

## **DESIGN REVIEW COMMISSION**

**September 4, 2019**

### **MEETING AGENDA:**

- I. Call to Order
- II. Approval of Agenda
- III. Approval of Minutes
- IV. Old Business - None
- V. New Business - Action Items
  - a. Amazon Lockers - Placement on Commercial Buildings
  - b. Citgo Gas Station - 190 Jonesboro Road - Exterior Modifications
  - c. KFC Restaurant - 8687 Tara Boulevard, Exterior Modifications
  - d. Adorn Beauty Enhancements - 202 South Main Street - Sign Alterations
  - e. 137 West Mill Street Sign
  - f. Segner Residence - 125 North Avenue - Replacement Roof
  - g. Yuppie Puppy - 178 North McDonough Street - Exterior Modifications
  - h. Broad Street Project
  - i. Article VII - Architectural Style and Scale Text Amendment
- VI. Adjournment



# CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary

Agenda Item #  
-a

5.a

COUNCIL MEETING DATE  
September 4, 2019

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make recommendation on Amazon Lockers – No specific address or parcel; Package storage lockers attached to various businesses within the City.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

Chapter 86 - Zoning

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

No

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of placement of storage lockers, with conditions;** Recently, a representative from Amazon emailed me about the possibility of installing Amazon parcel outdoor storage lockers either attached or close to various commercial buildings within the City limits. No specified locations have been chosen.

Per Elizabeth Arcese: *If we were to install a Locker outside of a principal building, anchored to a wall or bolted to concrete and within a couple inches of a wall, would that be permissible under the current zoning code in your view? Lockers are generally installed outside of a retail or commercial business, such as a 7-Eleven or grocery store. The Lockers come in blue and grey (see attached)*

Due to the size of the structures (approximately 65 square feet), and their bold color, I felt that Design Review input was warranted. Due to branding, the colors cannot change. They are electronic.

**Staff's initial conditions for approval would be the following (Design Review may have more):**

1. **For the Tara Boulevard Overlay District, that they not be allowed along the front façade of a commercial building, only the sides or rear of the building. For detached lockers, that they not be allowed in the front yard of the building.**

**That they be prohibited in the Historic District and the Historic Residential Overlay.**

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Developer

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Locker Info

Staff Recommendation (Type Name, Title, Agency and Phone)

**Approval, with Conditions**

## FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

September, 4, 2019

Signature

City Clerk's Office

**David Allen**

---

**From:** Arcese, Elizabeth <arceseea@amazon.com>  
**Sent:** Tuesday, August 6, 2019 2:06 PM  
**To:** Arcese, Elizabeth  
**Subject:** Zoning Inquiry - Amazon Locker  
**Attachments:** Amazon Locker.pdf

Hello,

I am with Amazon Locker and have a question about zoning as it may relate to installation of outdoor Lockers. If we were to install a Locker outside of a principal building, anchored to a wall or bolted to concrete and within a couple inches of a wall, would that be permissible under the current zoning code in your view? Lockers are generally installed outside of a retail or commercial business, such as a 7-Eleven or grocery store. The Lockers come in blue and grey (see attached). Can you please advise as to what we might expect in terms of zoning, permitting and accessibility requirements in this context? Thank you and please let me know if any questions.

Regards,

Elizabeth Arcese | Project Manager | Amazon Hub Locker  
[arceseea@amazon.com](mailto:arceseea@amazon.com)



## David Allen

**From:** Arcese, Elizabeth <arceseeaa@amazon.com>  
**Sent:** Tuesday, August 20, 2019 2:12 PM  
**To:** David Allen  
**Cc:** Ricky , L. Clark, Jr.  
**Subject:** RE: Zoning Inquiry - Amazon Locker

Hi David,

Lockers are available only in these colors (the bright blue and the dark grey) as part of our branding. We are not able paint Lockers or change the color to match the install location. Please let me know if any other questions.

Best,

Elizabeth Arcese | Project Manager | Amazon Hub Locker  
[arceseeaa@amazon.com](mailto:arceseeaa@amazon.com)



**From:** David Allen <dallen@jonesboroga.com>  
**Sent:** Tuesday, August 20, 2019 10:49 AM  
**To:** Arcese, Elizabeth <arceseeaa@amazon.com>  
**Cc:** Ricky , L. Clark, Jr. <rclark@jonesboroga.com>  
**Subject:** RE: Zoning Inquiry - Amazon Locker

Can they be the same color as the building they are attached to, or is the blue part of the brand recognition?



**David Allen | Community Development Director | City of Jonesboro, GA**  
 tel: [770-478-3800](tel:770-478-3800) | cell: [770-570-2977](tel:770-570-2977) | [dallen@jonesboroga.com](mailto:dallen@jonesboroga.com) |  
 124 North Avenue | Jonesboro, Georgia 30236 | [www.jonesboroga.com](http://www.jonesboroga.com)  
[Like Us On Facebook](#) [Like Us on Twitter](#)

**From:** Arcese, Elizabeth <arceseeaa@amazon.com>  
**Sent:** Friday, August 16, 2019 5:24 PM  
**To:** David Allen <dallen@jonesboroga.com>  
**Cc:** Ricky , L. Clark, Jr. <rclark@jonesboroga.com>  
**Subject:** RE: Zoning Inquiry - Amazon Locker

Hi David,

# amazon hub Locker

## 3.0 Outdoor Locker



### Design & Placement

- Waterproof locker that includes shelter with embedded lights for added security
- Computing equipment compartment includes a built-in air conditioner (operating temperature ranges from -20c to 50c)
- Locker must sit 4"-5" off wall; total depth of 28"
- Lockers are bolted into the ground using expansion anchor bolts
- Lockers cannot install on sloped surfaces; the change in grade over a 9' span cannot be more than 2"
- There must be a clear path at least 3'6" in width along the front of the locker
- A = 3' Adder; S = 3' Starter
- Screen Size = 10"
- Space required: 28"x80"x94" (depth x width x height) for a 6' locker

### Electrical

- Power Consumption: 840 Watt (max), 125 Watt (regular)
- Input Voltage: 120 AC @ 50/60Hz 8.0A
- Est. Annual Energy Consumption ~1322 kWh
- All exterior lockers are hardwired into a standard electrical disconnect on a 20A dedicated circuit. Disconnects are always installed to the side of the locker for accessibility.

# amazon hub Locker

## **AMAZON LOCKER SPECIFICS:**

The project is to install an Amazon Locker placed outside of a principal building. The Locker is generally ~72", 108" or 144" long (6', 9' or 12') by ~28" deep by ~94" high. The Locker sits in front of the store on a concrete pad. The Locker is bolted into the concrete by four 3 1/4 inch anchoring bolts (2 bolts per side). The Locker is hardwired into an electrical box with an electrical disconnect. Additional site prep details are included in the Installation Guide provided with any given submission.

The Locker color is either grey or blue. The Locker is equipped with a touch screen and pin pad where customers can enter their Unique ID Code in order to pick up and return Amazon packages. The Locker has a friendly name (ex: Lark or Argos) so it can be easily identified. Customers receive their Unique ID Code by email or text message. Locker slots can ONLY be opened by entering the Unique ID Code or by scanning a barcode.

Only Amazon.com purchased items are eligible for shipment to the Locker and there are additional size and weight restrictions. Items that require identification (alcohol, tobacco etc.) and perishables are not eligible for delivery to the Locker. Customers have 3 days to pick up or return their package once they retrieve the Unique ID Code. If a Customer fails to do so, the carrier is notified that there is an abandoned package and retrieves the package at no cost to the customer.

A well performing locker will have 10-20 packages pickups in a single day, the average, however, is 8.7 packages. The range is generally 1-12 packages. It takes a customer less than a minute to pick up from the Locker so queuing is not generally an issue, the same applies to parking. In our history, onsite, existing parking has been sufficient to support the Locker due to the relative infrequency of pickups.

## **AMAZON LOCKER BENEFITS & PURPOSE:**

The Locker is a delivery alternative for Amazon customers. The Locker provides a solution for package theft, missed packages and other delivery pain points. Customers are not charged for use of a Locker—it is completely free of charge and optional. Customers do not need to be Prime members to use the locker, although by utilizing a locker customers can take advantage of free 2 day shipping. Lockers can also help drive foot traffic.

The Locker is a community amenity that provides a safe and secure pick up point for customers who purchase items from Amazon.com and improves carrier management by driving down the need for longer delivery routes (less stops for carrier).

In our 6+ year+ history and with over 3,000 lockers in the ground, no one has stolen from an Amazon Locker. The Locker hardware, the Unique ID code and reservation basis make it near impossible. Furthermore, the Locker is equipped with automatic lighting so residents can pick up packages in the evening hours without being left in the dark. Amazon maintains the Locker so if anything should occur onsite, we are notified immediately.

## **CONCLUSION:**

Amazon Lockers are not a point-of-sale, but rather a secure and convenient delivery alternative that allows residents to pick up their packages at a selected location instead of orchestrating a home or business delivery. Each locker provides a city with a secure pick up point, helping to reduce delivery time and waste. The Locker greatly reduces vehicle and delivery traffic and increases foot traffic leading to more social interaction and traffic to the host business.

5.a.a



**CITY OF JONESBORO, GEORGIA COUNCIL  
Agenda Item Summary**

**Agenda Item #**  
**-b**

**5.b**

**COUNCIL MEETING DATE**  
September 4, 2019

**Requesting Agency (Initiator)**

Office of the City Manager

**Sponsor(s)**

Community Development Director Allen

**Requested Action** (*Identify appropriate Action or Motion, purpose, cost, timeframe, etc.*)

Commission to make recommendation for Citgo Gas Station – 190 Jonesboro Road; Parcel No. 12048C A004; Upgrade of exterior graphics on store exterior and canopy; Upgrade of existing sign to digital; Upgrade of light poles.

**Requirement for Board Action** (*Cite specific Council policy, statute or code requirement*)

Chapter 86 – Zoning; Article XVI - Signs

**Is this Item Goal Related?** (*If yes, describe how this action meets the specific Board Focus Area or Goal*)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization

**Summary & Background**

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of exterior modifications, replacement sign will need variance prior to final approval;** Recently, Mr. Patel of Total Imaging, Inc. informed me of proposed exterior modifications (mainly paint) to the existing Citgo gas station at 190 Jonesboro Road (corner of Jonesboro Road and Old Morrow Road). The color schemes would essentially remain the same. The biggest change would be upgrading the existing ground sign along Jonesboro Road.

**Summary of changes**

- **Replacing the whole sign (including the frame) along North Main Street would cause the new sign to have to comply with the height, size, and location restrictions.** The height could not exceed 6 feet tall without an approved variance. The sign must be at least 10 feet off the right-of-way (not the pavement line) and at least 50 feet from the building. Also, the sign face totals could not exceed 35 square feet each side, without an approved variance. Changeable copy shall not exceed 33 percent of the area of the sign face. An electronic message center sign shall not exceed 33 percent of the total sign face area of the freestanding sign on which the electronic message center sign is located. Each message (electronic changeable copy) displayed on an electronic message center sign shall remain static for at least ten seconds following the completion of its transition from the previous message. No display of flashing or moving graphics or animation shall be allowed. **I have been informed by the applicant that the sign structure will remain the same height and in the same location. The total square footage of the sign panels will apparently stay the same as well. The new changeable copy and electronic displays must meet Code requirements. The end result should be an upgrade to what is becoming a run-down looking sign. The replacement sign face would also have less changeable copy.**

**The exact date of the original sign framework is not listed in the property file. Per Code Sec. 86-491:**

Sec. 86-491. Nonconforming signs.

*Non-conforming signs may continue in existence subject to the following restrictions:*

- (1) *No change may be made in the location, shape, height, size, or design of any nonconforming sign, or replacement of or change in the face or message panel of a nonconforming sign except to bring the sign into compliance with the provisions of this article, and a sign permit granted. The existing sign frame is close to 10 feet off of the right-of-way, however, the height (20 feet, 3 inches) is well above the 6 feet allowed. Technically, a variance will be required for height, because there is no record for a variance*

**FOLLOW-UP APPROVAL ACTION (City Clerk)**

**Typed Name and Title**

Ricky L. Clark, City Manager

**Date**

September, 4, 2019

**Signature**

City Clerk's Office

**Summary of sign requirements:**

**Height – 20.25 feet (variance required)**

**Approx. 40 feet from building (variance required)**

**Total sign face each side – 121.5 square feet (variance required)**

**Total changeable copy each face (manual and electronic) – approx. 60% (variance required)**

**Electronic displays must not change quicker than 10 seconds.**

**The variances can be heard by the City Council in October. Any recommendations by the Design Review Commission can hinge upon the approval of the variances.**

- **Changes to paint on front of building.** The existing red stripe along the top of the building will be made fresher and be broken by the words “Quik Mart” above the front doors. These words can be considered a wall sign. The words are approximately 12.8 square feet, well below the 150 square feet allowed and approximately 1.5% of the building face. No variance required.
- **Changes under the gas canopy.** The columns and bollard will get a fresh coat of paint, and small pump identification signs will be installed. These signs are too small to be considered for a sign permit.
- **Changes to gas canopy.** The paint and graphics will be spruced up. The “Citgo” letters are not changing size or location and will be reinstalled. They will be upgraded with LED illumination. Staff does not consider them as new wall signs.
- **Changes to gas dispensers.** The gas pumps will be updated with modern decals and some paint to the base.
- **Changes to yard items.** Existing light poles will be cleaned and re-painted.

**With the exception of the sign issues, staff recommends immediate approval of all other renovated items. The gas station will have a fresher more modern look.**

**Fiscal Impact**

*(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)*

Private Owner

**Exhibits Attached** (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Modifications

**Staff Recommendation** (Type Name, Title, Agency and Phone)

**Approval, with Sign Variance**

## David Allen

---

**From:** Pulkit Patel <[ppatel@totalimaginginc.com](mailto:ppatel@totalimaginginc.com)>  
**Sent:** Thursday, August 8, 2019 9:49 AM  
**To:** David Allen  
**Subject:** RE: 190 Jonesboro Rd, Jonesboro, GA - NLP-20197-CI

No sir, there will be not structural change.

So even if they want to just change the faces on the ground sign (no structural change either), it still has to be reviewed by Design Committee?

Very respectfully,

**Pulkit Patel**

**TOTAL IMAGING, INC.**  
**2054 Atlas Circle Gainesville, GA 30501**  
**I Main: 770.536.7906 | Direct: 770-824-6105 | Fax: 678.928.4258**

**From:** David Allen <[dallen@jonesboroga.com](mailto:dallen@jonesboroga.com)>  
**Sent:** Thursday, August 8, 2019 9:44 AM  
**To:** Pulkit Patel <[ppatel@totalimaginginc.com](mailto:ppatel@totalimaginginc.com)>  
**Subject:** RE: 190 Jonesboro Rd, Jonesboro, GA - NLP-20197-CI

This will have to go in front of the Design Review Committee on Wednesday, September 4<sup>th</sup>.

Is there anything structural happening to the building or the canopy?



**David Allen | Community Development Director | City of Jonesboro, GA**  
tel: [770-478-3800](tel:770-478-3800) | cell: [770-570-2977](tel:770-570-2977) | [dallen@jonesboroga.com](mailto:dallen@jonesboroga.com) |  
124 North Avenue | Jonesboro, Georgia 30236 | [www.jonesboroga.com](http://www.jonesboroga.com)  
[Like Us On Facebook](#)      [Like Us on Twitter](#)

**From:** Pulkit Patel <[ppatel@totalimaginginc.com](mailto:ppatel@totalimaginginc.com)>  
**Sent:** Thursday, August 8, 2019 9:39 AM  
**To:** David Allen <[dallen@jonesboroga.com](mailto:dallen@jonesboroga.com)>  
**Subject:** 190 Jonesboro Rd, Jonesboro, GA - NLP-20197-CI  
**Importance:** High

Good Morning,

Our customer is wanting to upgrade the existing Citgo. Please see attached rendering and provide your preliminary review on the proposed signs?



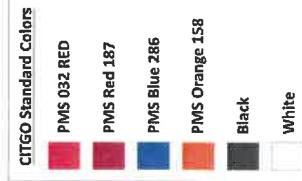
**Customer Approval:**

Done

Print Name

Signature \_\_\_\_\_  
I understand that by signing this drawing I am giving my approval for the to proceed with this project for my site as drawn for permitting & material procurement. I understand that any changes necessary due to permitting or fuel blend requirements will be communicated to me by the and may require additional revisions.

Job Number: NLP-20197-CI  
Date: 7/24/19  
**Customer Approval:**  Please Initial Here



Address: 190 Jonesboro Rd  
Jonesboro, GA  
Customer: NEXT LEVEL PETROLEUM  
Drawn by: IH

7/24/19

Revisions:  
Rev. 0 - Original Drawing

MAKING THE PETROLEUM  
INDUSTRY FOR OVER 30 YEARS  
1-866-546-1965

**TOTAL  
IMAGING**

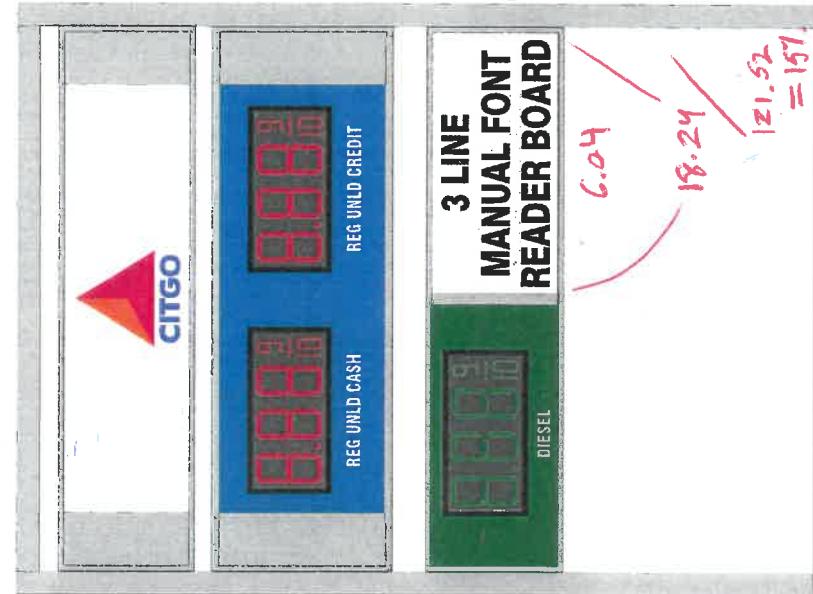


## SCOPE OF WORK

Reface existing sign to include new Citgo logo, 2-product (Regular/Diesel) LED pricers w/ 2-tier pricing for cash/credit pricing for Regular and new 3 line manual font reader board faces. Sign to maintain existing OAH and Sq Ft.

