

Is this Item Goal Related? (*If yes, describe how this action meets the specific Board Focus Area or Goal*)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of modifications; Recently, Arts Clayton at 136 South Main Street submitted plans to renovate their basement area with a corresponding exterior modification to the back of the building. The property is zoned H-1 Historic District, which requires a Certificate of Appropriateness for new or modified structures, per Sec. 86-102. For the purposes of the Design Review Commission, the renovations will involve getting rid of the vinyl siding addition currently at the back of the property, adding a brick addition with more windows and doors, and modifying the second story access.

Per the applicant: *"In conjunction with the City of Jonesboro's Broad Street Project, Arts Clayton, is remodeling the west half of the 136 South Main Street building's basement area, which opens onto Broad Street, to be utilized as educational space for our community's use. This space will have his and her ADA bathrooms in place of the existing one bathroom that is currently there. The floor plan will now be open by removing several non-load bearing walls. The floors will have a water vapor barrier and the light fixtures will all be LED lighting. To make the entrance to this remodeled space ADA compliant, the additional covered siding entrance will be replaced with a more historically accurate brick entrance with arched windows covering the required ramp to be refurbished arched back entry."*

Section 86-102 gives further standards for additions and exterior rehabilitation in the Historic District.

(I) Design standards. In order to preserve the physical character of existing historic structures in the H-1 historic district, every effort shall be made to adapt the property in a manner that complements the historic character of the area when making exterior alterations to the existing building, site, or environment.

(1) Existing structures. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, or site shall be retained.

a. Storefront design.

*1. Historic details, doors, window configurations and dimensions, and entryways may not be removed or altered. **No alterations are being made to the front of the building.***

*2. The addition of architectural details where none existed before is discouraged. **The exterior***

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

August, 7, 2019

Signature

City Clerk's Office

modifications will follow the existing style of the building.

3. The use of shutters, residential doors, or the replacement of original display windows with smaller-scale window components or wall surface is prohibited. **No shutters are used now or are proposed.**

4. Obscuring original transom windows with plywood, paint, or other materials is prohibited. **Part of the existing upper windows on the back will be obscured by the brick addition.**

5. New windows on side and rear elevations shall be compatible with historic windows in terms of material, size and design. **So noted. The existing windows on the back are probably not historical.**

6. Storm windows must match the color of the window frame and obscure the window as little as possible. **n/a**

7. Infilling or painting windows is prohibited. **So noted.**

8. Replacing windows with tinted or highly reflective glass is prohibited. All windows must be transparent. **So noted.**

b. Roof.

1. The existing pitch and shape of the roof as seen from public view shall be maintained, although changes hidden by existing parapets, or changes that would restore the roof to its original design, may be allowed. **The main roof will not be altered.**

2. Replacement of existing roofing materials that can be seen from the public view shall be made with the same type of roofing materials. **n/a**

3. Ornamental roof features shall be retained. **So noted.**

c. Building materials.

1. Historic building materials shall be maintained. **The building materials, including the new addition, will match the brick of the existing building.**

2. Unpainted brick facades shall remain unpainted. **So noted.**

3. Damaged exterior materials shall be treated with materials that will not cause further deterioration, including the use of a historic mortar mix of an appropriate color when repointing brick. **So noted.**

d. Awnings.

1. Awnings shall match the shape and dimensions of the door opening or window and shall fit the frame of the window or doorway without covering architectural details. **So noted.**

2. Canvas awnings are preferred; Metal, rigid plastic, shingle, and internally lit awnings are generally prohibited. **So noted.**

3. The use of a continuous awning across two buildings to join them as one business is prohibited. **So noted.**

e. Building color.

1. Color shades and patterns shall complement the color schemes that are found in the district. Reference

materials on appropriate color palettes will be available for review at the office of downtown development city hall. **The building materials, including the new addition, will match the brick of the existing building.**

5.e

2. The use of neon colors is prohibited. **So noted.**

f. Lighting. Lighting fixtures and wattage shall be compatible with the historic character of the district. **No new light fixtures are shown.**

g. Fences and walls. **No new fences or walls are shown.**

1. Historic fences and retaining walls shall be maintained and not removed.

2. New fences and screening walls shall be constructed of traditional materials, typically wood for fencing and brick, stone or granite for walls.

h. Equipment.