12.08'

145'

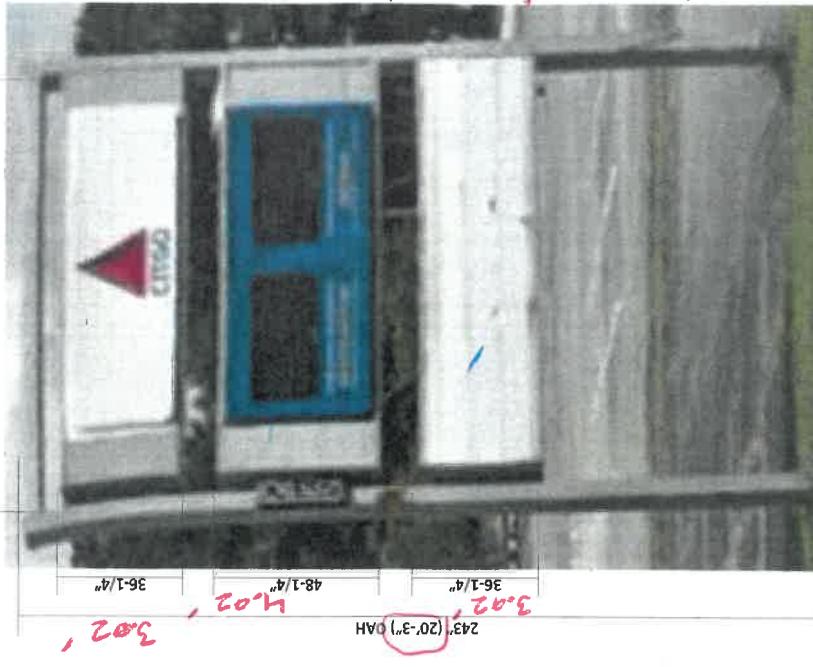


## PROPOSED:

\*Estimated Digit Size = 24"



## EXISTING:



Square Footage Totals:	
Existing:	121.5 sq ft
Proposed:	121.5 sq ft

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<----- Please initial here ----->

Job Number: NLP-20197-CI
Date: 7/24/19
Customer: NEXT LEVEL PETROLEUM
Drawn by: JH

Address: 150 Jonesboro Rd Jonesboro, GA
Customer Approval: _____

Revisions: Rev. 0 - Original Drawing
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7/24/19
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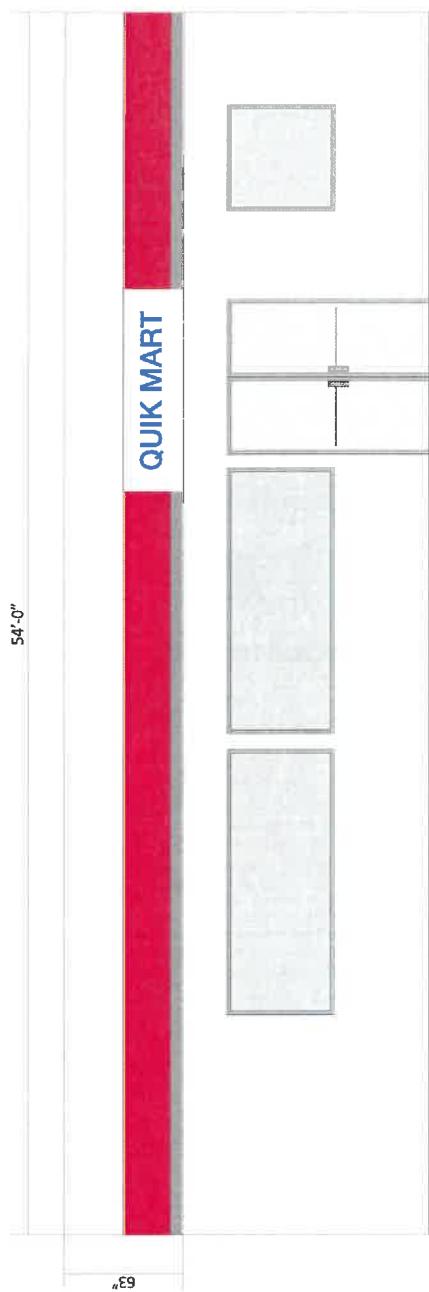
EXISTING:



C-STORE

## SCOPE OF WORK

SCOPE OF WORK			
B-3	Clean C-Store facade, sand & remove any loose or peeling decals & graphics application.	728	SF
B-11	Sand, prime & finish paint C-Store facade. Color TBD by Customer.	728	SF
B-12	Install CITGO Backcourt graphics	150	LF
B-13	Install Vinyl "Food Mart" decal.	1	EA
B-16	Pressure wash C-store exterior walls, all 4 sides.	1980	SF
B-17	Sand, prime & finish paint C-store exterior walls, all 4 sides. Color TBD by Customer.	1980	SF
B-19	Sand, prime & finish paint straight bollards.	3	EA
B-21	Install "Banjicode" decals on bollards	3	EA
B-22	Sand, prime & finish paint building cutting.	76	LF



Square Footage Total:  
 Existing: TBV sq ft  
 Proposed: 6.94 sq ft



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Customer Approval: \_\_\_\_\_  
 Please initial here: \_\_\_\_\_

Job Number: NLP-2019-Cl  
 Date: 7/24/19  
 Customer: NEXT LEVEL PETROLEUM  
 Drawn by: JH

Revisions:  
 Rev. 0 - Original Drawing

IMAGING THE PETROLEUM  
 INDUSTRY FOR OVER 30 YEARS  
 1-800-246-1985

**TOTAL  
IMAGING**



**UNDER CANOPY**

**SCOPE OF WORK**

SCOPE OF WORK			
E-3	Stand, prime & finish paint Dogbone Island curbs Citgo Gray.	2	EA
E-4	Stand, prime & finish paint large Island curbs Citgo Gray.	1	EA
E-7	Stand, prime & finish paint arched bollards Citgo Gray.	6	EA
E-8	Install 'Bannister' decals on bollards, <del>Ref. to Fig.</del> <del>Check for another location</del> .	18	EA
E-13	Stand, prime & finish paint cladded Gas Canopy columns Citgo Gray.	6	EA
E-15	WASH existing Fueling Position Flags on Gas Canopy columns. (2 per set)	3	SET
E-16	Install "No Smoking" Regulatory decal (2 per set)	4	SET



**Column - Painted CITGO Dark Gray**

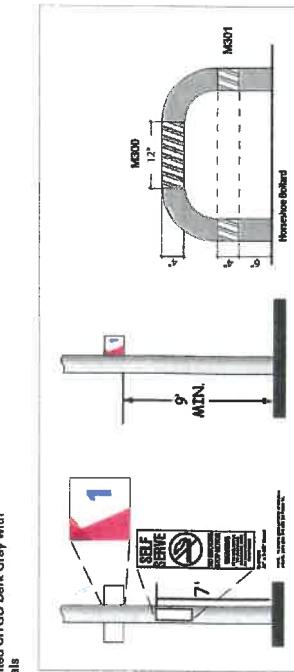
Pump ID Flag Signs

Bollards - Painted CITGO Dark Gray with  
reflective details

**EXISTING:**



Island Curb - CITGO Dark Gray



Bollards - Painted CITGO Dark Gray with  
reflective details

**Revisions:**

Rev. 0 - Original Drawing

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without permission.

----- Please initial here -----

Job Number: NLP-20197-CI

Date: 7/24/19

Customer: NEXT LEVEL PETROLEUM  
Drawn by: JH

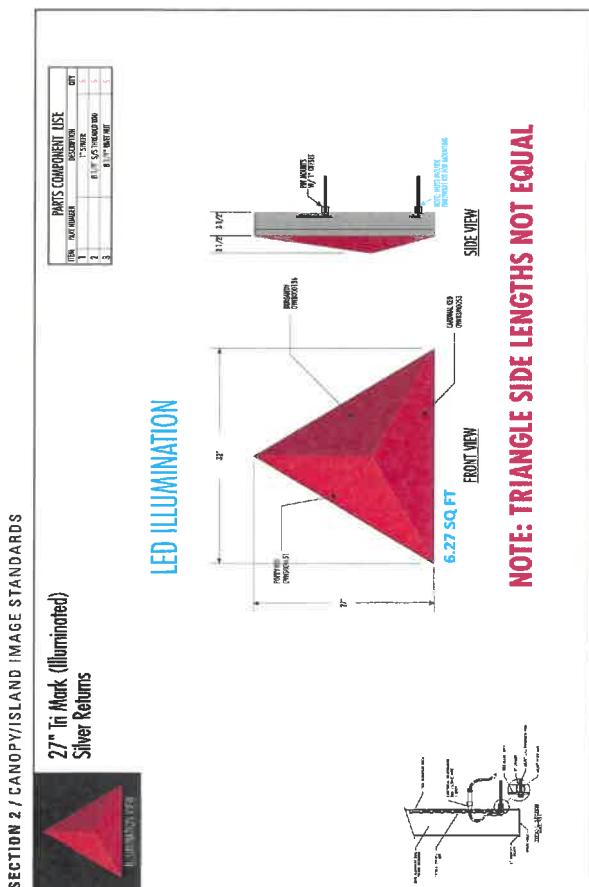
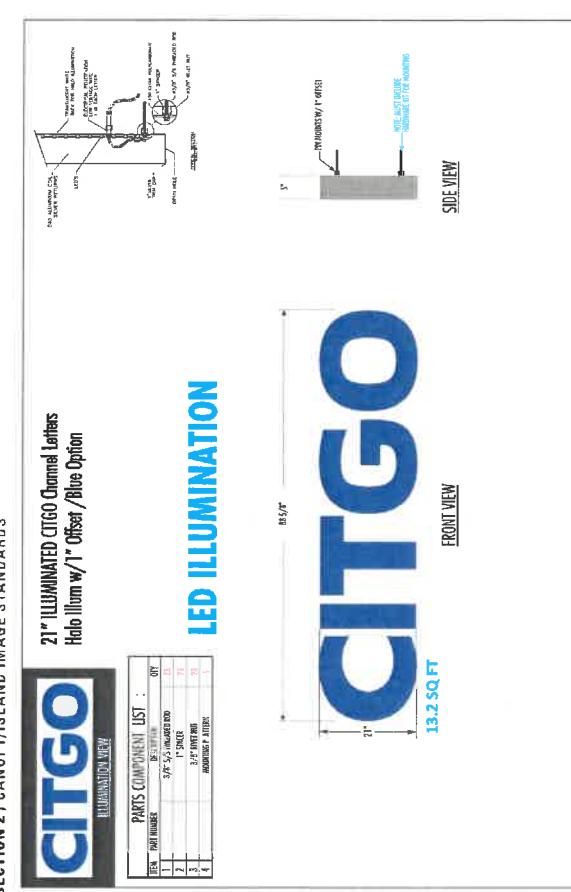






**SECTION 2 / CANOPY/ISLAND IMAGE STANDARDS**

**21" Tri-Mark (Illuminated)**  
Silver Returns



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Please Initial here

Job Number: NLP-20197-CI  
Date: 7/24/19  
Customer Approval: \_\_\_\_\_

Address: 150 Jonesboro Rd  
Jonesboro, GA  
Customer: NEXT LEVEL PETROLEUM  
Drawn By: JH

Revisions:  
Rev. 0 - Original Drawing

IMAGING THE PETROLEUM  
INDUSTRY FOR OVER 30 YEARS  
1-866-246-1985

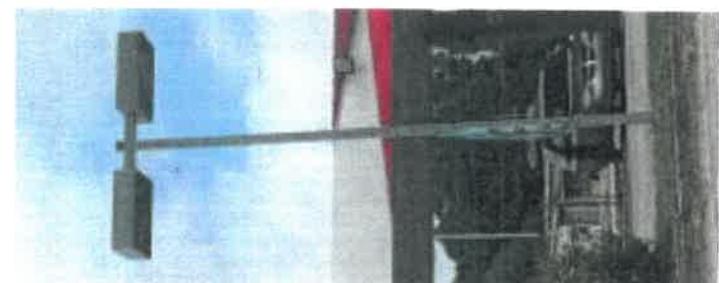
## YARD ITEMS

## SCOPE OF WORK

			EA
D-1	Sand, prime & finish paint Area Light Poles Citgo Grey (20 ft. & under).	3	
D-9	Sand, prime & finish paint Vent Pipes Citgo Grey. (as a set)	1	SET



Paint Vent Pipes  
Citgo Gray



Paint light poles  
Citgo Gray



Paint Vent Pipes  
Citgo Gray



## Revisions:

Rev. 0 - Original Drawing

7/24/19

Address: 190 Jonesboro Rd  
Jonesboro, GA

Customer: NEXT LEVEL PETROLEUM

Drawn by: IH

Job Number: NLP-20197-C1  
Date: 7/24/19

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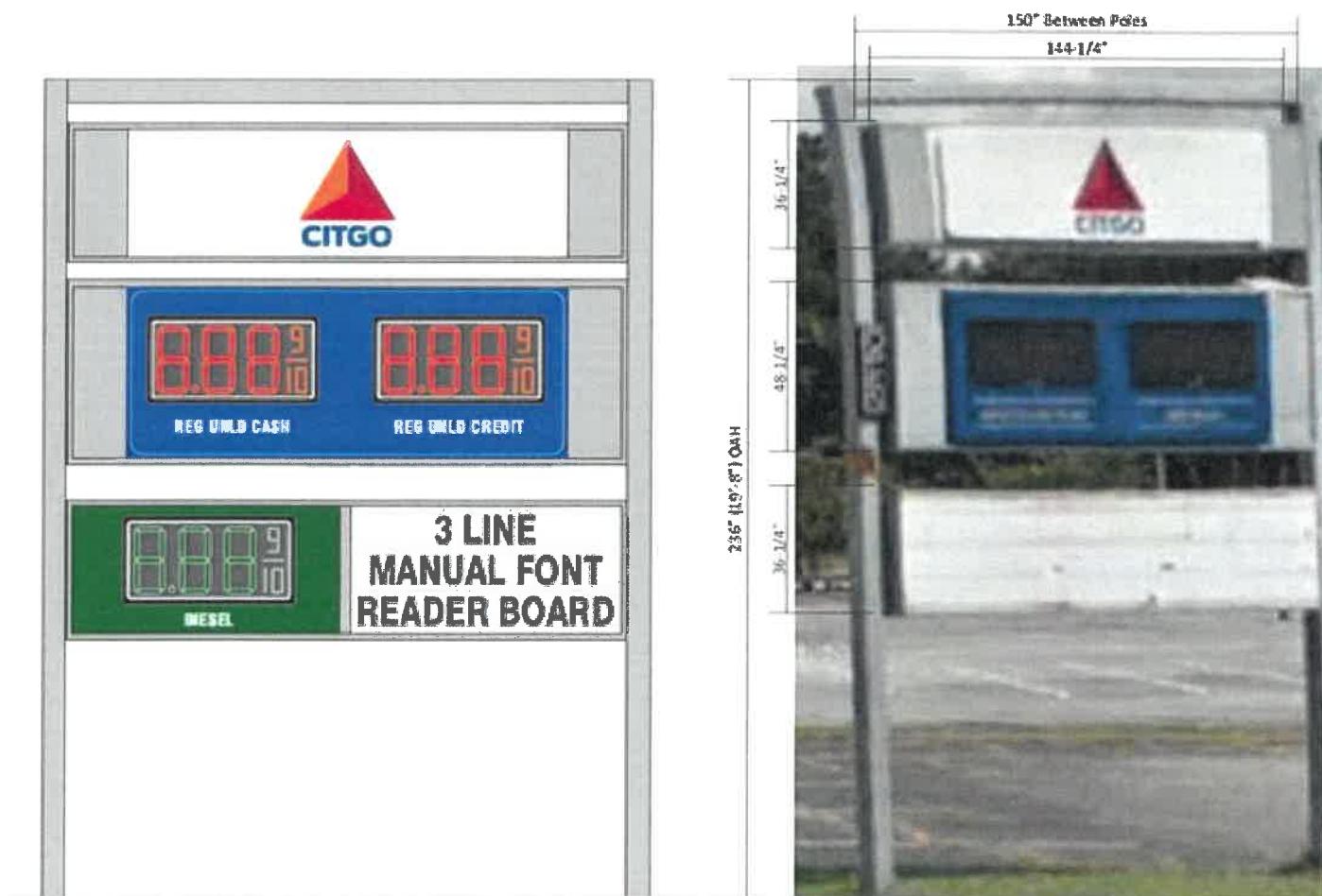
Please initial here  
<-----

## David Allen

**From:** Pulkit Patel <ppatel@totalimaginginc.com>  
**Sent:** Wednesday, August 28, 2019 1:47 PM  
**To:** David Allen  
**Subject:** RE: 190 Jonesboro Rd, Jonesboro, GA - NLP-20197-CI

David,

The customer does not want to replace the whole sign. They are just wanting to change faces. The structure and cabinet will stay the same as there will be no change to height or square footage.



Very respectfully,

Pulkit Patel



# CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary

Agenda Item #

5.c

-c

COUNCIL MEETING DATE  
September 4, 2019

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make a recommendation on KFC Restaurant – 8687 Tara Boulevard; Parcel No. 13242D A011; Changes to exterior paint color.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

Chapter 86 – Zoning

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of exterior modifications to paint;** Recently, an architect representing the KFC restaurant at 8687 Tara Boulevard inquired about any City requirements for a new paint scheme on the exterior of the restaurant. I informed them that I would place it on the Design Review agenda.

The restaurant will not change anything structurally – no door or window alterations. The primary paint colors will remain the same – red and white. From the elevations provided, the exterior walls, especially the southern and northern walls, will have a busier pattern and more alteration of the red and white. This change should not have any detriment to the busy Tara Boulevard corridor.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- KFC Existing
- G135110 Jonesboro Retrofit (008)

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval

## FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

September, 4, 2019

Signature

City Clerk's Office

**David Allen**

---

**From:** Jenna Christ <jennac@lis-ae.com>  
**Sent:** Tuesday, August 27, 2019 10:21 AM  
**To:** David Allen  
**Cc:** Eric Renegar; Justin Chamberlain  
**Subject:** 8687 Tara Blvd KFC  
**Attachments:** G135110 Jonesboro Retrofit.pdf

Good Morning David,

We spoke yesterday about the KFC located at 8687 Tara Blvd, Jonesboro, GA. We are looking to paint the exterior of the building and are wondering if a permit will be needed. I have attached a color rendering of the potential colors (See Sheet #4). Please let us know what the next steps are.

Thank you,

*Jenna Christ*

Receptionist

**-LIS-**

**Architecture - Engineering - Construction Management**

Central Florida Location:

**2572 West State Road 426 Suite 2064**

**Oviedo, FL 32765**

Tel: (321) 244-0402, ext 517 Fax: (321) 244-9419

Google Maps Jonesboro, Georgia

EXISTING  
(South Side)



Image capture: Sep 2018 © 2019 Google

Google

Street View - Sep 2018



## Google Maps Jonesboro, Georgia

EXISTING  
(North Side)

Image capture: Sep 2018 © 2019 Google



Street View - Sep 2018





# KFC RETROFIT

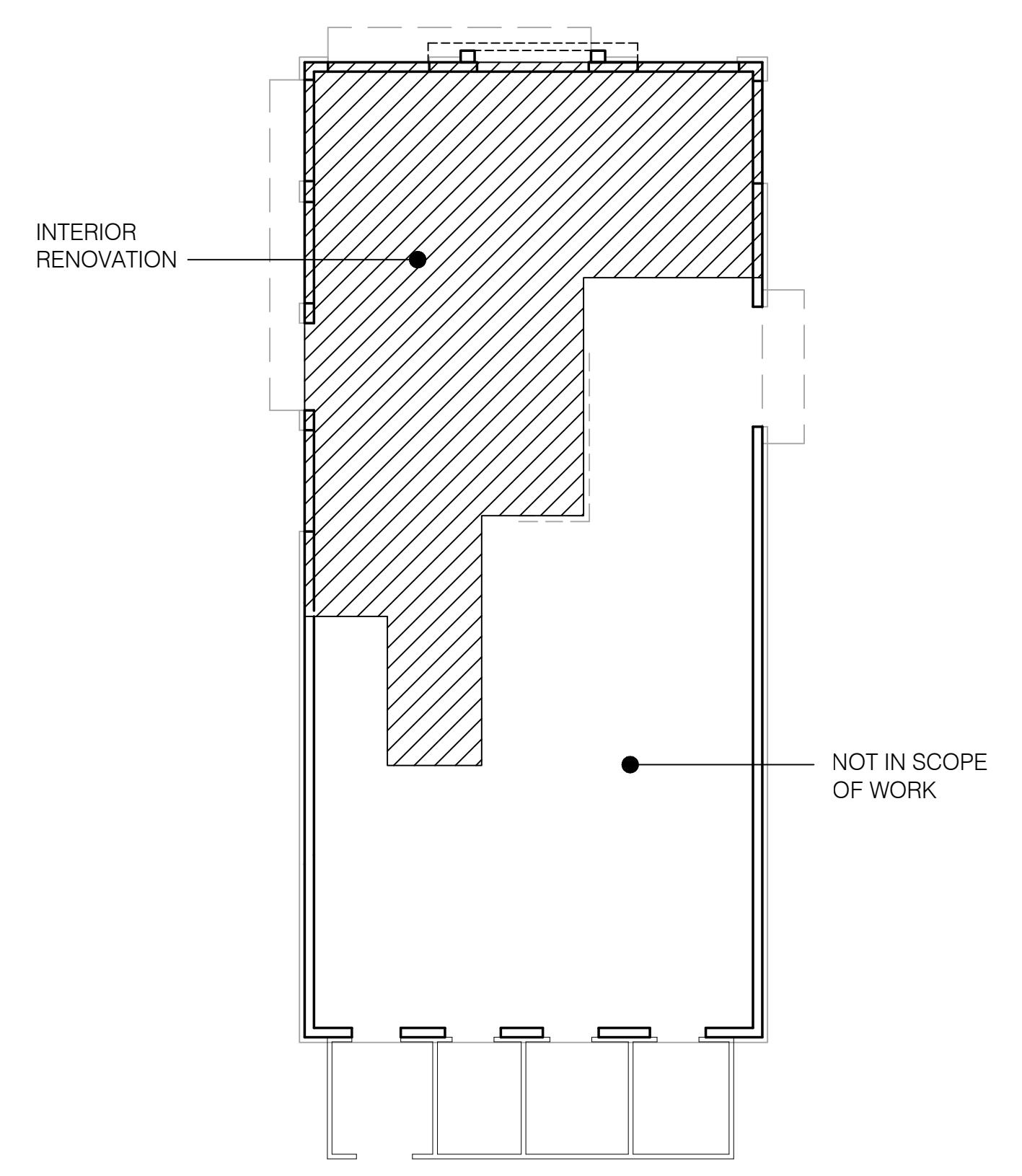
VISION 3.0  
JULY 2019

8687 TARA BLVD.  
JONESBORO, GA 30236

## BRAND PROTOTYPE

- A. ALL WORK SHALL CONFORM TO THE 2014 EDITION OF THE INTERNATIONAL BUILDING CODE, AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF CITY OF TAMPA, HILLSBOROUGH COUNTY
- B. IT IS INTENDED THAT A COMPLETE OCCUPABLE BUILDING PROJECT IS PROVIDED.
- C. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. A201 LATEST EDITION) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
- D. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
- E. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE KFC CONSTRUCTION MANAGER, IN WRITING, PRIOR TO INSTALLATION.
- F. SUBMIT PAY FEES AND OBTAIN ALL PERMITS ASSOCIATED WITH THE PROJECT.
- G. PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
- H. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- I. GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED. SEE SCOPE OF WORK SHEET SC.1.
- J. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.

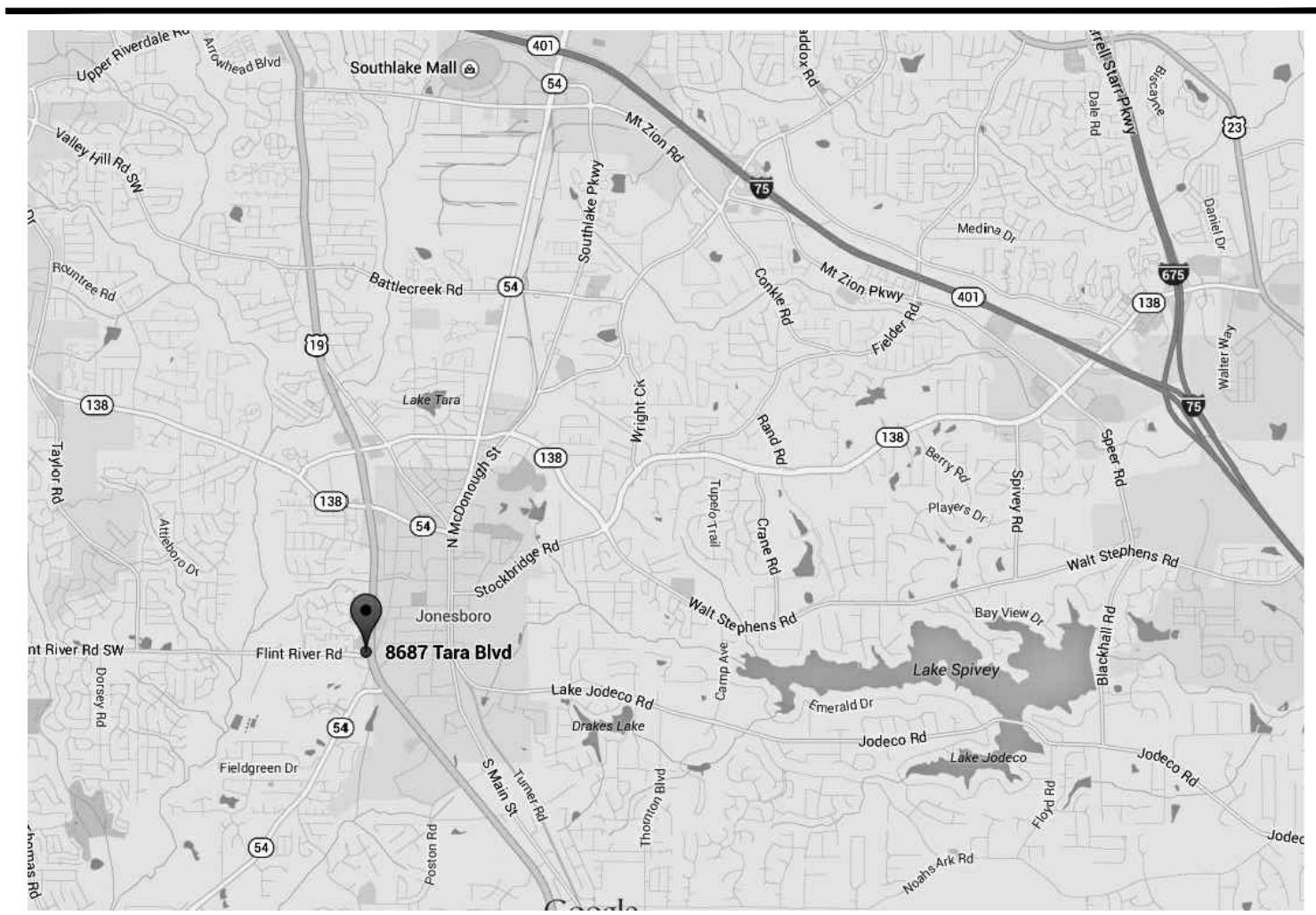
## KEY PLAN



NOT TO SCALE

NAME	ROOM NAME	WT-x	WALL TYPE (ARCHITECTURAL)
ELEV x Ax.x	ELEVATION NUMBER SHEET NUMBER	(X)	DOOR NUMBER
X - x"	CEILING HEIGHT	(X)	WINDOW NUMBER / DECOR ITEM NUMBER
X - x"	BLDG. SECTION LETTER	(X)	EXTERIOR WALL FINISH NUMBER
Ax.x	BLDG. SECTION SHEET	(X-XXXX)	KEY NOTE
X - x"	DETAIL NUMBER Ax.x	(X-XXXX)	EQUIPMENT NUMBER
X - x"	DIRECTION OF DETAIL DETAIL SHEET	(Xx)	ROOM FINISH NUMBER
ELEV X - x"	BLDG. HEIGHT REFERENCE POINT	(X)	REVISION NUMBER
		(XXX XXX)	WALL TYPE (STRUCTURAL)
			EQUIPMENT / FIXTURE NUMBER (M.E.P.)

## GENERAL DRAWING SYMBOLS



VICINITY MAP

## PROJECT GENERAL NOTES

BUILDING FOOTPRINT AREA: 2,532 SF  
RENOVATION AREA: 1,057 SF  
SEATING: 42  
WHEEL CHAIR ACCESSIBLE: 3 (5% OF TOTAL)  
TYPE CONSTRUCTION: V B-UNPROTECTED  
OCCUPANCY: A2 - ASSEMBLY

REVISION #	
DATE	
TITLE	
T1.0 TITLE SHEET	

## ARCHITECTURAL

A1.0 FLOOR PLAN & REFLECTED CEILING PLAN  
A1.1 GRAPHICS PLAN & INTERIOR ELEVATIONS  
A2.0 EXTERIOR ELEVATIONS

ARCHITECTURE  
ENGINEERING  
LAND SURVEYING

LIS  
2572 West State Road 426  
Suite 2064  
Phone: (321) 244-0402  
Fax: (321) 244-9419



## PROJECT SUMMARY

THESE PLANS INDICATE AN EXTERIOR AND INTERIOR LIMITED ALTERATION OF AN EXISTING FREE STANDING KENTUCKY FRIED CHICKEN RESTAURANT. THE KITCHEN AND DRIVE THROUGH AREAS WILL REMAIN IN OPERATION DURING THE REMODELING. EXTERIOR IMAGE UPGRADE WILL CONSIST OF NEW EXTERIOR PAINT SCHEME ONLY. THE INTERIOR IS TO BE ALTERED WITH NEW CEILING ELEMENT AND LIGHTS AND NO CHANGE TO EXISTING SEATING.

## PROJECT DESCRIPTION

OWNER	ARCHITECT
KBP INVESTMENTS 10950 GRANDVIEW DRIVE, SUITE 300 OVERLAND PARK, KS 66210 PHONE: 816-810-1400 CONTACT: TONY MICELI	NAME: LIS ARCHITECTURE ADDRESS: 2572 WEST STATE ROAD 426 SUITE 2064 OVIDEO, FL 32765 PHONE: 321-244-0402 CONTACT: JUSTIN CHAMBERLAIN

## PROJECT DIRECTORY

BUILDING DEPT.	ELECTRIC
CLAYTON COUNTY COMMUNITY DEVELOPMENT 121 SOUTH McDONOUGH STREET, JONESBORO, GA 30236 Phone: 770-477-3569	GEORGIA POWER 119 SMITH ST JONESBORO, GA PHONE: 1-888-660-5890
WATER/SEWER	CLAYTON COUNTY BOARD OF HEALTH 1117 BATTLE CREEK RD, JONESBORO, GA 30236 PHONE: (770) 610-7199
GAS	CLAYTON COUNTY WATER AUTHORITY 1600 BATTLE CREEK ROAD, MORROW, GA 30260-4302 PHONE: (770) 610-5200

## UTILITY CONTACTS

AA26002040  
CA NO.: 6853  
LB1057  
21430 Palm Beach Blvd.  
Avia, Fla. 33920  
Phone: (239) 693-9244  
Fax: (239) 693-9828

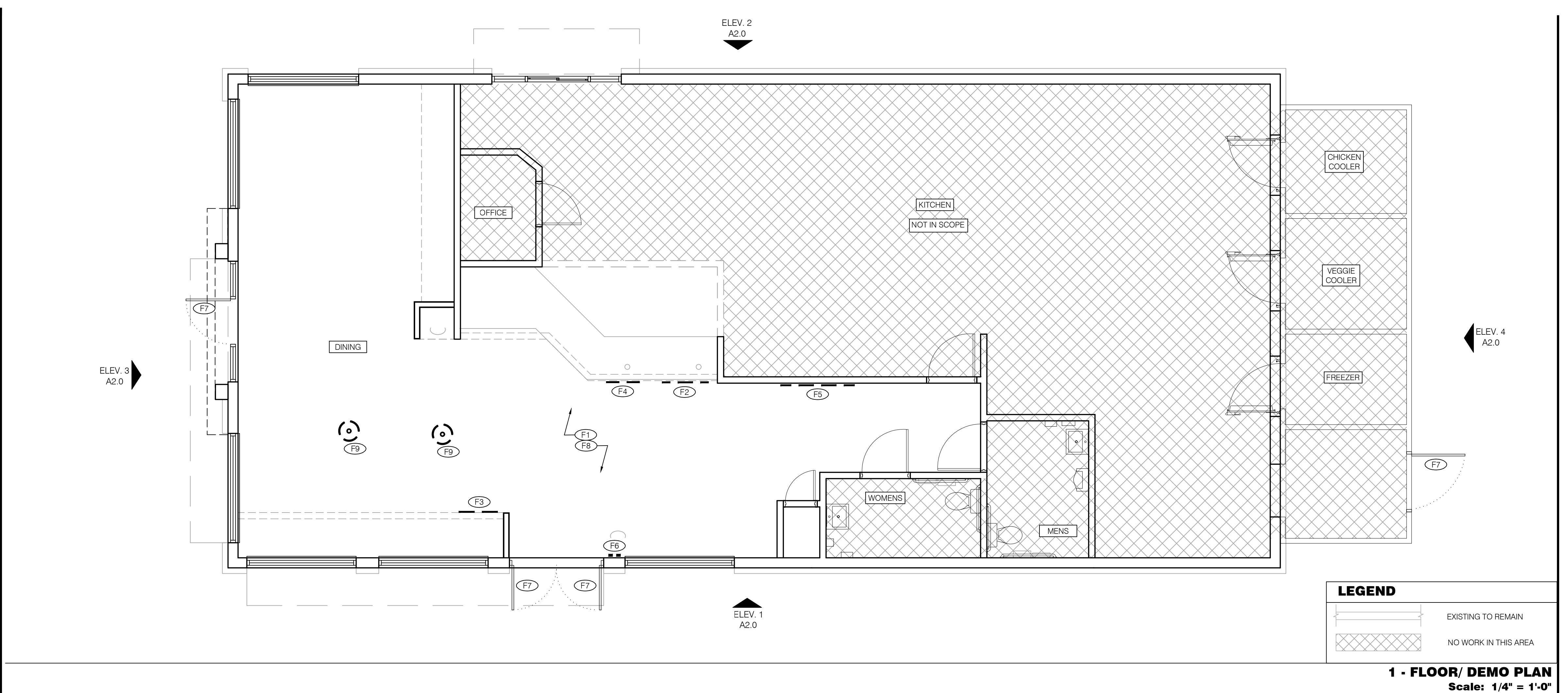
KFC  
8687 TARA BLVD.  
JONESBORO, GA 30236  
VISION 3.0  
RETROFIT



## TITLE SHEET

T1.0

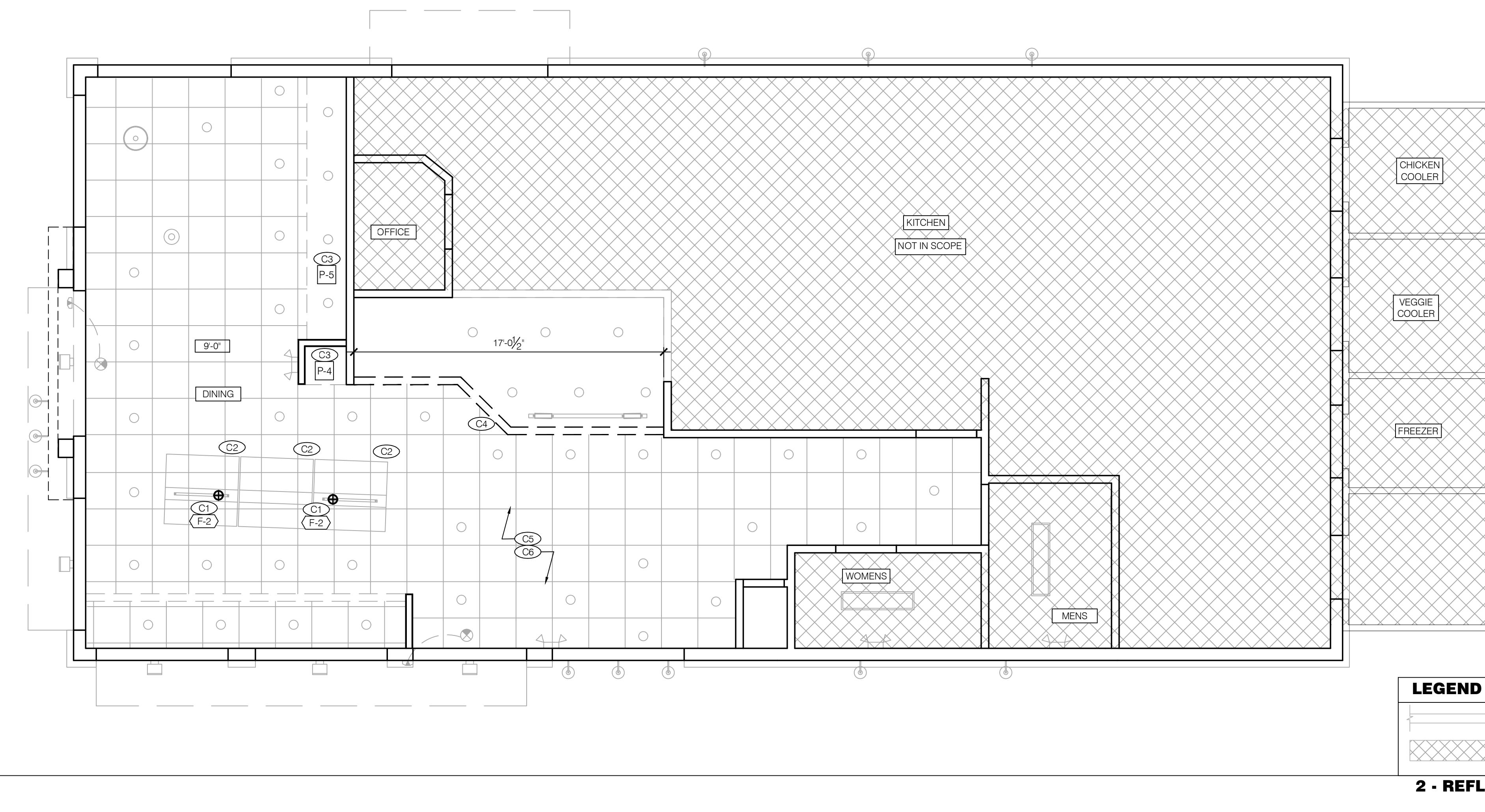
PLOT DATE: 08/##/19



**FLOOR PLAN & SEATING PLAN NOTES (FX)**

- F1 REMOVE EXISTING ARTWORK ON WALLS
- F2 REMOVE STRIPES ON SOFFIT/BULKHEAD ABOVE SERVICE COUNTER
- F3 REMOVE STRIPES AND "WE DO CHICKEN RIGHT" ARTWORK FROM DINING ROOM SOFFIT/BULKHEAD
- F4 REMOVE KFC LETTERS ON FRONT COUNTER FACE
- F5 REMOVE "FINGER LICKIN GOOD" ARTWORK
- F6 POST "MAXIMUM OCCUPANT LOAD" SIGN ON WALL ADJACENT TO MAIN ENTRY
- F7 EXTERIOR DOOR CLOSERS SHALL BE ADJUSTED TO HAVE MAXIMUM OF 5 LBS OPENING FORCE
- F8 EXISTING FLOOR AND BASE TILE TO REMAIN. REPLACED DAMAGED TILES AS REQUIRED
- F9 REMOVE PENDANT LIGHT. EXISTING CEILING CLOUD IS TO REMAIN.