1. Mechanical systems shall be placed behind the building and out of public view; any systems that must be located on the roof shall be placed to the rear of the roof. **So noted.**

2. Utility meters and security lighting shall be placed unobtrusively. **So noted.**

3. Dumpsters shall be placed to the rear of buildings and shall be screened from public view by fencing or walls utilizing traditional materials (see subsection (1)g.2 above. **So noted.**

i. Parking. **No new parking to be added and no existing parking to be altered.**

1. Off-street parking areas, not located in a parking deck, shall be placed to the rear of buildings and screened from public view by a wall by fencing, or by vegetation comprised of a minimum eight-foot high landscape buffer of trees and shrubbery or a minimum four-foot high continuous hedge.

2. New surface parking, not located in a parking deck, is encouraged to use concrete or stone pavers; asphalt is also permitted in the district.

(2) Additions. Alterations to existing properties are permitted when such alteration and additions do not destroy significant architectural or historical material. The design shall be compatible with the size, scale, color, material and character of the property and downtown area. **The building materials, including the new addition, will match the brick of the existing building.**

a. Additions shall be placed away from public view on the rear elevation for buildings having frontage on Main and McDonough Streets, or on a rear or side elevation for all other buildings in the district. **On rear**

b. The form, orientation, and symmetry of the original structure shall be maintained. **So noted.**

c. Matching or similar materials, elements (e.g., windows), and ornamentation as those found on the original structure shall be used. **So noted.**

Through the years, there have been a number of alterations and repurposing of the buildings between Main Street and Broad Street. The proposed modifications to Arts Clayton will make the building more useful to citizens and the exterior alterations will honor the existing character of the historic downtown district.

(h) Standards for establishment of large places of assembly. The following development standards shall apply to large places of assembly.

(1) Area regulations. a. Minimum lot area. The minimum lot area required for establishment of a large place of assembly shall be two acres.

b. Minimum lot width. The minimum lot width required for establishment of a large place of assembly shall be 200 feet.

c. Minimum front yard. None.

d. Minimum rear yard. Ten feet; 30 feet when abutting a residential district or use.

e. Minimum side yard on street side of a corner lot. None.

f. Minimum side yard. Five feet; 30 feet when abutting a residential district or use.

g. Maximum ground coverage by buildings and impervious surfaces. Ninety percent.

(2) Height regulations. The maximum height for buildings abutting a residential district or use shall be three stories or 35 feet as measured at any point 30 feet from any common property line. Building height may be increased one foot for every additional foot beyond a distance of 30 feet from any common property line. No building shall exceed a height of 75 feet.

These standards for the lot are not changing. The building height and is not changing, nor is the amount of impervious surface on the lot. The rear line of the new brick addition will roughly be where the location of the addition with vinyl siding is now.

Coordination with the Broad Street project will have to be made, especially in terms of the position of new sidewalks and trees.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Application
- Site Pictures
- Building Permit Application
- Exterior Renovations

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval



CITY OF JONESBORO

124 North Avenue
Jonesboro, Georgia 30236
www.jonesboroga.com

JONESBORO HISTORIC PRESERVATION COMMISSION

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The Jonesboro Historic Preservation Commission or J.H.P.C. is tasked with insuring the Historic District's Preservation and standards are met according to the City of Jonesboro Codes and Ordinances. This application and approval thereof does not constitute an approval to begin construction. It is a review of Chapter 86 – Zoning, Section 86-102 (H-1) Historic District and Section 86-103 (H-2) Historic District. Once the applicants meets Historic District Code, the process of approval of plans, land disturbance, and other compliance measures must be met. Please contact the Jonesboro City Hall (770) 478-3800 and speak with the City Clerk for further information.