FINISH SCHEDULE (XX)				
MARK	LOCATION	MFG/ CONTACT	MODEL #/COLOR	REMARKS
P-4	INTERIOR PAINT	BENJAMIN MOORE	KURT MCCLELLAND P: (800)655-5147 C: (502)640-1608 kurt.mcclelland@benjaminmoore.com	PRECATALYZED EPOXY WEDDING VEIL 1551 EGGHELL (V342) - INTERIOR WALLS SEMI GLOSS (V341) - DOOR AND FRAMES PRIME ALL NEW SUBSTRATES WITH BENJAMIN MORE FRESH START PRIMER #02300
P-5	INTERIOR PAINT	BENJAMIN MOORE	KURT MCCLELLAND P: (800)655-5147 C: (502)640-1608 kurt.mcclelland@benjaminmoore.com	AURA EXTERIOR PAINT EXOTIC RED 2086-10 LOW LUSTER (084) PRIME ALL NEW SUBSTRATES WITH BENJAMIN MORE FRESH START PRIMER #02300
P-6	INTERIOR PAINT	BENJAMIN MOORE	KURT MCCLELLAND P: (800)655-5147 C: (502)640-1608 kurt.mcclelland@benjaminmoore.com	PRECATALYZED EPOXY WEDDING VEIL 2125-70 EGGHELL (V341) - INTERIOR WALLS SEMI GLOSS (V341) - DOORS AND FRAMES PRIME ALL NEW SUBSTRATES WITH BENJAMIN MORE FRESH START PRIMER #02300



**REFLECTED CEILING PLAN NOTES (CX)**

- C1 INSTALL NEW CEILING PENDANT INTO EXISTING TRACK. CENTER PENDANT ON TABLE
- C2 EXISTING CLOUD IS TO REMAIN
- C3 EXISTING SOFFIT/BULKHEAD TO BE PAINTED AS INDICATED
- C4 NEW FAUX WOOD BEAM CUSTOM MILLWORK
- C5 CLEAN EXISTING CEILING, GRILLES, DIFFUSERS, AND LIGHT FIXTURES. REPLACE DAMAGED CEILING TILES AS REQUIRED
- C6 EXISTING EMERGENCY LIGHTING AND EXIT SIGNAGE TO REMAIN

LIGHTING SCHEDULE (XX)					
MARK	QTY	LOCATION	MFG/ CATALOG #	DESCRIPTION	WATTS / VOLTS
F-1	-	DINING AREA	TECH 7007DS60CCP M:01-P-B / 7007DMR04-D-T-B	6000 PENDANT 8-RED CORD W/BLACK SOCKET 10 WATT	
F-2	2	DINING AREA	MINKA: 2260-84	GLASS PENDANT WITH BRUSHED NICKEL FINISH MEDIUM BASE SOCKET	3 W / 120 V

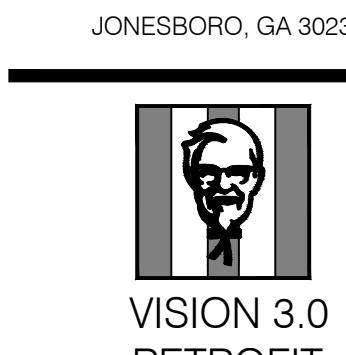
**REFLECTED CEILING PLAN NOTES**

- CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER
- CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE
- ELECTRICAL CONTRACTOR SHALL VERIFY AVAILABLE CIRCUITS IN ELECTRICAL PANELS AND REUSE EXISTING CIRCUITS AS AVAILABLE
- CONNECT LIGHTING CIRCUITS TO EXISTING LIGHTING CONTROL PANEL. COORDINATE CONTROL SEQUENCE AND TIME OF DAY SCHEDULING WITH FRANCHISEE
- REFER TO A2.0 FOR ADDITIONAL EXTERIOR LIGHTS NOT SHOWN ON PLAN
- ALL NEW LIGHTING TO BE COORDINATED WITH EXISTING MECHANICAL GRILLES
- EXISTING ELECTRICAL PANEL LOCATIONS & NEW CIRCUITS SHALL BE VERIFIED BY EC. EC SHALL COORDINATE & VERIFY FINAL ELECTRICAL WITH LIGHTING / SIGNAGE SUPPLIERS
- PROVIDE ESCUTCHEON PLATES AND SEALANT AT ALL UTILITY PENETRATIONS OF WALLS, CEILING, AND FLOORS. DO NOT USE CAULK OR EXPANDING FOAM FOR SEALANT
- ALL WIRING TO BE PER NEC INSTALLATION REQUIREMENTS SIZED FOR 40% MAX FILL PER NEC
- RELOCATED DEVICES TO BE ROUTED IN FLEXIBLE METAL CONDUIT
- GC SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXISTING ELECTRICAL CAPACITY AND CONFIRMING THAT THE NUMBER OF SPARES AT THE PANEL IS ADEQUATE FOR THE ADDITIONAL LOCATION OF THE SERVICES SHOWN. GC TO NOTIFY KFC PROJECT MANAGER IF EITHER SERVICE OR THE NUMBER OF SPARES IS FOUND TO NOT MEET THE NECESSARY REQUIREMENTS
- EC SHALL COORDINATE EXACT ROUTING OF ALL NEW AND RELOCATED CIRCUITS. FIELD VERIFY ALL CIRCUITS. ALL WORK AND WIRINGS PER NEC INSTALLATION REQUIREMENTS. ALL WORK TO BE CONCEALED. SURFACE MOUNT RACEWAYS ARE NOT PERMITTED

AA26002040  
CA NO.: 6853  
LB1057  
21430 Palm Beach Blvd.  
Avia, Fl. 33920  
Phone: (239) 693-9244  
Fax: (239) 693-9828

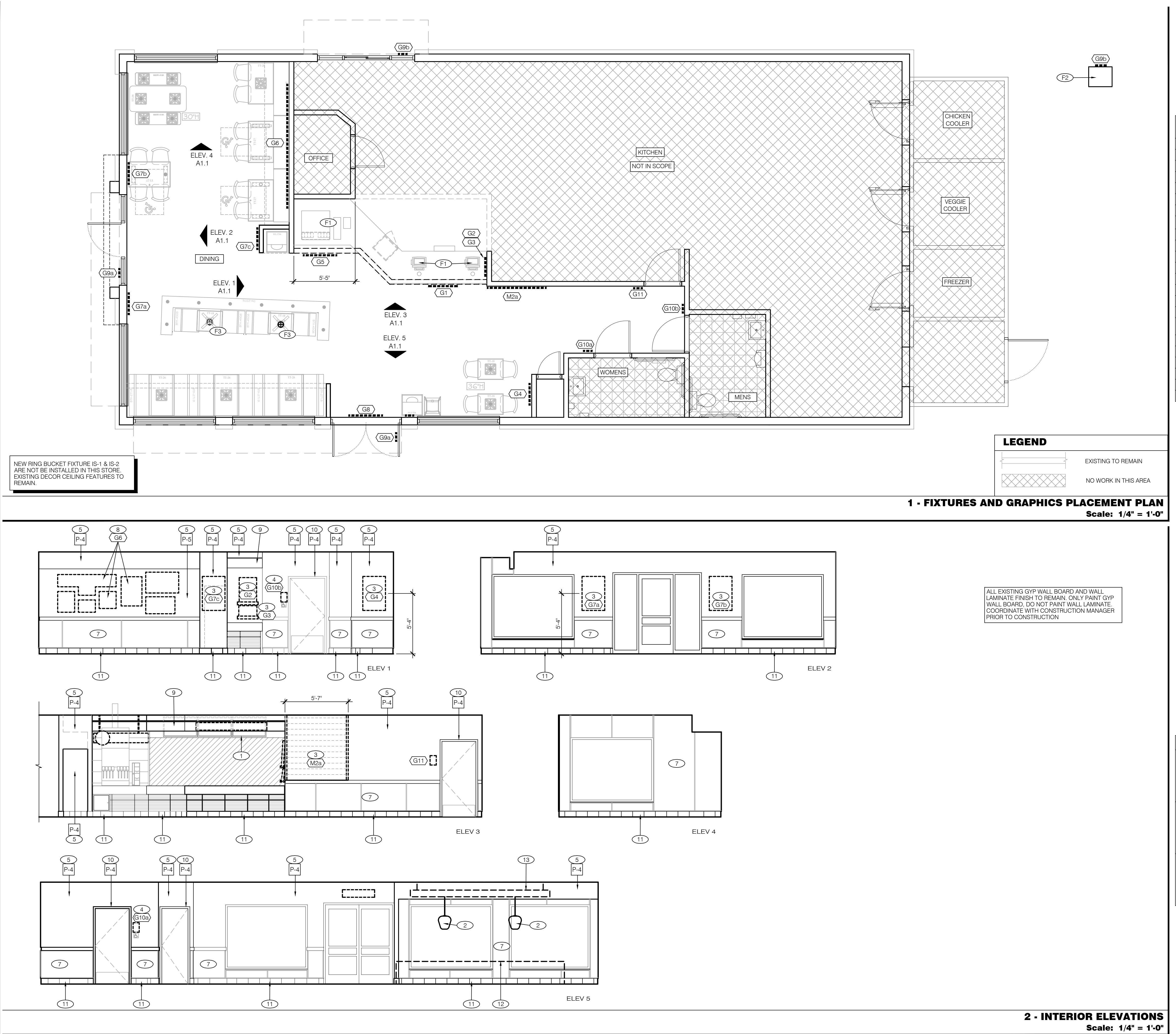
LIS  
ARCHITECTURE  
ENGINEERING  
LAND SURVEYING

2572 West State Road 426  
Suite 2064  
Phone: (321) 244-9402  
Fax: (321) 244-9419



**FLOOR PLAN & REFLECTED CEILING PLAN**

**A1.0**


**FIXTURES & GRAPHICS NOTES** (F)

- (F1) EXISTING EQUIPMENT - INCLUDING EXISTING OR NEW UNDER COUNTER CASH DRAWER BRACKET
- (F2) INSTALL NEW DRIVE THRU HOURS GRAPHIC AT EXISTING DRIVE THRU SPEAKER POST
- (F3) NEW PENDANT LIGHT FIXTURE, CONNECT TO EXISTING TRACK ON EXISTING CLOUD - SEE CEILING PLAN ON A1.0

ARCHITECTURE  
ENGINEERING  
LAND SURVEYING

LJS

AA26002040  
CA NO.: 6853  
LB1057  
21430 Palm Beach Blvd.  
Ave. Ft. Lauderdale, FL 33320  
Phone: (239) 693-9244  
Fax/Email: (239) 693-9828

Attachment: G135110\_Jonesboro\_Retrofit (008351-KFC)

**KFC GRAPHIC SCHEDULE** (XX)

GRAPHICS		
MARK	QTY	ITEM DESCRIPTION
G1	1	"KITCHEN" SIGN
G2	1	CHALK BOARD - PRINTED
G3	1	REAL MEALS GUARANTEE
G4	1	SECRET PROCESS ART
G5	1	PEPSI FILLING STATION SIGN
G6	1	FOCAL WALL ART (MULTIPLE PIECES)
G7a	1	POSTER ARTWORK - "SOUTHERN INSPIRED"
G7b	1	POSTER ARTWORK - "4000 STATUES"
G7c	1	POSTER ARTWORK - "COLONEL 101"
G7d	-	POSTER ARTWORK - "No1 CHICKEN SALESMAN"
G7e	-	POSTER ARTWORK - "PRESSURE COOKER"
G7f	-	POSTER ARTWORK - "SANDERS FOR SENATOR"
G8	1	"THANKS" MESSAGE
G9a	2	STORE HOURS GRAPHIC - ENTRY DOOR POST OUTSIDE
G9b	2	STORE HOURS GRAPHIC - DRIVE THRU WINDOW & DRIVE THRU POST OUTSIDE
G10a	1	RESTROOM SIGNS - LADIES
G10b	1	RESTROOM SIGNS - GENTS
G11	1	COLONEL'S OFFICE SIGN
G12	-	RESTROOM MIRROR MESSAGE
G13	-	COMMUNITY BOARD
M2a	1	"HARD WAY" QUOTE AS ARTWORK PIECE

**INTERIOR ELEVATION NOTES** (X)

- 1 EXISTING MENU BOARD
- 2 NEW PENDANT LIGHT FIXTURE - SEE CEILING PLAN ON A1.0
- 3 NEW FRAMED ARTWORK, USE VENDOR PROVIDED TEMPLATE TO INSTALL
- 4 NEW RESTROOM GRAPHICS
- 5 PRIME AND PAINT EXISTING GYP BD WALL, PATCH DAMAGE OR HOLES FROM REMOVED ARTWORK PRIOR TO PAINTING
- 6 PAINT UNDERSIDE AND/OR BACKSIDE OF EXISTING SOFFIT
- 7 DO NOT PAINT EXISTING LAMINATE WALL PANELS, TYP. PATCH HOLES FROM REMOVED ARTWORK/GRAPHICS WITH COLOR MATCH PUTTY
- 8 FOCAL WALL ART PACKAGE, ARRANGE ARTWORK TO FIT ON EXISTING WALL. COORDINATE WITH CONSTRUCTION MANAGER
- 9 NEW FAUX BEAM, SEE CEILING PLAN ON A1.0
- 10 PAINT EXISTING HOLLOW METAL DOOR FRAME
- 11 EXISTING WALL BASE TO REMAIN, REPLACE DAMAGED TILES AS REQUIRED, TYP.
- 12 EXISTING HALF-WALL AND SEATING, SHOWN DASHED FOR CLARITY
- 13 EXISTING CLOUD, HUNG FROM CEILING, SHOWN DASHED FOR CLARITY

**FINISH SCHEDULE** (XX)

MARK	LOCATION	MFG / CONTACT	MODEL #/COLOR	REMARKS
P-4	INTERIOR PAINT	BENJAMIN MOORE	KURT MCCLELLAND P: (800)635-5147 C: (502)640-1608 kurt.mcclelland@benjaminmoore.com	PRECATALYZED EPOXY LA PALOMA GRAY 1551 EGGSHELL (V342) - INTERIOR WALLS SEMI GLOSS (V341) - DOORS AND FRAMES PRIME ALL NEW SUBSTRATES WITH BENJAMIN MORE FRESH START PRIMER #02300
P-5	INTERIOR PAINT	BENJAMIN MOORE	KURT MCCLELLAND P: (800)635-5147 C: (502)640-1608 kurt.mcclelland@benjaminmoore.com	AURA EXTERIOR PAINT EXOTIC RED 2086-10 LOW LUSTER (634) PRIME ALL NEW SUBSTRATES WITH BENJAMIN MORE FRESH START PRIMER #02300
P-6	INTERIOR PAINT	BENJAMIN MOORE	KURT MCCLELLAND P: (800)635-5147 C: (502)640-1608 kurt.mcclelland@benjaminmoore.com	PRECATALYZED EPOXY WEDGE 70 EGGSHELL (V342) - INTERIOR WALLS SEMI GLOSS (V341) - DOORS AND FRAMES PRIME ALL NEW SUBSTRATES WITH BENJAMIN MORE FRESH START PRIMER #02300

CONTRACT DATE: 07/01/19  
BUILDING TYPE:  
PLAN VERSION:  
SITE NUMBER:  
STORE NUMBER: G135110  
LIS PROJECT: 2019-154

KFC  
8687 TARA BLVD.  
JONESBORO, GA 30236


**GRAPHICS PLAN & INTERIOR ELEVATIONS**

**A1.1**

PLOT DATE: 08/##/19



22572 West State Road 426  
Suite 2064, Oviedo, FL 32765  
Phone: (321) 244-0402  
facsimile: (321) 244-9419

## **NISH NOTES**

- PAINT BORDER WINDOW SURROUND AS INDICATED. 4" WIDE EACH SIDE OF WINDOW, TYPICAL
- EXISTING COPING TO BE REPAIRED, SEALED AND PAINTED AS INDICATED
- EXISTING BUILDING SIGN
- PAINT LINE TRANSITION
- PAINT EXISTING BUILDING FINISH
- INSTALL ADDRESS NUMBERS AFTER PAINTING OF BUILDING. CHARACTERS SHALL BE BLACK AND 6" IN HEIGHT
- EXISTING ACM TOWER TO REMAIN
- NEW STENCIL GRAPHIC
- REPAIR AND PAINT EXISTING SERVICE DOOR AND FRAME
- INSTALL S.S. CORNER GUARDS TO PROTECT BUILDING
- PAINT EXISTING HAND RAIL BLACK EMERALD (SW 2936)
- ALIGN PAINT LINE WITH EDGE OF CANOPY
- PAINT EXISTING ROOF ACCESS LADDER AS INDICATED
- PAINT EXISTING ELECTRICAL CABINET AS INDICATED
- PAINT EXISTING GUARD POSTS AS INDICATED
- PAINT EXISTING GAS METER AND PIPING AS INDICATED
- EXISTING CANOPIES TO REMAIN

AA26002040  
CA No.: 6853  
CA No.: 29005  
LB1057  
palm Beach Blvd.  
33920  
(239) 693-9244  
(239) 693-9828

## FINISH SCHEDULE XX

LOCATION	MFG / CONTACT		MODEL #/COLOR	REMARKS
EXTERIOR PAINT	BENJAMIN MOORE	DOROTHY HAZINSKI P: (800) 635-5147 ext. 1841 C: (330) 353-3850 dorothy.hazinski@benjaminmoore.com	AURA EXTERIOR PAINT EXOTIC RED 2086-10 SATIN (631) 100% ACRYLIC HYBRID RESIN	SELF-PRIMING
EXTERIOR PAINT	BENJAMIN MOORE	DOROTHY HAZINSKI P: (800) 635-5147 ext. 1841 C: (330) 353-3850 dorothy.hazinski@benjaminmoore.com	AURA EXTERIOR PAINT WEDDING VEIL 2125-70 SATIN (631) 100% ACRYLIC HYBRID RESIN	SELF-PRIMING
EXTERIOR PAINT	BENJAMIN MOORE	DOROTHY HAZINSKI P: (800) 635-5147 ext. 1841 C: (330) 353-3850 dorothy.hazinski@benjaminmoore.com	AURA EXTERIOR PAINT BLACK HORIZON 2132-30 SATIN (631) 100% ACRYLIC HYBRID RESIN	SELF-PRIMING
EXTERIOR METAL	BENJAMIN MOORE	DOROTHY HAZINSKI P: (800) 635-5147 ext. 1841 C: (330) 353-3850 dorothy.hazinski@benjaminmoore.com	MAP ULTRA LOW VOC SATIN ACRYLIC POLYURETHANE CUSTOM MATCH BENJAMIN MOORE 2086-10 EXOTIC RED SATIN FINISH	
EXTERIOR METAL	BENJAMIN MOORE	DOROTHY HAZINSKI P: (800) 635-5147 ext. 1841 C: (330) 353-3850 dorothy.hazinski@benjaminmoore.com	MAP ULTRA LOW VOC SATIN ACRYLIC POLYURETHANE CUSTOM MATCH BENJAMIN MOORE 2125-70 WEDDING VEIL SATIN FINISH	
EXTERIOR METAL	BENJAMIN MOORE	DOROTHY HAZINSKI P: (800) 635-5147 ext. 1841 C: (330) 353-3850 dorothy.hazinski@benjaminmoore.com	MAP ULTRA LOW VOC SATIN ACRYLIC POLYURETHANE CUSTOM MATCH BENJAMIN MOORE 2123-30 BLACK HORIZON SATIN FINISH	

IMAGE COMPONENTS SCHEDULE 

ITEM DESCRIPTION			
G	OTY.	ITEM DESCRIPTION	ELEC
a	0	TOWER PANEL LOGO	
a	0	KFC CHANNEL LETTERS - 30" RED	X
d	0	KFC CHANNEL LETTERS - 24" WHITE	X
b	0	"REAL MEALS TO GO" VINYL LETTERS FOR 8' DT CANOPY	
b	0	"WORLD FAMOUS CHICKEN" 16" LETTERS - PAINT TEMPLATE (VERTICAL & HORIZONTAL)	
c	0	"WORLD FAMOUS CHICKEN" 12" LETTERS - PIN TO BLDG	
a	1	"HARD WAY" PAINT TEMPLATE - 57" ROUND	
d	0	"HARD WAY" PAINT TEMPLATE - 4'-6" x 10'-4"	
a	2	STORE HOURS - ENTRY	
b	2	STORE HOURS - DT WINDOW & DRIVE THRU SPEAKER POST	