Property Information:

Address: Arts Clayton, 136 S. Main Street, Jonesboro, GA 30236

Owner: Clayton County tourism Authority

Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.

Applicant Information:

Applicant Name: Elizabeth Gower

Mailing Address: 136 S. Main Street, Jonesboro, GA 30236

Email Address: elizabeth.gower@artsclayton.org Telephone: 770-473-5775/Cell 678-972-4485

- Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Residential - \$35.00

Commercial: \$50.00

Sign: \$10.00

PROJECT INFORMATION

Type of Project (Check all that apply)

Construction

- New building
- Additional building
- Minor Exterior Change
- Major Building Restoration, Rehabilitation, or Remodeling

Site Changes

- Parking area(s), Driveway(s), or Walkway(s)
- Fence(s) or Wall (s)
- Sign(s)
- Mechanical System(s)
- Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

Demolition or Relocation

- Primary Building
- Outbuilding
- Site Feature

APPLICATION REQUIREMENTS

Applicants must include support materials as noted to be considered (i.e. plans, schematics, images, dimensions, surrounding structures). Incomplete applications will not be reviewed.

APPLICATION DEADLINE & REPRESENTATION

Applications must be delivered to the Jonesboro City Hall at least eighteen (18) days preceding the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis. Applicant's attendance is required: A presentation with visuals and detailed information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

REQUIRED MATERIALS

The following materials are required for a complete application. Incomplete applications WILL NOT be reviewed.

A. New Buildings and Additions:

- i. Description of Project
- ii. Site Plan
- iii. Architectural Elevations
- iv. Floor Plan
- v. Description of Materials
- vi. Photographs of Proposed Site

B. Major Restoration, Rehabilitation, or Remodeling:

- i. Architectural Elevations or Sketches
- ii. Description of Project
- iii. Description of Materials
- iv. Photographs of Proposed Site

C. Minor Exterior Changes:

- i. Description of Project
- ii. Description of Materials
- iii. Photographs of Existing Building

D. Site Changes: Parking, Driveways & Walkways:

- i. Site Plan or Sketch of Site
- ii. Description of Materials
- iii. Photographs of Site

E. Site Changes: Fences, Walls, and other Site Features:

- i. Site Plan or Sketch of Site
- ii. Architectural Elevations or Sketches
- iii. Description of Materials
- iv. Photographs of Site

F. Site Changes: Signs:

- i. Architectural Elevation or Sketch (For signs located on the building)
- ii. Site Plan or Sketch of Site (For free standing signs)
- iii. Description of Materials and Illumination

PROJECT AND MATERIALS DESCRIPTION

In conjunction with the City of Jonesboro's Board Street Project, Arts Clayton is remodeling the west half of the 136 S. Main Street building's basement area, which opens onto Broad Street, to be utilized as Educational Space for our community's use. This space will have his and her ADA bathrooms in place of the existing one bathroom that is currently there. The floor plan will now be open by removing several non-load barring walls. The floors will have a water vapor barrier and the light fixtures will all be LED lighting. To make the entrance to this remodeled space ADA compliant, the additional covered siding entrance will be replaced with a more historically accurate brick entrance with arched windows covering the required ramp to the refurbished arched back entry

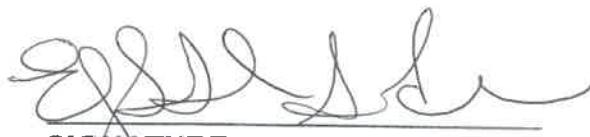
(Add Additional Sheets as Necessary)

Elizabeth Gower

PRINT NAME

7/31/19

DATE

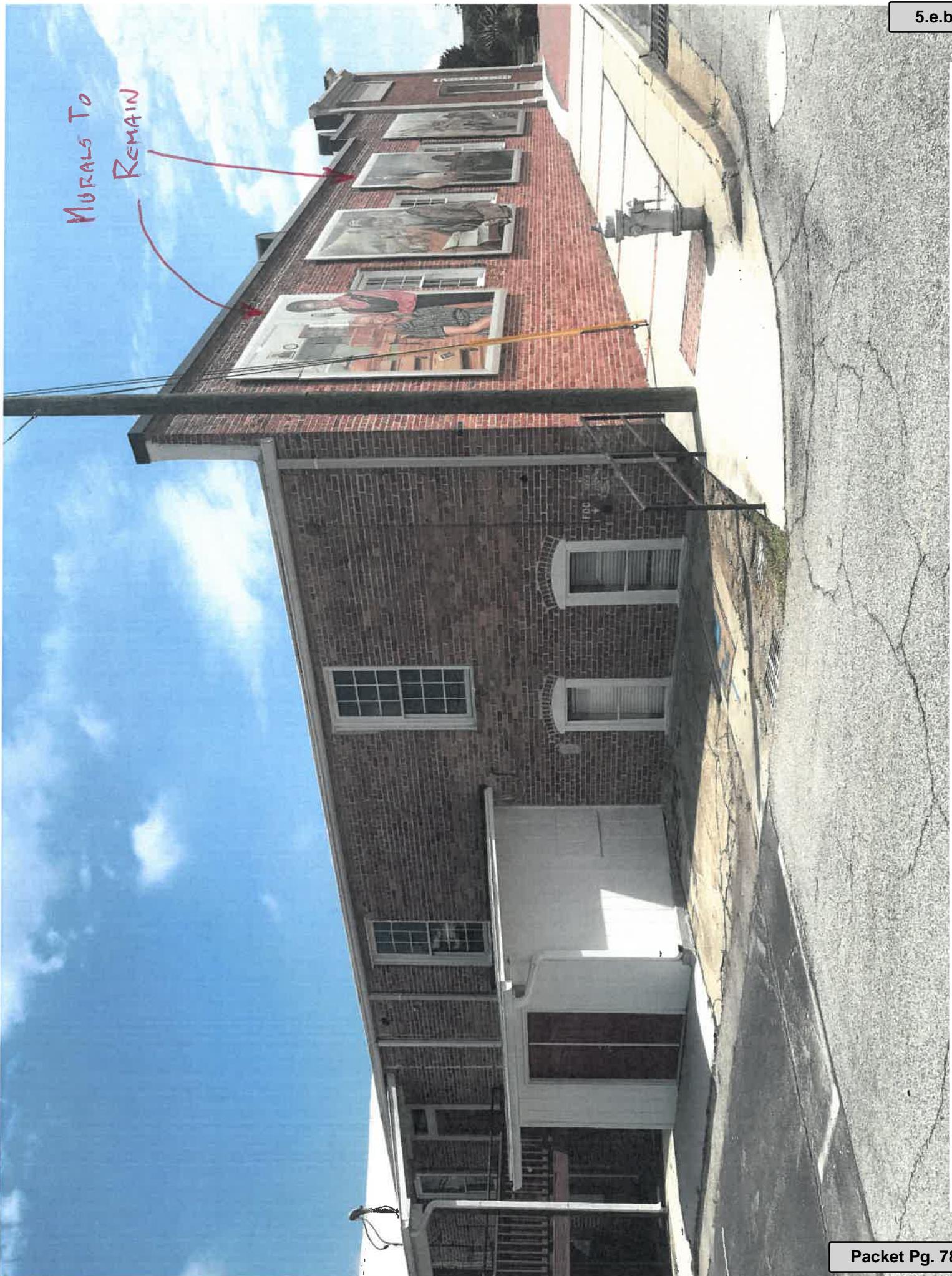


SIGNATURE

\$125.00

FEE AMOUNT

(Application Received By)





Attachment: Site Pictures (1468 : Arts Clayton Renovations)

Elizabeth Gower

Operations & Education

Arts Clayton
136 South Main Street
Jonesboro, GA 30236
Phone. 770-473-5775
Cell 678-972-4485
Email: elizabeth.gower@artsclayton.org

5.e.c

F JONESBORO

ORTH AVENUE
BORO, GA 30236
0 • FAX 770-478-3775

Permit Application Non Fee \$100.00

and ordinances of Jonesboro for a permit to erect, alter, and/or use a
any plans and specifications, to be located as shown on plot plan and,
if granted, will conform to all laws and ordinances regulating same.