CONTRACT DATE: 07/01/19  
BUILDING TYPE:  
PLAN VERSION:  
SITE NUMBER:  
STORE NUMBER: G135110  
PROJECT: 2018-154

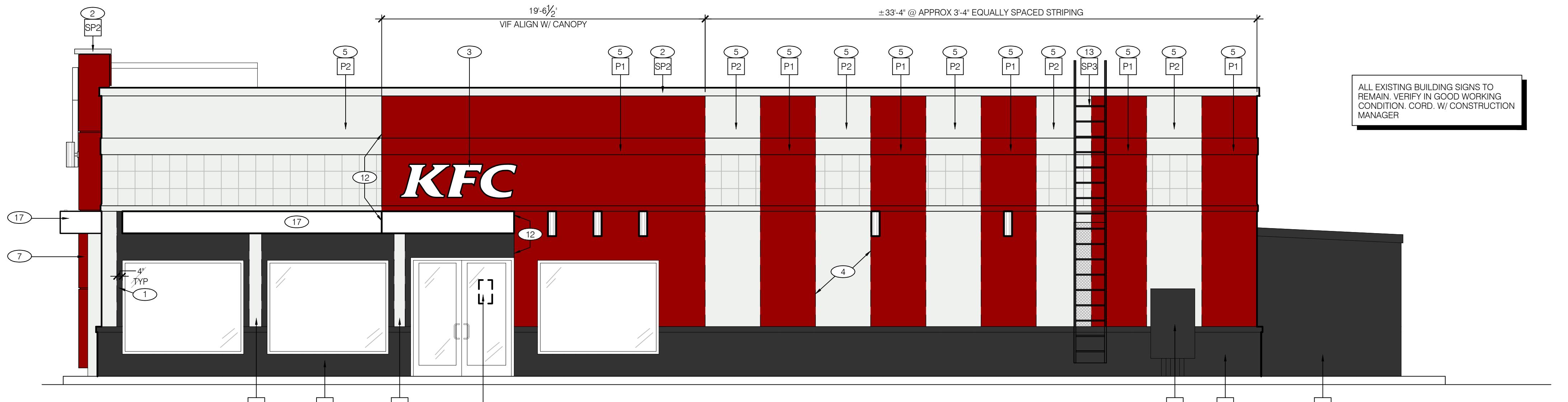
# KFC

# EXTERIOR ELEVATIONS

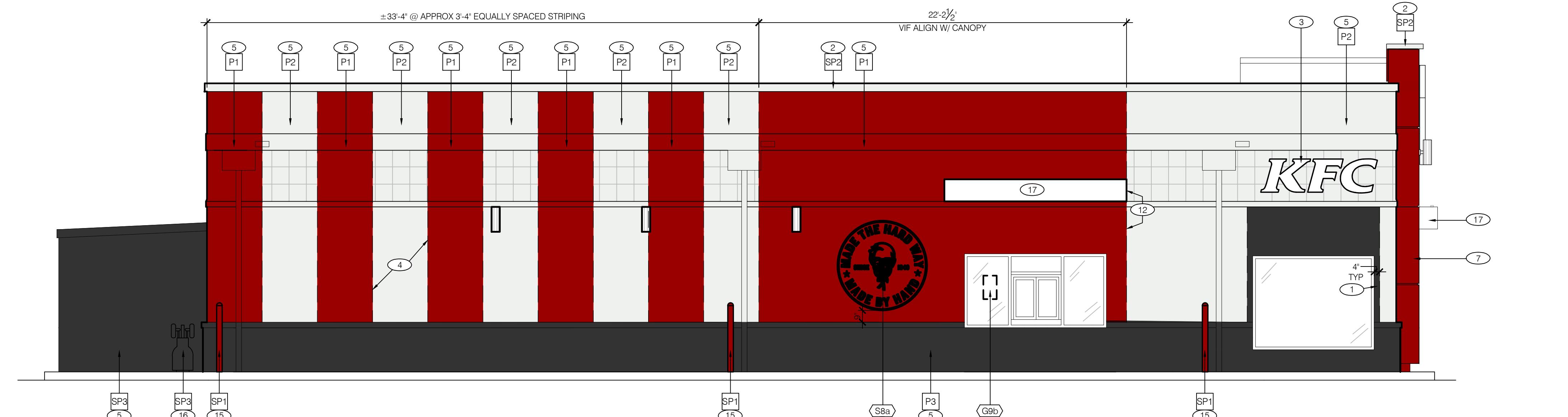
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LOT DATE: 08/##/19

Pg. 26



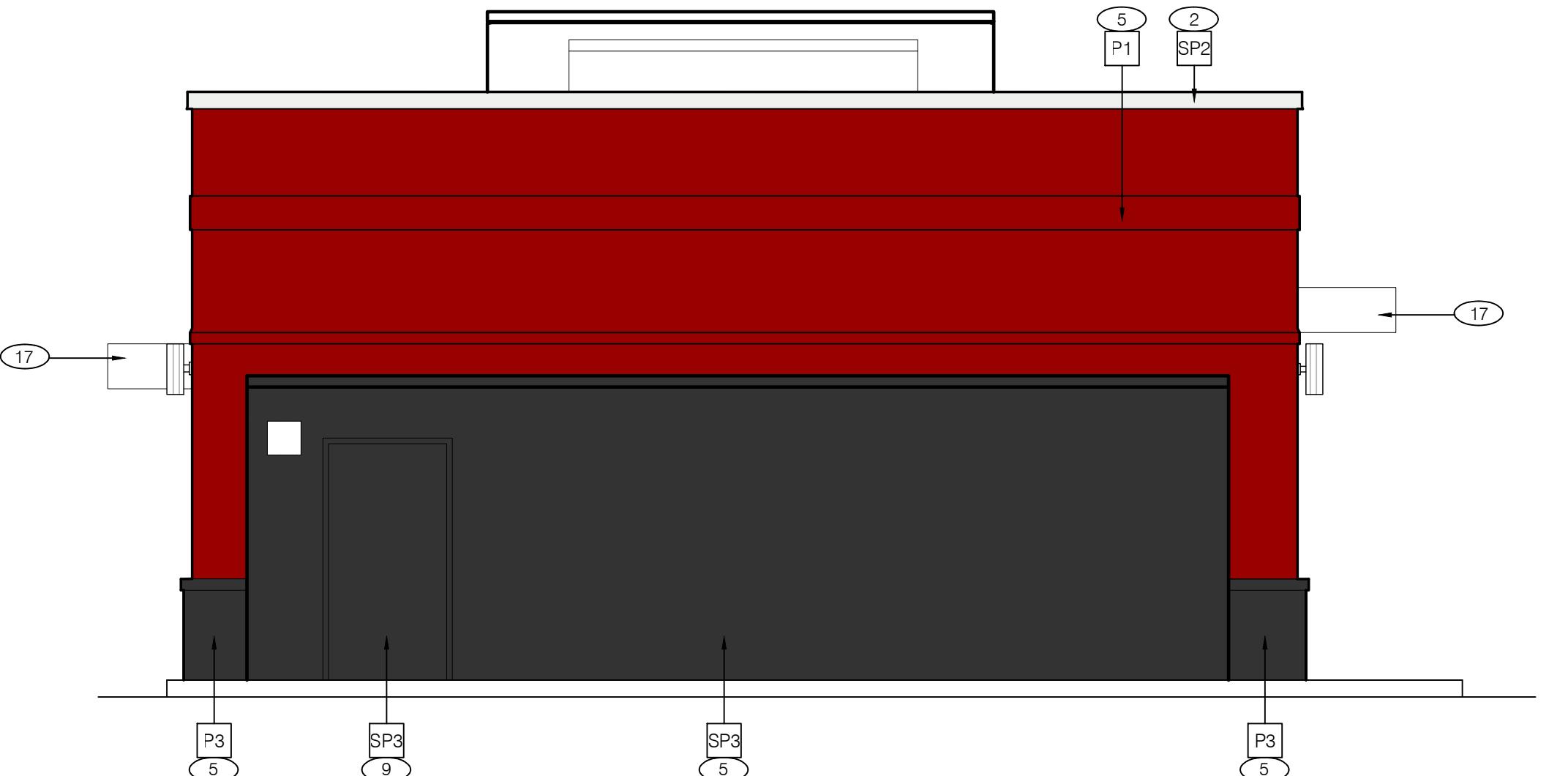
**- ENTRY ELEVATION**  
**Scale: 1/4" = 1'-0"**



## **• DRIVE THRU ELEVATION**



## **3 - FRONT ELEVATION**



## 4 - REAR ELEVATION



**CITY OF JONESBORO, GEORGIA COUNCIL  
Agenda Item Summary**

**Agenda Item #**

**5.d**

**-d**

**COUNCIL MEETING DATE**  
September 4, 2019

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
<b>Requested Action</b> ( <i>Identify appropriate Action or Motion, purpose, cost, timeframe, etc.</i> ) Commission to make recommendation on Adorn Beauty Enhancements – 202 South Main Street; Parcel No.05241B A008; Changes to ground sign panels	
<b>Requirement for Board Action</b> ( <i>Cite specific Council policy, statute or code requirement</i> ) City Code Section 86-489 and 86-490 – General Sign Standards; Sec 86-495 – Historic Dist. Sign Standards	
Is this Item Goal Related? ( <i>If yes, describe how this action meets the specific Board Focus Area or Goal</i> ) Yes	Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation

**Summary & Background** (*First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.*)

**Agency recommendation – Approval of sign application:** The property, 202 South Main Street, has been the site for Adorn Beauty Enhancements, a beauty salon, for about two years. The property is zoned H-2 (Historic District), any new signs or alterations to existing signs require Certificate of Appropriateness approval from the Historic Preservation Commission and review by the Design Review Commission. The sign application had a hearing with the Historic Preservation Commission in February 2017, but the original design (see attached) was deferred until the next meeting. No design for the permanent sign was ever officially approved, and the applicant has subsisted with some temporary banners since that time. The new, proposed design (see attached) would eliminate the temporary banners and is a much-improved design.

**The current ground sign (wood framework) at the property along North Main Street is not changing overall height, length, or width. The sign is right at 10 feet off of the right-of-way. The sign face area (24 square feet each side) and the height (6 feet) conform with the Sign Code standards. The sign is externally illuminated. (Internal illumination is prohibited in the Historic District.) There is no changeable copy or electronic displays. The colors of the newest design blend well with the exterior of the business (see attached). The sign should not be a detriment to the surrounding area along South Main Street and is not a traffic hazard. Staff recommends approval, and the Historic Preservation Commission will review again on September 16<sup>th</sup>.**

**Sec. 86-490. Regulated signs.**

(a) *Ground signs, which are permanent, shall be permitted in non-residential zoning districts. No ground sign shall have a height greater than six feet above normal grade, or a sign face area greater than 35 square feet (each side) for lots with a single building and 45 square feet (each side) for planned centers. No portion of a ground sign shall not be located within ten feet of a street right-of-way or within 50 feet of any other permanent sign, major structure or building. Changeable copy shall not exceed 33 percent of the area of the sign face. Ground signs are allowed only on lots upon which there is a building which is currently occupied pursuant to a current and valid certificate of occupancy issued by the city or which is currently being developed under an active building permit issued by the city.*

**Sec. 86-495. Historic districts.**

*The purpose of this section is to ensure that signage in the historic district is harmonious in proportion, form, color, and materials to the character of said district. Visual relatedness is crucial to the goal of an integrated historic district, and signs play a key role in helping to preserve the historical district's sense*

**FOLLOW-UP APPROVAL ACTION (City Clerk)**

Typed Name and Title Ricky L. Clark, City Manager	Date September, 4, 2019	
Signature	City Clerk's Office	

of time and place, and to achieve the desired effect of charm and compatibility. No sign shall be erected, altered, restored or moved within the historic district until an application for a Certificate of Appropriateness as to exterior architectural features and signage has been reviewed and approved by the Historic Preservation Commission and the Design Review Commission. All proposed changes requiring a Certificate of Appropriateness shall comply with the applicable design standards in the 2005 Zoning Ordinance.

- (1) *Applicability. This section shall apply only to those building structures and uses within the geographical boundaries of the Historic Districts, the H-1 and H-2 zoning districts.*
- (2) *Compatibility. As to signs, buildings, structures, and uses within the Historic Districts, when a provision of this section conflicts with any section in the balance of this article, the provision of this section shall control. Otherwise, to the extent reasonably possible, the provisions of this section shall be interpreted consistent with the provisions of the balance of this article.*
- (3) *Signage standards.*
  - a. *General. Signage shall complement the architectural details of the building and shall not violate or otherwise obscure the architecture of the building to which it is attached. Signs, lettering, or boxed graphics shall not cut across columns, cornices, windowsills, arches or balconies, nor extend above the roofline (except for parapets and mansards) of any building to which it is attached.*
  - b. *Lettering, size, and content. Letters can be painted or mounted directly on a signboard, storefront, wall or window, if in proportion to the storefront. Lots in the H-1 and H-2 Historic Districts are allowed the same amount of signage as lots outside of the H-1 and H-2 Historic Districts. In the H-1 and H-2 Historic Districts, canopy signs and hanging or suspended signs may be utilized. Provided, however, in no case may the total signage area exceed ten percent of the building face to which the sign is attached. Acceptable lettering materials include wood, stone, synthetic stone, metal, and acrylic. The overall design of all signage shall be compatible with the turn-of-the-century theme of the historic district.*
  - c. *Materials. Signs may be constructed of concrete, brick, wood, stone, metal, glass, or synthetic materials that have the same appearance of the aforementioned natural materials due to their finish. All materials shall be compatible with the building's architecture and should be colorfast and resistant to corrosion. Signs shall be professionally finished in accordance with the material selected, whether by sanding, painting, staining and/or sealing, with the edges of the sign framed out and/or sealed.*
  - d. *Lighting. All signs in the historic district, whether ground signs or wall signs, shall only be illuminated by an external light source, and through craftsmanship and materials, shall reflect the design aesthetics of the historic district.*
  - e. *Colors. The Historic Preservation Commission and the Design Review Commission shall consider the context of the surrounding area when reviewing the color of a proposed sign in the Historic Districts; however, the colors and logos of nationally and regionally recognized businesses shall not be prohibited.*

---

**Fiscal Impact**

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

---

**Private Owner**


---

**Exhibits Attached** (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Previous Design
- Existing Banner
- New Design

5.d

**Staff Recommendation** (Type Name, Title, Agency and Phone)

**Approval**



Roark  
Wester  
Charles

**CITY OF JONESBORO  
HISTORIC PRESERVATION COMMISSION**  
124 North Avenue  
February 20, 2017 - 5:30 P.M.

**NOTE: As set forth in the Americans with Disabilities Act of 1990, the City of Jonesboro will assist citizens with special needs given proper notice to participate in any open meetings of the City of Jonesboro. Please contact the City Clerk's Office via telephone (770-478-3800) or email at [rclark@jonesboroga.com](mailto:rclark@jonesboroga.com) should you need assistance.**

**AGENDA**

**I. CALL TO ORDER – Chairperson Betsy Wester**

**II. AGENDA ITEMS**

- A. Approval of Minutes from January 17, 2017 *Charles Wester*
- B. Historic Preservation Commission to consider application for Certificate of Appropriateness as requested by Adorn Beauty Enhancements Salon located at 202 South Main Street, Jonesboro, Georgia. *defer until next meeting*
- C. Historic Preservation Commission to consider application for Certificate of Appropriateness as requested by 206 S. Main St, LLC located at 206 South Main Street, Jonesboro, Georgia.

*approve  
with | record*

**III. ADJOURNMENT**





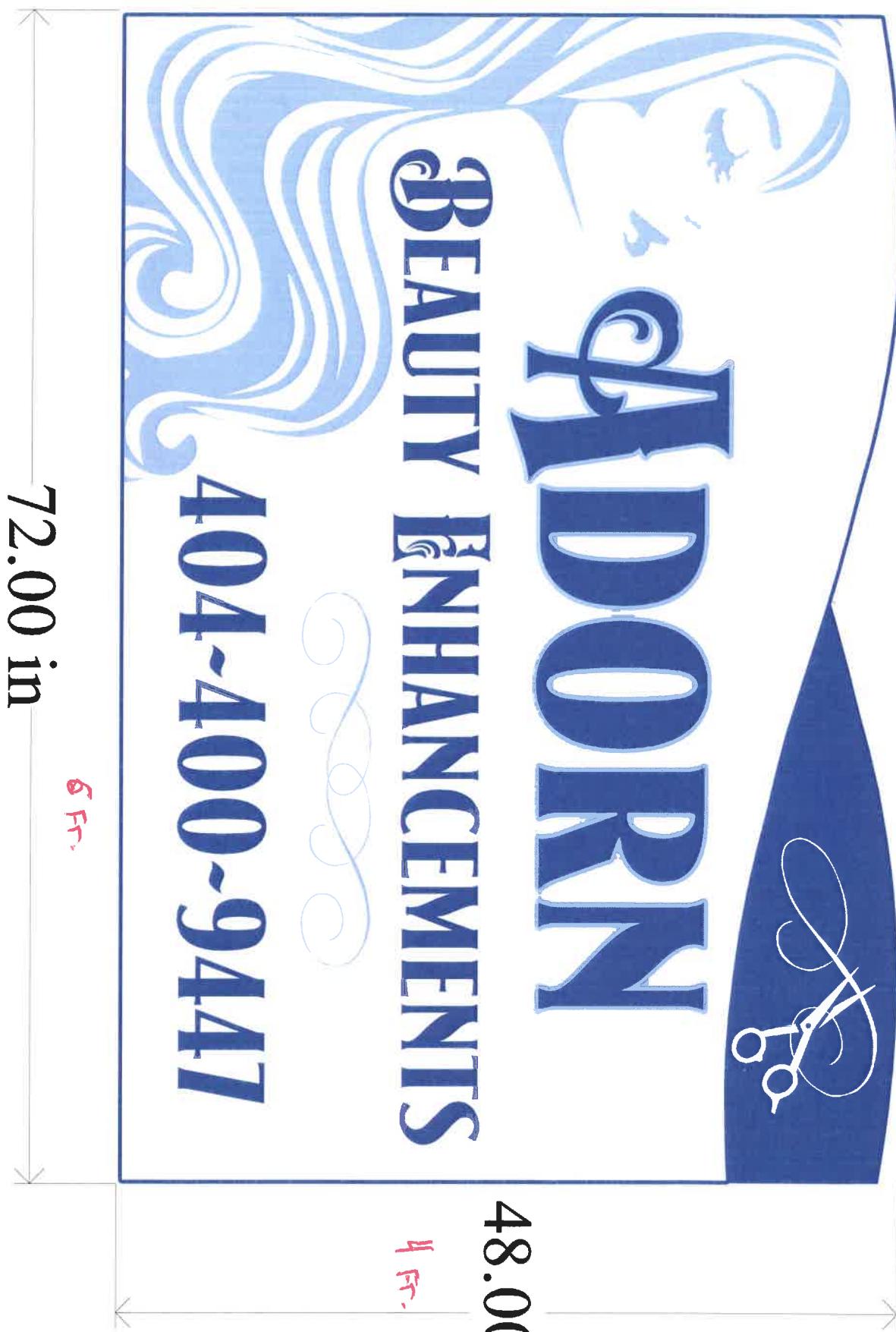




Attachment: Existing Banner (1484: Adorn)



Attachment: New Design (1484 : Adorn)





**CITY OF JONESBORO, GEORGIA COUNCIL  
Agenda Item Summary**

**Agenda Item #**

**5.e**

**-e**

**COUNCIL MEETING DATE**  
September 4, 2019

**Requesting Agency (Initiator)**

Office of the City Manager

**Sponsor(s)**

Community Development Director Allen

**Requested Action** (*Identify appropriate Action or Motion, purpose, cost, timeframe, etc.*)

Commission to make a recommendation on Artofmore Properties, LLC – 137 West Mill Street; Parcel No. 13241D B008; New ground sign for commercial property.

**Requirement for Board Action** (*Cite specific Council policy, statute or code requirement*)

City Code Section 86-489 and 86-490 – General Sign Standards; Sec 86-495 – Historic Dist. Sign Standards

**Is this Item Goal Related?** (*If yes, describe how this action meets the specific Board Focus Area or Goal*)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation

**Summary & Background**

*(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)*

**Agency recommendation – Denial of sign application;** The property, 137 West Mill Street, has been the site for a multi-tenant commercial building for many years. The property is zoned H-1 (Historic District), any new signs or alterations to existing signs require Certificate of Appropriateness approval from the Historic Preservation Commission and review by the Design Review Commission. The existing ground sign that was at the corner of West Mill Street and Riley Way has recently been torn down. The replacement ground sign is proposed for the same grass area at the street corner.