BL# _____ County Clayton
Date 07 17 19
Permit No. 064

Address <u>136 S. Main Street</u>		Project/Subdivision			
Parcel ID #		LL	District		Zoning
Flood Plain		Lot	Block		Plan #
Purpose of Permit:		Describe Use of Construction			Size of New Structure
<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input checked="" type="checkbox"/> Remodel <input type="checkbox"/> Demolition <input type="checkbox"/> Other		<u>Basement Renovation</u>			<u>N/A</u> x
Structure Type:		<input type="checkbox"/> Retached Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Apartment <input type="checkbox"/> Institutional <input type="checkbox"/> Swimming Pool <input type="checkbox"/> Accessory <input type="checkbox"/> Fee Simple <input type="checkbox"/> Condo/Townhome			
Foundation: <input type="checkbox"/> Slab <input type="checkbox"/> Crawl Space <input checked="" type="checkbox"/> Basement		Heated Area: Main <input checked="" type="checkbox"/> Upper _____ Lower <input checked="" type="checkbox"/> Other _____ Total _____			
Unfinished Area		Carport	Garage		Total Area
No. Stories	Height	No. Units	No. Rooms	No. Bedrooms	No. Baths
Sewage: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Septic Tank		Power: <input checked="" type="checkbox"/> Georgia Power <input type="checkbox"/> Other		Water: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Well	Cooling/Heating: <input type="checkbox"/> Gas <input checked="" type="checkbox"/> Electric
Exterior Finish Material		Estimated Construction Cost			
Land Owner <u>Tourism Authority/Arts Clayton</u>		Contractor <u>Ray Hill, Jr.</u>			
Address <u>136 S. Main Street</u>		Address <u>4082 42 South</u>			
City <u>Jonesboro</u>	State <u>GA</u>	Zip <u>30236</u>	City <u>LovestGove</u>	State <u>GA</u>	Zip <u>30248</u>
Telephone <u>770-473-5775</u>		Telephone <u>770-506-8882</u> GA License No. <u>404-597-66</u>			

I hereby certify that the above permitted structure shall be built in accordance with the 2012 Georgia State Energy Code for Buildings. This code regulates the design, erection, construction, alteration and renovation of buildings. Compliance is mandatory.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulating construction or the performance of construction.

Date 7/17/19 Printed Name Elizabeth Gower Signature Elizabeth Gower

NOTICE: Separate permits are required for electrical, plumbing, heating, ventilation, air conditioning or prefabricated places. This permit becomes null and void if work authorized is not commenced within six (6) months of permit approval or if work is suspended or abandoned for a period of six months at anytime after it is begun. Proper permits must be obtained before work is begun or fees shall be doubled.

DO NOT COMPLETE THE FOLLOWING - office use only

TEMPORARY POLE (#) \$30.00

Building - Sq. Ft. <u> </u> x .20 = <u> </u>	Fireplace (#) <u> </u> x 30.00 = <u> </u>
Electrical <u> </u> x .20 = <u> </u>	Garbage Disposal (#) <u> </u> x 12.50 = <u> </u>
Plumbing <u> </u> x .20 = <u> </u>	Low Voltage (Minimum) <u> </u> x 50.00 = <u> </u>
HVAC <u> </u> x .20 = <u> </u>	

ICC <u> </u> \$ <u> </u>	Temp # <u> </u>	Date <u> </u>
F/P: <input type="checkbox"/> Yes <input type="checkbox"/> No	Approved by: <u> </u>	Input by: <u> </u> Permit Cost: <u> </u> C.O. Fee: <u> </u> Total Fee: <u> </u>
Issued by: <u> </u>	Payment Amt: <u> </u>	Payment Type <input type="checkbox"/> Cash <input type="checkbox"/> Check <input type="checkbox"/> Card



Project Address: 136 S Main St, Jonesboro, GA 30236	Prepared for: ARTS CLAYTON	Drawing Title: PERSPECTIVES	Drawing Status: CONCEPTUAL
Project number: 17050	Date: 10/18/18	Drawing: A901	





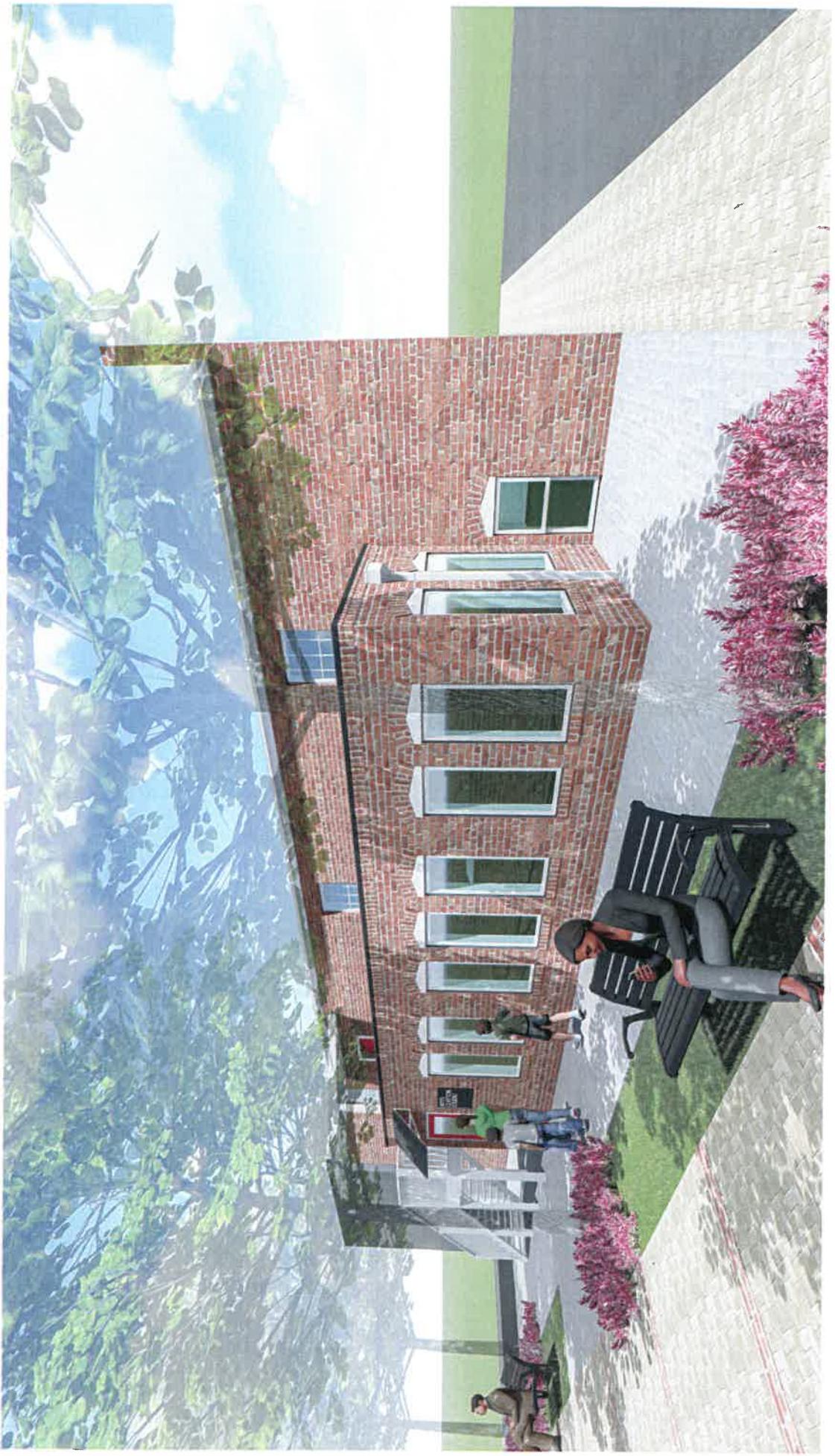
Project Address: ARTS CLAYTON - PROPOSED EDUCATIONAL SPACE	Prepared for: ARTS CLAYTON	Drawing Title: PERSPECTIVES	Drawing Status: CONCEPTUAL
110 N McDonough Street Jonesboro, Ga 30236 404.975.7885 email: joi@joiaviles.com www.joiaviles.com © 2018 JOEL AVILES ARCHITECTS, LLC All Rights Reserved	136 S Main St, Jonesboro, GA 30236	17050	Date: 10/18/18 Drawing: A902