**Sec. 86-490. Regulated signs.**

- (a) *Ground signs, which are permanent, shall be permitted in non-residential zoning districts. No ground sign shall have a height greater than six feet above normal grade, or a sign face area greater than 35 square feet (each side) for lots with a single building and 45 square feet (each side) for planned centers. No portion of a ground sign shall not be located within ten feet of a street right-of-way or within 50 feet of any other permanent sign, major structure or building. Changeable copy shall not exceed 33 percent of the area of the sign face. Ground signs are allowed only on lots upon which there is a building which is currently occupied pursuant to a current and valid certificate of occupancy issued by the city or which is currently being developed under an active building permit issued by the city.*
- (c) *Planned centers.*
  - (1) *A planned center, not located along Tara Boulevard, shall be entitled to one monument sign on each street right-of-way fronted. These permitted signs shall be limited to sign face areas of 45 square feet each with a maximum frame height of six feet from grade. No portion of the sign shall include an area for changeable letters.*
  - (2) *In addition to monument signs, a planned center, not located along Tara Boulevard, shall be entitled to one ground sign per entrance. Each such ground sign may have multiple face panels, the number of which shall not exceed the number of businesses or organizations located within the planned center. The size and number of face panels shall not exceed the total allowable sign face area for a ground sign. No portion of the sign or any face panel shall include an area for changeable letters, either manual or electronic.*
  - (4) *No ground sign permits shall be issued for buildings or units in a planned center unless they are*

**FOLLOW-UP APPROVAL ACTION (City Clerk)**

**Typed Name and Title**

Ricky L. Clark, City Manager

**Date**

September, 4, 2019

**Signature**

City Clerk's Office

**Sec. 86-495. Historic districts.**

The purpose of this section is to ensure that signage in the historic district is harmonious in proportion, form, color, and materials to the character of said district. Visual relatedness is crucial to the goal of an integrated historic district, and signs play a key role in helping to preserve the historical district's sense of time and place, and to achieve the desired effect of charm and compatibility. No sign shall be erected, altered, restored or moved within the historic district until an application for a Certificate of Appropriateness as to exterior architectural features and signage has been reviewed and approved by the Historic Preservation Commission and the Design Review Commission. All proposed changes requiring a Certificate of Appropriateness shall comply with the applicable design standards in the 2005 Zoning Ordinance.

- (1) *Applicability. This section shall apply only to those building structures and uses within the geographical boundaries of the Historic Districts, the H-1 and H-2 zoning districts.*
- (2) *Compatibility. As to signs, buildings, structures, and uses within the Historic Districts, when a provision of this section conflicts with any section in the balance of this article, the provision of this section shall control. Otherwise, to the extent reasonably possible, the provisions of this section shall be interpreted consistent with the provisions of the balance of this article.*
- (3) *Signage standards.*
  - a. *General. Signage shall complement the architectural details of the building and shall not violate or otherwise obscure the architecture of the building to which it is attached. Signs, lettering, or boxed graphics shall not cut across columns, cornices, windowsills, arches or balconies, nor extend above the roofline (except for parapets and mansards) of any building to which it is attached.*
  - b. *Lettering, size, and content. Letters can be painted or mounted directly on a signboard, storefront, wall or window, if in proportion to the storefront. Lots in the H-1 and H-2 Historic Districts are allowed the same amount of signage as lots outside of the H-1 and H-2 Historic Districts. In the H-1 and H-2 Historic Districts, canopy signs and hanging or suspended signs may be utilized. Provided, however, in no case may the total signage area exceed ten percent of the building face to which the sign is attached. Acceptable lettering materials include wood, stone, synthetic stone, metal, and acrylic. The overall design of all signage shall be compatible with the turn-of-the-century theme of the historic district.*
  - c. *Materials. Signs may be constructed of concrete, brick, wood, stone, metal, glass, or synthetic materials that have the same appearance of the aforementioned natural materials due to their finish. All materials shall be compatible with the building's architecture and should be colorfast and resistant to corrosion. Signs shall be professionally finished in accordance with the material selected, whether by sanding, painting, staining and/or sealing, with the edges of the sign framed out and/or sealed.*
  - d. *Lighting. All signs in the historic district, whether ground signs or wall signs, shall only be illuminated by an external light source, and through craftsmanship and materials, shall reflect the design aesthetics of the historic district.*
  - e. *Colors. The Historic Preservation Commission and the Design Review Commission shall consider the context of the surrounding area when reviewing the color of a proposed sign in the Historic Districts; however, the colors and logos of nationally and regionally recognized businesses shall not be prohibited.*

**While the proposed sign is an improvement over the previous sign in terms of aesthetics and does meet some size requirements (sign face area and height), there are several design issues which need to be addressed before the sign design can be approved.**

- The Historic District does not allow internal illumination.
- The sign is listed on the sign application as being 5 feet off of the right-of-way. A minimum 10 feet is required, without an approved variance. The grass area is so tight, there may not be room to get a sign of any significant size at the corner. And though the sign does not exceed the 6-foot height maximum, the presence of a human-sized sign in that area (even 10 feet off of the right-of-way) may be a sight distance traffic hazard and prevent the street sign from being seen by motorists traveling south on West Mill Street.

**Fiscal Impact**

*(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)*

Private Developer

**Exhibits Attached** (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Previous Sign
- Historic Application
- Sign Application
- New Design

**Staff Recommendation** *(Type Name, Title, Agency and Phone)*

Denial

Google Maps 151 W Mill St

EXISTING

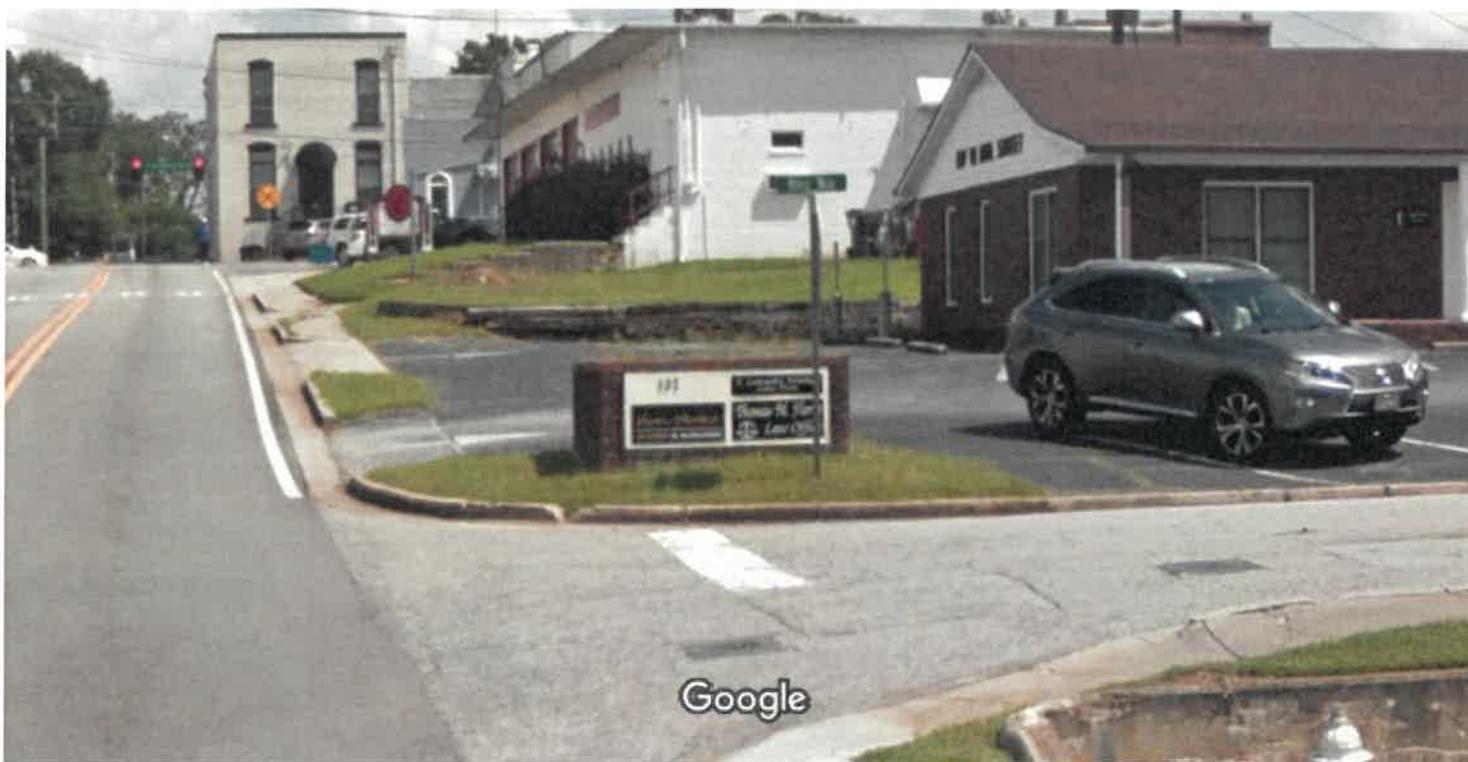


Image capture: Sep 2018 © 2019 Google

Jonesboro, Georgia



Street View - Sep 2018



Attachment: Previous Sign (1485 : West Mill Street Sign)

Google Maps 137 W Mill St

EXISTING



Image capture: Sep 2018 © 2019 Google

Jonesboro, Georgia



Street View - Sep 2018





## CITY OF JONESBORO

124 North Avenue  
Jonesboro, Georgia 30236  
[www.jonesboroqa.com](http://www.jonesboroqa.com)

### JONESBORO HISTORIC PRESERVATION COMMISSION

#### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The Jonesboro Historic Preservation Commission or J.H.P.C. is tasked with insuring the Historic District's Preservation and standards are met according to the City of Jonesboro Codes and Ordinances. This application and approval thereof does not constitute an approval to begin construction. It is a review of Chapter 86 – Zoning, Section 86-102 (H-1) Historic District and Section 86-103 (H-2) Historic District. Once the applicants meets Historic District Code, the process of approval of plans, land disturbance, and other compliance measures must be met. Please contact the Jonesboro City Hall (770) 478-3800 and speak with the City Clerk for further information.

#### Property Information:

Address: 137 West Mill St. Jonesboro, GA.

Owner: Artofmore Properties LLC

*Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.*

#### Applicant Information:

Applicant Name: Matthew Foley

Mailing Address: 10800 Jones Bridge Rd. D2 Johns Creek, GA. 30022

Email Address: Matt@suretybondgirls.com Telephone: 678-694-1967

- Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Residential - \$35.00

Commercial: \$50.00

Sign: \$10.00

**PROJECT INFORMATION****Type of Project (Check all that apply)****Construction**

- New building
- Additional building
- Minor Exterior Change
- Major Building Restoration, Rehabilitation, or Remodeling

**Site Changes**

- Parking area(s), Driveway(s), or Walkway(s)
- Fence(s) or Wall (s)
- Sign(s)
- Mechanical System(s)
- Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

**Demolition or Relocation**

- Primary Building
- Outbuilding
- Site Feature

**APPLICATION REQUIREMENTS**

Applicants must include support materials as noted to be considered (i.e. plans, schematics, images, dimensions, surrounding structures). Incomplete applications will not be reviewed.

**APPLICATION DEADLINE & REPRESENTATION**

Applications must be delivered to the Jonesboro City Hall at least eighteen (18) days preceding the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis. Applicant's attendance is required: A presentation with visuals and detailed information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

**REQUIRED MATERIALS**

The following materials are required for a complete application. Incomplete applications WILL NOT be reviewed.

**A. New Buildings and Additions:**

- i. Description of Project
- ii. Site Plan
- iii. Architectural Elevations
- iv. Floor Plan
- v. Description of Materials
- vi. Photographs of Proposed Site

**B. Major Restoration, Rehabilitation, or Remodeling:**

- i. Architectural Elevations or Sketches
- ii. Description of Project
- iii. Description of Materials
- iv. Photographs of Proposed Site

**C. Minor Exterior Changes:**

- i. Description of Project
- ii. Description of Materials
- iii. Photographs of Existing Building

**D. Site Changes: Parking, Driveways & Walkways:**

- i. Site Plan or Sketch of Site
- ii. Description of Materials
- iii. Photographs of Site

**E. Site Changes: Fences, Walls, and other Site Features:**

- i. Site Plan or Sketch of Site
- ii. Architectural Elevations or Sketches
- iii. Description of Materials
- iv. Photographs of Site

**F. Site Changes: Signs:**

- i. Architectural Elevation or Sketch (For signs located on the building)
- ii. Site Plan or Sketch of Site (For free standing signs)
- iii. Description of Materials and Illumination

## PROJECT AND MATERIALS DESCRIPTION

## ADDING A NEW 30 SQ.FT. ALUMINUM FABRICATED CABINET GROUND SIGN TO THE PROPERTY

**THE HEIGHT OF THE SIGN IS 6'-0" FROM THE GROUND TO TOP OF SIGN**

**(Add Additional Sheets as Necessary)**

MATTHEW FOLEY

---

**PRINT NAME**

8/21/2019

DATE

## SIGNATURE

**\$125.00**

**FEE AMOUNT**

\_(Application Received By)



**CITY OF JONESBORO**  
 124 North Avenue  
 Jonesboro, Georgia 30236  
 City Hall: (770) 478-3800  
 Fax: (770) 478-3775  
[www.jonesboroga.com](http://www.jonesboroga.com)

## SIGN PERMIT APPLICATION

ATTACH ADDITIONAL PAGES IF NECESSARY. ALL ATTACHMENTS MUST BE NUMBERED. INDICATE THE PAGE NUMBER OF ATTACHMENT IN THE SPACES PROVIDED FOR EACH RELEVANT ANSWER. USE A SEPARATE PAGE FOR EACH NECESSARY QUESTION/ANSWER ATTACHMENT.

ANY MISSTATEMENT OR CONCEALMENT OF FACT IN THIS APPLICATION SHALL BE GROUNDS FOR REVOCATION OF THE LICENSE ISSUED AND SHALL MAKE THE APPLICANT LIABLE TO PROSECUTION FOR PERJURY. PLEASE DO NOT LEAVE ANY AREAS UNANSWERED.

**APPLICATION FEE: \$60.00 (Non-Refundable).** The Sign Permit fee is an additional cost. The City of Jonesboro will calculate and advise fees due.

Administrative fee	(flat fee) \$60.00
Area of Sign 1-10ft <sup>2</sup>	(flat fee) \$35.00
Area of Sign 11-25ft <sup>2</sup>	(flat fee) \$60.00
Area of Sign 26-50ft <sup>2</sup>	(flat fee) \$90.00
Area of Sign 51ft <sup>2</sup> and greater	(flat fee) \$120.00
Temporary Signs	(flat fee for second permit) \$30.00
Two permits allowed per property per year. First is free and a flat fee is required for 2nd permit.	

Date of Application: \_\_\_\_\_

**PLEASE PRINT OR TYPE** This is an application for authorization to erect/change signage. A permit fee of \$ \_\_\_\_\_ will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

#### Description of Permit

**Please check:**

- New Sign
- Change to Existing Sign
- Ground Sign
- Window Sign
- Subdivision Sign
- Projecting Sign Wall Sign
- Entrance Sign
- Special Event Sign
- Other (describe below)

#### Property Owner or Applicant Information

Name: MATTHEW FOLEY

Mailing Address: 10800 JONES BRIDGE RD. SUITE D-2

City: JOHNS CREEK State: GA Zip: 30022

Phone: (Day) 678-694-1967 (Evening) 770-309-9298

**Jonesboro Property Information**

Existing Uses and Structures: THE BUILDING IS EXISTING AND THE GROUND SIGN WILL BE NEW

Surrounding Uses and Structures: (See Official Zoning Map): \_\_\_\_\_

Surrounding Zoning:

North: \_\_\_\_\_ South: \_\_\_\_\_ East: \_\_\_\_\_ West: \_\_\_\_\_

Property Address of Sign: \_\_\_\_\_

Complete dimensions and total area of the sign: 137 W. MILL ST. JONESBORO, GA.

What is the position of the sign in relation to nearby buildings/structures and other signs?

ON THE CORNER OF THE PROPERTY FACING THE ROAD

What is the position of the sign in relation to nearby buildings/structures and other signs?

What are the setbacks from right-of-ways, property lines and easements?

5'

Name of person, firm, corporation or association erecting the sign is:

CLAYTON SIGN INC. 5198 N. LAKE DR. LAKE CITY, GA. 30260

Name of business/activity at the address where the sign is to be erected:

PERFECT HOMES

Is this in a planned development?

NO

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

**NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-740**

I HEREBY CERTIFY THAT THE ABOVE INFORMATION AND ALL ATTACHED INFORMATION IS TRUE AND CORRECT:

Date: 8/21/19

Signed: Nancy Jean Clark

Notary: Nancy Jean Clark



**FOR OFFICE USE ONLY:**

Date Received:   /  /20   Received By: \_\_\_\_\_

Fee Amount Enclosed: \$ \_\_\_\_\_

Date Approved:   /  /20  

Date Denied   /  /20  

Permit Issued   /  /20  

Comment:

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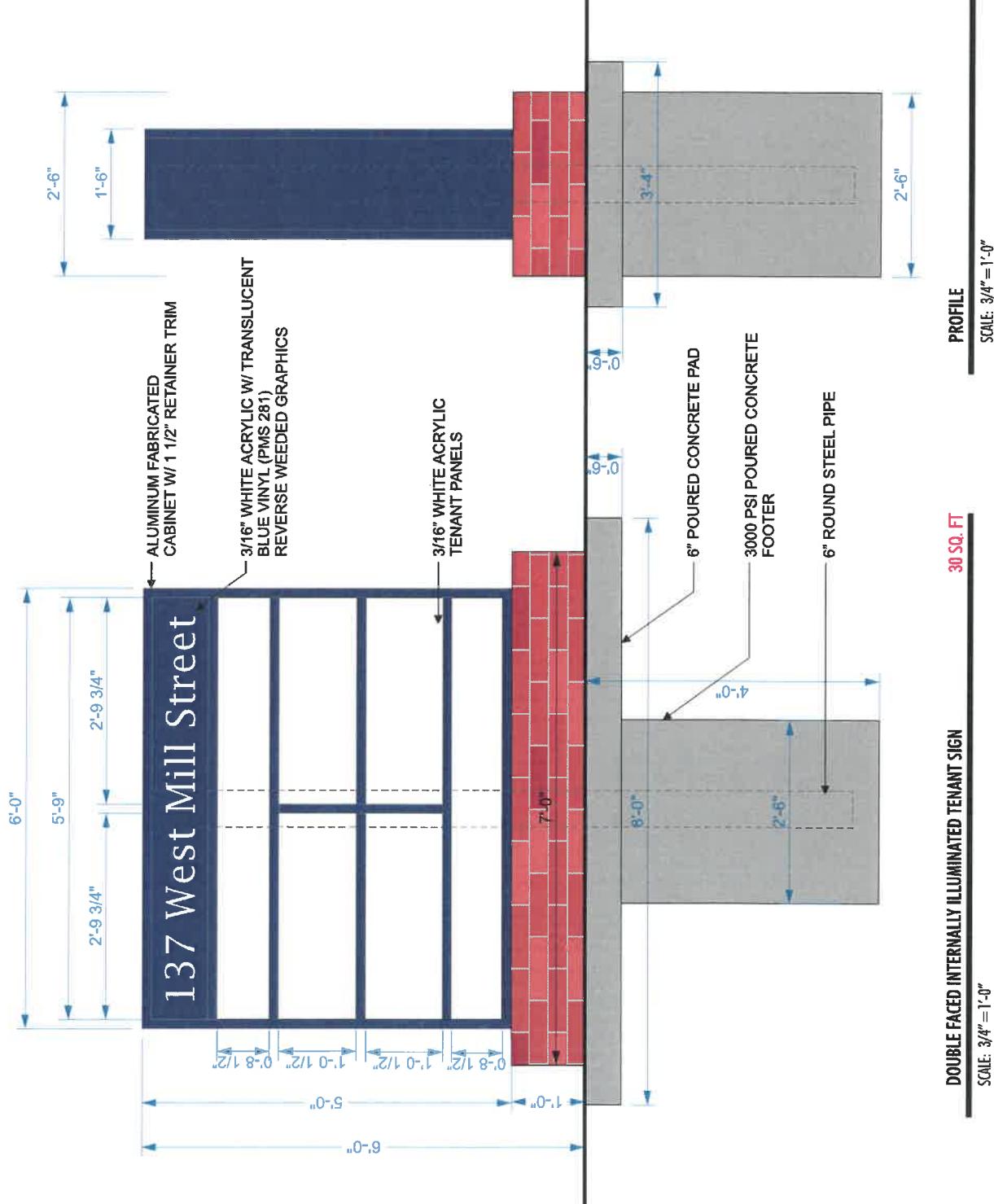