Project Address: 136 S Main St, Jonesboro, GA 30236	Prepared for: ARTS CLAYTON	Drawing Title: PERSPECTIVES	Drawing Status: CONCEPTUAL
Project number: 17050	Date: 10/18/18	Drawing: A903	





110 N McDonough Street
Jonesboro, GA 30236
404.975.7855
email: pof@jonesboro.com
www.pelaviles.com
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All Rights Reserved





CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary

Agenda Item #

5.f
-f

COUNCIL MEETING DATE
August 7, 2019

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (*Identify appropriate Action or Motion, purpose, cost, timeframe, etc.*)

Commission to make a recommendation for Resale Therapy – 171 North Main Street; Parcel No 13240D C002.; Replacement sign panel for new business in Historic District.

Requirement for Board Action (*Cite specific Council policy, statute or code requirement*)

City Code Section 86-489 and 86-490 – Sign Standards

Is this Item Goal Related? (*If yes, describe how this action meets the specific Board Focus Area or Goal*)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of replacement panels; Recently, Resale Therapy was approved for zoning for a quality home décor store. The interior of the building is being improved, and the applicant desires to replace the sign panels in the existing sign framework at the road. The property is zoned H-2, Historic District, and was the former location of Classic Man Barber Shop. The existing sign framework has had several sign permits for face changeouts through the years.

The replacement panels in the pre-existing ground sign at the road will not exceed the panel framework already there. The white and light blue color scheme will be compatible with adjacent businesses.

The ground sign replacement panel will be 20.25 square feet (each side), which is below the maximum 35 square feet allowed in Code Section 86-490(a). There will continue to be changeable copy on the bottom part of the sign face, equaling about 28% of the sign face, complying with the maximum allowable standard of 33%.

Staff considers the replacement panels to be an upgrade over the previous panels.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Application
- Site Pictures
- Existing Sign
- Proposed Sign

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

August, 7, 2019

Signature

City Clerk's Office

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

5.f



CITY OF JONESBORO

124 North Avenue
Jonesboro, Georgia 30236
www.jonesboroga.com

JONESBORO HISTORIC PRESERVATION COMMISSION

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

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Property Information:

Address: 171 North Main Street Jonesboro, GA 30236

Owner: T.J. McGinnis

Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.

Applicant Information:

Applicant Name: Gigi's House Inc. DBA ReSale Therapy

Mailing Address: 7147 Jonesboro Road Suite PO Box 810051

Email Address: resaletherapy@gigishouseatl.org Telephone: 404-291-0902

- Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Application Fee \$125.00

PROJECT INFORMATION

Type of Project (Check all that apply)

Construction

- New building
- Additional building
- Minor Exterior Change
- Major Building Restoration, Rehabilitation, or Remodeling

Site Changes

- Parking area(s), Driveway(s), or Walkway(s)
- Fence(s) or Wall (s)
- Sign(s)
- Mechanical System(s)
- Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

Demolition or Relocation

- Primary Building
- Outbuilding
- Site Feature

APPLICATION REQUIREMENTS

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REQUIRED MATERIALS

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- i. Description of Project
- ii. Site Plan
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- iv. Floor Plan
- v. Description of Materials
- vi. Photographs of Proposed Site

B. Major Restoration, Rehabilitation, or Remodeling:

- i. Architectural Elevations or Sketches
- ii. Description of Project
- iii. Description of Materials
- iv. Photographs of Proposed Site

C. Minor Exterior Changes:

- i. Description of Project
- ii. Description of Materials
- iii. Photographs of Existing Building

D. Site Changes: Parking, Driveways & Walkways:

- i. Site Plan or Sketch of Site
- ii. Description of Materials
- iii. Photographs of Site

E. Site Changes: Fences, Walls, and other Site Features:

- i. Site Plan or Sketch of Site
- ii. Architectural Elevations or Sketches
- iii. Description of Materials
- iv. Photographs of Site

F. Site Changes: Signs:

- i. Architectural Elevation or Sketch (For signs located on the building)
- ii. Site Plan or Sketch of Site (For free standing signs)
- iii. Description of Materials and Illumination

PROJECT AND MATERIALS DESCRIPTION

Removing vinyl letters and replacing with
new vinyl letters on existing sign, existing
pan face (face change)

Speedy Signs 770-991-0847 (Keith Kimball, owner)
6728 Hwy 85 Suite G
Riverdale, GA 30274 770-991-0847

(Add Additional Sheets as Necessary)

Brandy Hodge
PRINT NAME

8-2-19
DATE

Brandy Hodge
SIGNATURE

FEE AMOUNT

 (Application Received By)

ATTACHMENT -1-

PROPERTY OWNER'S AUTHORIZATION

The Undersigned below, or as attached, is the owner of the property which is subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of a variance for the property.

CERTIFICATE OF APPROPRIATENESS

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Clayton County, Georgia.

Travis J. McGinnis
PRINT NAME

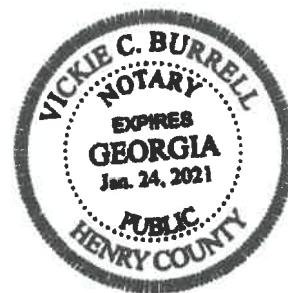
Travis J. McGinnis 8/1/19
SIGNATURE/DATE

this 1st day of August 2019.

NOTARY: Vickie C. Burrell

Vickie C. Burrell
SIGNATURE/DATE

SEAL





CLAYTON COUNTY FIRE & EMERGENCY SERVICES FIRE INSPECTION REPORT

Business Information

Occup ID: J00436

Insp #: INSP19-00755

Date/Time: 07/31/2019 13:51:00

Business Name: Resale Therapy

Address: 171 North MAIN Street,
City of Jonesboro, GA 30236

Phone: (404) 291-0902

Email:

Inspector: Roberts, LaShawndra

Inspection Type: INSPECTION - C.O. for business
license (JB)

Unit: CAR75

Time taken: 0.28

Passed: 1

Current Business No
License?:

Primary Contact

Name: Brandy Hodges

Work Phone:

Email: resaletherapy@gigishouseatl.org

Position: BS OWNER

After Hours Number: 404-291-0902

Inspection Details

Violations

No violations were noted on this inspection.

Notes: This inspection is for BLCO- City of Jonesboro

No violations found at time of inspection.

CO APPROVED

***** IMPORTANT: PLEASE READ CAREFULLY! *****

Fees are assessed based on your business's square footage pursuant to COCC § 42-41

Inspection Fee 0 Total Square 1500

\$: Feet:

Tier 1: 0-10,000 = \$100 Tier 2: 10,001-50,000 = \$200 Tier 3: 50,001+ = \$300

MAKE CHECKS PAYABLE TO: CLAYTON COUNTY FIRE & EMERGENCY SERVICES

MAIL TO: FIRE RECOVERY USA, LLC P.O. BOX 935667 ATLANTA, GA 31193-5667

Signatures

Signatures

Person

Signature Date

Signature Graphic

Owner/Rep. : Brandy Hodges

7/31/2019

Inspector : LaShawndra Roberts

7/31/2019

Google Maps 171 N Main St

Image capture: Sep 2018 © 2019 Google

Jonesboro, Georgia



Street View - Sep 2018

Pine Cr





Existing Sign