5198 North Lake Drive  
Lake City, GA 30260  
404-361-3800  
fax 404-361-7038  
[www.dofronsigns.com](http://www.dofronsigns.com)

DATE: 7-22-19	SIGN TYPE: INTERNALLY ILLUMINATED DOUBLE FACED TENANT SIGN
PROJECT NAME: PERFECT HOMES MFG 137 WEST MILL STREET JONESBORO, GA	QUOTE #: _____
CLIENT INFORMATION: _____	REVISIONS: _____
DESIGNER: RYAN MCALISTER ACCOUNT REP: SAM FLEET SCALE: AS INDICATED DRAWING FILE NAME: G:\V\1\1485\1485 Perfect Homes_Rapier - Jonesboro Ga 7-22-19	DATE: _____
ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED	
THE DRAWINGS IN ORIGINAL UNREDUCED SIZE DEALER CLAYTON SIGNS, INC. USE TO BE REPRODUCED, PLACED, OR REFERRED TO ANY OTHER THAN THE COMPANY WHICH ON PART WITHOUT WRITTEN CONSENT FROM THE OWNER OF LAW IN A STATE, OR IN SUCH ACTIONS AS ARE SUBJECT TO LEGAL ACTION, A COPY OR A © 2015 ALL RIGHTS RESERVED	

Drawing  
A1

PAINT/VINYL TO MATCH  
PMS 281 DARK BLUE





Imagery ©2019 Google, Map data ©2019

20 ft



**CITY OF JONESBORO, GEORGIA COUNCIL  
Agenda Item Summary**

**Agenda Item #**

**5.f**

**-f**

**COUNCIL MEETING DATE**  
September 4, 2019

**Requesting Agency (Initiator)**

Office of the City Manager

**Sponsor(s)**

Community Development Director Allen

**Requested Action** (*Identify appropriate Action or Motion, purpose, cost, timeframe, etc.*)

Commission to make a recommendation for the Segner Residence – 125 North Avenue; Parcel No. 13240D D019; Replacement roof (metal) for residence.

**Requirement for Board Action** (*Cite specific Council policy, statute or code requirement*)

City Code Section 86-111 Historic Residential Overlay Standards; Secretary of Interior Historic Design Standards

**Is this Item Goal Related?** (*If yes, describe how this action meets the specific Board Focus Area or Goal*)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation

**Summary & Background**

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of metal roof, discussion of color;** The residence located at 125 North Avenue is owned by Jule Segner. The property is zoned R-2 but is in the Historic Residential Overlay. Recently, the applicant applied for a Certificate of Appropriateness to replace the asphalt shingle roof on the building with a metal roof. The Historic Preservation Commission will review this application on September 16<sup>th</sup>. The applicant may change the color of the paint on the house soon, but that will be a separate application.

**Historic Residential Overlay**

(g) *Architectural design standards.*

*The following standards shall control renovation, new construction and development in the historic residential overlay:*

(1) *Rehabilitation. Careful maintenance of the existing historic design, materials and details of structures in the overlay is encouraged. Rehabilitative efforts shall include the use of materials compatible with the architectural style of the historic structure (see article VII, Architectural style and scale for guidance on specific historic styles and building materials traditionally found in Jonesboro).*

a. Roofs.

1. *The existing pitch and shape of the roof shall be maintained. **Noted***

2. *The shape, style, and placement of historic dormers shall be maintained. **Noted***

3. *Addition of dormers to the front facade where none previously existed is prohibited. **None proposed.***

4. *Existing roof materials shall be replaced with the same type of historic material or with materials that closely resembles the existing material. **Though the replacement material will be different, metal is considered an upgrade to asphalt, and the proposed colors can blend with the surrounding neighborhood.***

5. *Decorative brackets, cornices, and eaves shall be maintained. **Noted***

**FOLLOW-UP APPROVAL ACTION (City Clerk)**

**Typed Name and Title**

Ricky L. Clark, City Manager

**Date**

September, 4, 2019

**Signature**

City Clerk's Office

6. Historic chimneys shall be maintained; new chimneys shall use traditional design and materials, and their placement shall be appropriate for the architectural style of the structure. **None proposed.**

Article VII, Architectural Style and Scale, does not specifically address roofing material.

The Secretary of Interior Historic National Standards reference the following about preserving historic roofs and roof replacement:

### Roofs

....Identify, retain, and preserve

recommended



Copper and wrought iron weathervane.

Identifying, retaining, and preserving roofs--and their functional and decorative features--that are important in defining the overall historic character of the building.

This includes the roof's shape, such as hipped, gambrel, and mansard; decorative features, such as cupolas, cresting chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.

not recommended

Radically changing, damaging, or destroying roofs which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the roof or roofing material that is repairable, then reconstructing it with new material in order to create a uniform, or "improved" appearance.

Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights so that the historic character is diminished.

Stripping the roof of sound historic material such as slate, clay tile, wood, and architectural metal.

Applying paint or other coatings to roofing material which has been historically uncoated.

### Roofs

....Replace

Replacing in kind an entire feature of the roof that is too deteriorated to repair--if the overall form and detailing are still evident--using the physical evidence as a model to reproduce the feature.



Examples can include a large section of roofing, or a dormer or chimney.

If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Replacement of damaged clay tile roof.

not recommended

Removing a feature of the roof that is unrepairable, such as a chimney or dormer, and not replacing it; or replacing it with a new feature that does not convey the same visual appearance

*"Replacing in kind extensively deteriorated or missing components of roof features when there are surviving prototypes, such as ridge tiles, roof cresting, or dormer trim, slates, or tiles, or when the replacement can be based on documentary or physical evidence. The new work should match the old in material, design, scale, color, and finish."*

*"Replacing an entire roof feature, such as a chimney or dormer, when limited replacement of deteriorated or missing components is appropriate. Using replacement material that does not match the historic roof feature."*

**Staff visited the property and noted the faded, aged quality of the existing shingles. The applicant has stated that the existing roof is leaking and has rotten decking and damaged wood. A metal roof would be more durable. The metal material is considered an "upgrade" to the regular asphalt shingles.**

**There are no other metal roofs on houses in the immediate area. The color of the natural metal galvanized finish would be noticeably lighter than typical asphalt shingles. The sample provided (see attached) of a similar metal roof house in Fayetteville does look nice, but staff believes that the provided alternative colors of Shasta White or Cityscape would blend in better with the surrounding community. To staff's knowledge, no historic items, such as chimneys, dormers, etc., are being removed.**

**Exhibits Attached** (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Historic Application
- Existing Roof and Sample
- Metal Roof Info
- Metal Roof Samples

**Staff Recommendation** (Type Name, Title, Agency and Phone)

**Approval, with Discussion**



## CITY OF JONESBORO

124 North Avenue  
Jonesboro, Georgia 30236  
[www.jonesboroqa.com](http://www.jonesboroqa.com)

### JONESBORO HISTORIC PRESERVATION COMMISSION

#### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The Jonesboro Historic Preservation Commission or J.H.P.C. is tasked with insuring the Historic District's Preservation and standards are met according to the City of Jonesboro Codes and Ordinances. This application and approval thereof does not constitute an approval to begin construction. It is a review of Chapter 86 – Zoning, Section 86-102 (H-1) Historic District and Section 86-103 (H-2) Historic District. Once the applicants meets Historic District Code, the process of approval of plans, land disturbance, and other compliance measures must be met. Please contact the Jonesboro City Hall (770) 478-3800 and speak with the City Clerk for further information.

#### Property Information:

Address: 125 North Ave.

Owner: Jule Segner

*Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.*

#### Applicant Information:

Applicant Name: Jule Segner

Mailing Address: 125 North Ave. Jonesboro, GA 30236

Email Address: julefs3@yahoo.com Telephone: 470 385-8812

- Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Application Fee \$125.00

## PROJECT INFORMATION

Type of Project (Check all that apply)

### Construction

- New building
- Additional building
- Minor Exterior Change
- Major Building Restoration, Rehabilitation, or Remodeling

### Site Changes

- Parking area(s), Driveway(s), or Walkway(s)
- Fence(s) or Wall (s)
- Sign(s)
- Mechanical System(s)
- Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

### Demolition or Relocation

- Primary Building
- Outbuilding
- Site Feature

## APPLICATION REQUIREMENTS

Applicants must include support materials as noted to be considered (i.e. plans, schematics, images, dimensions, surrounding structures). Incomplete applications will not be reviewed.

## APPLICATION DEADLINE & REPRESENTATION

Applications must be delivered to the Jonesboro City Hall at least eighteen (18) days preceding the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis. Applicant's attendance is required: A presentation with visuals and detailed information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

**REQUIRED MATERIALS**

The following materials are required for a complete application. Incomplete applications WILL NOT be reviewed.

**A. New Buildings and Additions:**

- i. Description of Project
- ii. Site Plan
- iii. Architectural Elevations
- iv. Floor Plan
- v. Description of Materials
- vi. Photographs of Proposed Site

**B. Major Restoration, Rehabilitation, or Remodeling:**

- i. Architectural Elevations or Sketches
- ii. Description of Project
- iii. Description of Materials
- iv. Photographs of Proposed Site

**C. Minor Exterior Changes:**

- i. Description of Project
- ii. Description of Materials
- iii. Photographs of Existing Building

**D. Site Changes: Parking, Driveways & Walkways:**

- i. Site Plan or Sketch of Site
- ii. Description of Materials
- iii. Photographs of Site

**E. Site Changes: Fences, Walls, and other Site Features:**

- i. Site Plan or Sketch of Site
- ii. Architectural Elevations or Sketches
- iii. Description of Materials
- iv. Photographs of Site

**F. Site Changes: Signs:**

- i. Architectural Elevation or Sketch (For signs located on the building)
- ii. Site Plan or Sketch of Site (For free standing signs)
- iii. Description of Materials and Illumination

**PROJECT AND MATERIALS DESCRIPTION**

A new roof to be installed at 125 North Ave, Jonesboro, GA. I would to use Victorian Metal Shingles. They are made of 25 Gauge Steel w/fasteners concealed. The color chosen is the natural metal, galvanized finish. Manufacturer of this material is Berridge Manufacturing Co.

Old roof will be torn off + all rotted decking, or damaged wood will be replaced.

The current roof is leaking.

**(Add Additional Sheets as Necessary)**

Jule F. Segner

**PRINT NAME**

8.24.19

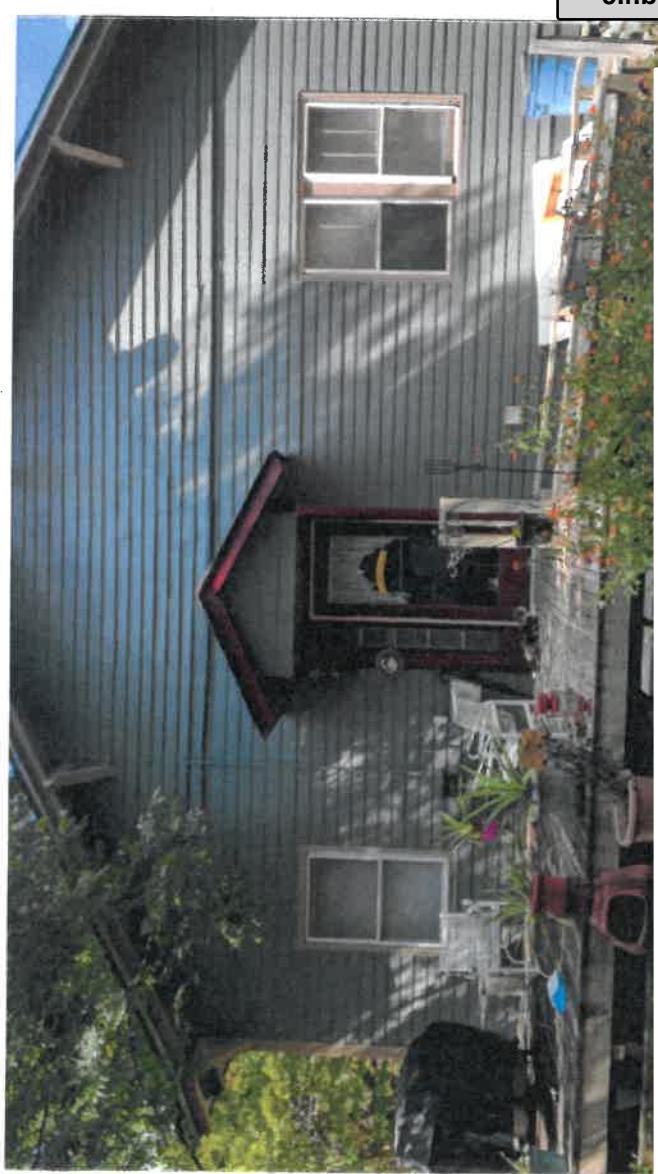
**DATE**

Jule F. Segner

**SIGNATURE**

**FEE AMOUNT**

**(Application Received By)**



Attachment: Existing Roof and Sample (1486 : Segner Residence)



Attachment: Existing Roof and Sample (1486 : Segner Residence)

# Berridge Victorian & Classic Shingles

## SHINGLE SYSTEM



The Berridge Victorian and Classic Shingles create a traditional design look. This versatile product can be used in residential or commercial applications over solid wood sheathing on both roofs and walls making it ideal for restoration projects or new construction requiring a historic Victorian or classical traditional feel.

### Materials

24 Gauge Steel

### Specifications

Uses: Roof, Wall, Fascia

Finishes: Victorian or Classic embossed pattern

Fasteners: Concealed

Applications: Solid sheathing

Coverage: 9" wide and 12" tall

### Installation

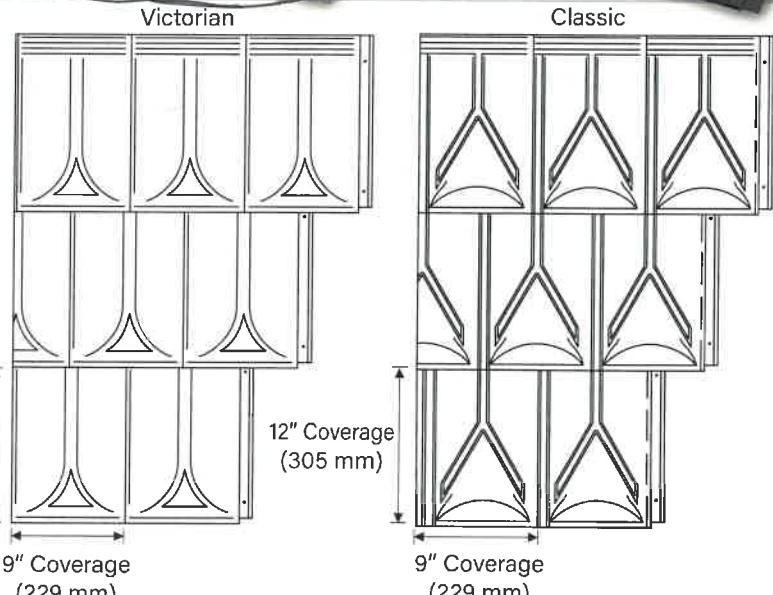
- Factory formed prefinished tiles
- 133 Shingles per square, must order in full square quantities, minimum order of one square
- Use J-Clip continuously at ridge, hip, gables, endwalls, valleys, etc.\*
- Use 4" ridge/hip cap continuously at ridges and hips\*
- Use drip flashing continuously at eaves and gables\*

12" Coverage  
(305 mm)

9" Coverage  
(229 mm)

Pictured Above  
Panel: Classic  
Project: Sinclair Hille Studio  
Architect: Sinclair Hille  
General Contractor and Installer:  
Bresler Construction  
Color: Zinc Grey

Pictured Right  
Panel: Victorian



\* Trim drawings with dimensions, specified angle or roof pitch, and finish side required for all Berridge manufactured trim pieces





Attachment: Metal Roof Samples (1486 : Segner Residence)



BERRIDGE

STANDARD  
COLOR

## BERRIDGE CITYSCAPE

Kynar 500®/Hylar 5000®

This color complies with LEED v4 requirements for  
roof slopes greater than 2:12. Please remove  
protective film for accurate color viewing.



Berridge Manufacturing Company  
2610 Harry Wurzbach Road  
San Antonio, Texas 78209

210-650-3050 FAX 210-650-0379  
[www.Berridge.com](http://www.Berridge.com)



# CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary

Agenda Item #

5.g

-g

COUNCIL MEETING DATE  
September 4, 2019

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

**Requested Action** (*Identify appropriate Action or Motion, purpose, cost, timeframe, etc.*)

Commission to make a recommendation for Yippie Puppy – 178 North McDonough Street; Parcel No. 13240D A031; Exterior renovations to business.

**Requirement for Board Action** (*Cite specific Council policy, statute or code requirement*)

City Code Section 86-103 H-2 Historic District Standards; Secretary of Interior Historic Design Standards

**Is this Item Goal Related?** (*If yes, describe how this action meets the specific Board Focus Area or Goal*)

Yes

Economic Development, Beautification, Historic Preservation

Summary &amp; Background

*(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)*

Agency recommendation – **Approval:** There have been various businesses located at 178 North McDonough Street through the years. The property is zoned H-2 and is in the historic district. Recently, the current applicant, Yippie Puppy dog grooming and boarding, applied for a Certificate of Appropriateness to tear down the rear porch and replace with a fully enclosed addition about 20 feet x 9 feet, replace the asphalt shingle roof with a metal roof, replace the windows, replace the wood siding with Hardie Plank cement siding, refurbish the side porch, replace the exterior trim, and paint the brick foundation. These items will be addressed separately in this report. The applicant needs the addition for more space to board dogs.

The upcoming codification of the Design Review Commission authorizes the Commission to review such applications:

Make recommendations to the Historic Preservation Commission regarding Certificate of Appropriateness applications for any exterior modifications to existing developments, buildings and structures (including signs) within the Historic Districts and Historic Residential Overlay, prior to the scheduled Historic Preservation Commission hearing on the applications.

Make recommendations to the Historic Preservation Commission regarding Certificate of Appropriateness applications for proposed and replacement developments, buildings and structures (including signs) within the Historic Districts and Historic Residential Overlay, prior to the scheduled Historic Preservation Commission hearing on the applications.

The Historic Preservation Commission is also authorized to review and approve exterior modifications (even color) to buildings within the Historic District, per Code Section 86-103.

Also, Per Section 86-103 of the H-2 Historic District:

(I) Design standards. In order to preserve the physical character of existing historic structures in the H-2 historic district, every effort shall be made to adapt the property in a manner that complements the historic character of the area when making exterior alterations to the existing building, site, or environment. New construction shall also be appropriate for the district in design, placement, and scale.

**(I)(1) Rehabilitation.** Maintaining the existing historic design, materials, and details of structures in the H-2 district is encouraged. Rehabilitative efforts shall include the use of materials that are compatible with the architectural style of the historic building (see article VII, Architectural style and scale, for guidance on specific historic styles and building materials traditionally found in Jonesboro.)

## FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

September, 4, 2019

Signature

City Clerk's Office

## a. Roofs.

1. The existing pitch and shape of the roof shall be maintained. **From the drawings provided, the roof pitch and shape appear to remain the same.**
2. The shape, style, and placement of historic dormers shall be maintained. **From the drawings provided, these appear to remain the same.**
3. The addition of dormers to the front facade where none previously existed is prohibited. **No new dormers proposed.**
4. Existing roof materials shall be replaced with the same type of historic material or with that which closely resembles the existing material. **The replacement roof will actually be a superior material to existing – metal. The color will go from a mix of grey and green to dark green.**
5. Decorative brackets, cornices, and eaves shall be maintained. **So noted.**
6. Historic chimneys shall be maintained. **Existing chimney remaining as is.**
7. New chimneys shall use traditional design and materials, and their placement shall be appropriate for the architectural style of the structure. **No new chimney.**

## b. Building materials.

1. Historic building materials shall be maintained. **The wood siding will be replaced by Hardie Plank cement siding, which I do not believe is a “historic” material.**
2. Unpainted brick facades shall remain unpainted. **The plans call for the existing brick foundation to be painted. This is prohibited.**
3. Damaged exterior materials shall be treated with materials that will not cause further deterioration, including the use of a historic mortar mix of an appropriate color when repointing brick. **As stated before, the wood siding will be replaced by hardie plank cement siding. The wood appears damaged. Hardie Plank would be a more durable material.**
4. Proper maintenance of all building materials shall adhere to the secretary of interior's standards for rehabilitation and other resources on file with the office of downtown development. **So noted.**

## c. Building color.

1. Recommended color shades shall draw from the range of existing color shades and complement the color schemes that already exist in the district. Reference materials on appropriate color palettes will be available for review at the office downtown development at city hall. **The replacement siding will be, per the applicant, beige and then painted white once installed. This will closely mimic the current color. There are several other white buildings in the nearby area. The replacement roof will be a darker green than the existing roof, and will complement the trees growing on the property.**
2. Neon colors are prohibited. **No neon used. Just earth tones.**
3. Primary colors may be acceptable for trim or accents pending review and approval by the director of downtown development. **Just earth tone colors used.**
4. Color patterns shall be consistent with the architectural style of the structure and with the overall historic character of the district. **They will closely mimic the current color. There are several other white buildings in the nearby area.**

## d. Foundations.

1. The original design and materials of the foundation, open pier foundation and the porch pier foundation shall be maintained. **The rear addition will use a brick crawlspace like the rest of the building.**
2. Unpainted historic masonry foundations shall not be painted. **The plans call for the existing brick foundation to be painted. This is prohibited.**
3. Concrete block shall not be used as a foundation material. **Will use brick like existing.**

## e. Details.

1. The addition of architectural details where none previously existed is prohibited. **None are planned. The addition at the back will be relatively simple in design.**
2. Replacement of historic details shall be made with matching material, design, and scale versus stock details. **None are planned.**
3. The removal of details from a structure is prohibited. **None are proposed, per the plans. Replacement trim should match existing trim.**

## f. Lighting.

1. Lighting fixtures and wattage shall be compatible with the historic character of the structure and the district. **No additional lighting shown on plans.**
2. Lighting placement and wattage shall be configured to prevent glare and to prevent light trespass into residential uses. **No additional lighting shown on plans.**

## g. Windows.

1. Historic windows and window arrangement shall be maintained. **The windows are proposed to be replaced, but at the same location and size as existing.**
2. Damaged portions of windows, or windows damaged beyond repair, shall be replaced with windows that are comparable in design, size, and materials versus stock windows. **The windows are proposed to be replaced, but at the same location and size as existing.**
3. Flat snap-in muntins, designed to resemble frames that hold panes of glass in a window, are discouraged. **So noted.**
4. New windows on side elevations shall be compatible with historic windows in terms of materials, size, and design. **So noted.**
5. Storm windows shall match the color of the window frame and obscure the window as little as possible. **So noted.**
6. The addition of windows where none previously existed is discouraged. **The new addition will have a window, but was an open porch with windows before.**
7. The addition of shutters that are not compatible with the window size and shape is discouraged. **So noted.**

## h. Doors.

1. Historic doors and door placement shall be maintained. **So noted.**
2. Damaged portions of doors, or doors damaged beyond repair, shall be replaced with doors that are comparable in design, size, and materials versus stock doors. **So noted.**
3. New doors on side elevations shall be compatible with historic doors in terms of materials, size, and design. **So noted.**
4. Storm doors shall match the color of the doorframe and obscure the door as little as possible. **None planned.**
5. The addition of doors, sidelights, transoms, fanlights, or other decorative features where none previously existed is discouraged. **So noted.**

## i. Porches.

1. The design, materials, roof supports and balustrades and roof shape of historic porches shall be maintained. **The side screened porch shall be refurbished, but is planned to keep its present shape and size.**
2. The addition of front porches where none previously existed is discouraged. **None planned.**
3. The addition of decorative elements, if desired, shall be consistent with the base architectural style of the structure. **So noted.**
4. Replacement of historic porch features shall be made with matching material, design, and scale versus stock features. **So noted.**
5. Porch floors and foundations shall not be replaced with slab concrete or brick. **So noted.**
6. The enclosure of front or side porches shall be prohibited. **The side porch will remain "screened-in", per the plans.**
7. The design and installation of ADA-compliant ramps onto a front porch shall seek to preserve the historic character of the buildings. Section 4.1.7 Accessible Buildings: Historic Preservation of the ADA Accessibility Guidelines, and resources of the office of downtown development, shall be used as resource guides. **There is an existing accessibility ramp which will not be modified.**

## k. Walks and drives.

1. Historic walks and drives shall be maintained.
2. New walks and drives shall use traditional placement and materials that are appropriate to the dwelling and to the district. The use of gravel is prohibited.
3. Parking shall be located to the rear of the dwelling or to the side behind the facade line of the dwelling. **Parking has always been located in the front and the side.**

## l. Other features.

1. Mechanical systems (including but not limited to air conditioning units and satellite dishes), recreational equipment (including but not limited to pools and semi-permanent play structures), and decks shall be placed to the rear of the property so as to minimize visibility from the public view. Any mechanical systems that must be located on the roof shall be placed to the rear of the roof. **Already in rear, not on roof.**
2. Skylights shall be located to the rear of the roof and shall not be within public view. **No skylights.**
3. Compatible fencing or vegetation shall be used to screen features that are located to the rear of the property. **So noted.**
4. Utility meters shall be placed unobtrusively.
5. For commercial or office-zoned properties in the district, dumpsters shall be placed to the rear of buildings and shall be screened from public view by appropriate fencing, vegetation or walls.

**(2) New construction.** New buildings shall be compatible with surrounding historic structures and shall contribute to the

a. Scale and form.

1. New buildings shall be compatible with the existing scale and form of nearby historic homes in terms of foundation and story heights, roof height, shape and pitch, number of stories, width, and depth. **Just small addition to back of building.**
2. The maximum heated floor area of infill development shall not exceed 150 percent of the average heated floor area of single family detached dwellings located on the same street for a distance of 600 feet in either direction. **Just small addition to back of building.**
3. The maximum building height for infill development shall be determined by the maximum building height of single family detached dwellings located on the same street for a distance of 600 feet in either direction. **Just small addition to back of building.**

b. Materials and color.

1. The predominant exterior siding material or a modern material that creates a similar texture or appearance shall be used. **So noted.**
2. The use of brick is encouraged for chimneys.
3. Prohibited exterior materials include synthetic materials with a false wood grain, vinyl siding, brick veneer, concrete block, and the use of materials that do not complement the architectural or historic style of the structure. **Need to discuss the use of Hardie Plank.**
4. Brick and paint colors shall be compatible with the style of the structure and with surrounding historic structures. **So noted. Match rest of building.**
5. Neon colors are prohibited. **Just earth tone colors used.**
6. Primary colors may be acceptable for trim or accents pending review and approval by the director of downtown development. **Just earth tone colors used.**

c. Doors and windows.

1. Window and door placement, shape, and dimensions shall be compatible with the pattern on nearby historic structures. **So noted.**
2. Blank wall facades are discouraged. **Some on sides of addition.**

d. Additions.

1. Additions shall be placed away from public view on the rear elevation or on a side elevation well behind the facade. **At rear**
2. Additions shall not obscure the form, orientation, or symmetry of the original structure, nor shall they exceed the degree of ornamentation of the original structure. **So noted.**
3. Matching or compatible siding and roofing materials shall be used. **Will match building rehab**
4. Matching or compatible windows and doors shall be used. **Will match building rehab**
5. The removal of a significant portion of original materials to construct an addition is prohibited. **Rear porch will be removed, but it is not in good shape.**

Other notes:

1. Mrs. Puente says that she has been in business at that location for 4 years and got approval from the Historic Preservation Commission to replace the roof and siding back then, but she never acted on it (see attached).
2. The addition will not be able to be seen from McDonough Street. An existing vegetative screen blocks view of the rear yard from adjacent Watterson Street.
3. The backyard measures out at approximately 100 feet deep, which would more than accommodate the 20-foot long addition and the minimum 20-foot rear setback.
4. The rehabilitation and addition will not encroach any further into the side yards.

The Secretary of Interior's Standards for the Treatment of Historic Properties has guidelines for rehabilitating historic buildings. (Refer to the attached sheets for their guidelines with most relevant points marked by a blue asterisk.)

Staff visited the property and noted paint peeling on the sides of the building. The applicant was there and said that the building was in bad shape. Staff is recommending approval, meeting the noted H-2 standards above, plus the noted Secretary of Interior standards attached, most notably preserving the shape and slope of the roof line, preserving the shape of architectural details like awnings, chimneys, and porch columns, and not painting the existing brick. The

addition will have minimal visual impact from the road, and the replacement roofing material will be of a superior material. The Board needs to discuss the use of Hardie Plank siding. **The possible existence of lead paint must be verified by a properly certified contractor.**

5.g

**Update September 2019: The scope of work on Mrs. Ramos' approved drawings (see attached) have not changed, save for the fact that she will not be doing the rear addition now for budgetary reasons. Ms. Ramos' Certificates of Occupancy and her extension deadline had lapsed, so the Historic Preservation Commission voted to have her have a hearing again. The staff notes above are all still valid. Mrs. Ramos is in the act of getting a properly licensed contractor and a recent asbestos report showed no asbestos.**

<b>Fiscal Impact</b>  Private Owner	<i>(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)</i>
<b>Exhibits Attached</b> (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)  <ul style="list-style-type: none"><li>• September 2019 Application</li><li>• Permit Info</li><li>• COA History</li><li>• 178 North McDonough Street Approved Application and site plan</li><li>• 178 North McDonough Street Approved roof addition and siding Plans</li></ul>	
<b>Staff Recommendation</b> (Type Name, Title, Agency and Phone) <b>Approval</b>	



## CITY OF JONESBORO

124 North Avenue  
Jonesboro, Georgia 30236  
[www.jonesboroqa.com](http://www.jonesboroqa.com)

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#### Property Information:

Address:

178 Noah McDonayh St

Owner:

Danielle Rames

*Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.*

#### Applicant Information:

Applicant Name:

Danielle Rames

Mailing Address:

178 N. McDonough St

Email Address:

Yuppiepup868@aol.com

Telephone:

6783680929

- Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Application Fee \$125.00

## PROJECT INFORMATION

Type of Project (Check all that apply)

### Construction

- New building
- Additional building
- Minor Exterior Change
- Major Building Restoration, Rehabilitation, or Remodeling

### Site Changes

- Parking area(s), Driveway(s), or Walkway(s)
- Fence(s) or Wall (s)
- Sign(s)
- Mechanical System(s)
- Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

### Demolition or Relocation

- Primary Building
- Outbuilding
- Site Feature

## APPLICATION REQUIREMENTS

Applicants must include support materials as noted to be considered (i.e. plans, schematics, images, dimensions, surrounding structures). Incomplete applications will not be reviewed.

## APPLICATION DEADLINE & REPRESENTATION

Applications must be delivered to the Jonesboro City Hall at least eighteen (18) days preceding the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis. Applicant's attendance is required: A presentation with visuals and detailed information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

**REQUIRED MATERIALS**

The following materials are required for a complete application. Incomplete applications WILL NOT be reviewed.

**A. New Buildings and Additions:**

- i. Description of Project
- ii. Site Plan
- iii. Architectural Elevations
- iv. Floor Plan
- v. Description of Materials
- vi. Photographs of Proposed Site

**B. Major Restoration, Rehabilitation, or Remodeling:**

- i. Architectural Elevations or Sketches
- ii. Description of Project
- iii. Description of Materials
- iv. Photographs of Proposed Site

**C. Minor Exterior Changes:**

- i. Description of Project
- ii. Description of Materials
- iii. Photographs of Existing Building

**D. Site Changes: Parking, Driveways & Walkways:**

- i. Site Plan or Sketch of Site
- ii. Description of Materials
- iii. Photographs of Site

**E. Site Changes: Fences, Walls, and other Site Features:**

- i. Site Plan or Sketch of Site
- ii. Architectural Elevations or Sketches
- iii. Description of Materials
- iv. Photographs of Site

**F. Site Changes: Signs:**

- i. Architectural Elevation or Sketch (For signs located on the building)
- ii. Site Plan or Sketch of Site (For free standing signs)
- iii. Description of Materials and Illumination

## PROJECT AND MATERIALS DESCRIPTION

**(Add Additional Sheets as Necessary)**

Danielle Barnes  
**PRINT NAME**  
8/28/19  
**DATE**

  
**SIGNATURE**  
**D. S. S.**  
**FFF AMOUNT**

\_(Application Received By)



**CITY OF JONESBORO**  
 124 NORTH AVENUE  
 JONESBORO, GA 30236  
 770-478-3800 • FAX 770-478-3775  
**Building Permit Application**  
**Minimum Fee \$100.00**

BL# Clay County Clay  
 Date 04 29 19  
 Permit No. 044

Application is hereby made according to the laws and ordinances of Jonesboro for a permit to erect, alter, and/or use a structure as described herein or shown in accompanying plans and specifications, to be located as shown on plot plan and, if granted, will conform to all laws and ordinances regulating same.

Address <u>178 N. McDonagh St</u>	Project/Subdivision			
Parcel ID #	LL	District	Zoning	Overlay
Flood Plain	Access	Lot	Block	Plan #
<b>Purpose of Permit:</b> <input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Remodel <input type="checkbox"/> Demolition <input type="checkbox"/> Other		<b>Describe Use of Construction</b> <u>Dog grooming/Boarding</u>		<b>Size of New Structure</b> <u>687 Sqft</u>
<b>Structure Type:</b> <input type="checkbox"/> Retached Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Apartment <input type="checkbox"/> Fee Simple <input type="checkbox"/> Condo/Townhome <input type="checkbox"/> Institutional <input type="checkbox"/> Swimming Pool <input type="checkbox"/> Accessory <input type="checkbox"/> Other				
<b>Foundation:</b> <input type="checkbox"/> Slab <input type="checkbox"/> Crawl Space <input checked="" type="checkbox"/> Basement		<b>Heated Area:</b> Main <input checked="" type="checkbox"/> Upper _____ Lower _____ Other _____ Total _____		
Unfinished Area <u>N/A</u>	Carport	<u>N/A</u>	Garage <u>N/A</u>	Total Area
No. Stories <u>1</u>	Height	No. Units <u>1</u>	No. Rooms	No. Bedrooms <u>0</u> No. Baths <u>1</u>
Sewage: <input type="checkbox"/> Public <input type="checkbox"/> Septic Tank	Power: <input checked="" type="checkbox"/> Georgia Power <input type="checkbox"/> Other	Water: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Well	Cooling/Heating: <input checked="" type="checkbox"/> Gas <input type="checkbox"/> Electric	Fireplace: <input type="checkbox"/> Prefab <input type="checkbox"/> Masonry
Exterior Finish Material <u>Hardiplank</u>		Estimated Construction Cost <u>20,000</u>		
Land Owner <u>Danielle L. Marler</u>	Contractor <u>Danielle Marler</u>			
Address <u>1701 Flat Rock Rd</u>	Address <u>1701 Flat Rock Rd</u>			
City <u>Stockbridge</u>	State <u>GA</u>	Zip <u>30281</u>	City <u>Stockbridge</u>	State <u>GA</u>
Telephone <u>678 368 0929</u>	/Other		Telephone <u>770 558 5901</u>	GA License No. <u>45140</u>

*(Signature)* I hereby certify that the above permitted structure shall be built in accordance with the 2012 Georgia State Energy Code for Buildings. This INITIAL code regulates the design, erection, construction, alteration and renovation of buildings. Compliance is mandatory.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulating construction or the performance of construction.

Date 4/29/19 Printed Name Danielle Marler Signature D. Marler

NOTICE: Separate permits are required for electrical, plumbing, heating, ventilation, air conditioning or prefab fireplaces. This permit becomes null and void if work authorized is not commenced within six (6) months of permit approval or if work is suspended or abandoned for a period of six months at anytime after it is begun. Proper permits must be obtained before work is begun or fees shall be doubled.

**DO NOT COMPLETE THE FOLLOWING - office use only**

**TEMPORARY POLE (#) \$30.00**

Building - Sq. Ft. <u>x .20</u> = <u>_____</u>	Fireplace (#) <u>_____</u> x 30.00 = <u>_____</u>
Electrical <u>x .20</u> = <u>_____</u>	Garbage Disposal (#) <u>_____</u> x 12.50 = <u>_____</u>
Plumbing <u>x .20</u> = <u>_____</u>	Low Voltage (Minimum) <u>_____</u> x 50.00 = <u>_____</u>
HVAC <u>x .20</u> = <u>_____</u>	

ICC <u>\$ .00</u>	Temp # <u>_____</u>	Date <u>_____</u>
F/P <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Approved by: <u>_____</u>	Input by: <u>_____</u> Permit Cost: <u>_____</u> C.O. Fee: <u>_____</u> Total Fee: <u>100</u>
Issued by: <u>_____</u>	Payment Amt: <u>_____</u>	Payment Type: <input type="checkbox"/> Cash <input type="checkbox"/> Check <input type="checkbox"/> Card



3301 NW 55<sup>th</sup> Street, Ft. Lauderdale, FL 33309  
Tel: (888) 854-0477

## Certificate of Asbestos Analysis

---

Prepared for: Avalon Home Inspections, Inc. Phone: 678-782-3497  
Email: avalonhi@gmail.com

Test Address: Danielle Ramos  
178 N McDonough St  
Jonesboro, GA 30236

**Laboratory COC #: 52282618**

Date Collected: August 05, 2019  
Analysis Date: August 06, 2019

Receive Date: August 06, 2019  
Report Date: August 06, 2019

**Asbestos Results:**

**Sample #1 Drywall**

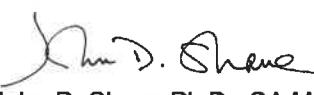
NO ASBESTOS CONTAINING MATERIAL DETECTED

100% Minerals

**Sample #2 Insulation**

NO ASBESTOS CONTAINING MATERIAL DETECTED

45% Minerals  
40% Fiberglass  
15% Cellulose



John D. Shane  
John D. Shane Ph.D., QA Manager

---

This report shall not be reproduced, except in full, without written permission from InspectorLab. This report contains data that were produced under NVLAP #102053-0. Samples analyzed using EPA/600R-93/116 for bulk building materials and EPA/600/M4/82-020 for insulation materials.

Any action taken on the basis of this report is the full responsibility of the client for which this report was written.

Furthermore, InspectorLab's liability is limited to the cost of the analysis. Limit of Quantitation (LOQ) is 1%. "Trace", if listed, indicates the presence of asbestos below the LOQ. "ND" = None Detected.

\*EPA requirements for reporting and analyzing asbestos are: Asbestos Containing (AC) = equal to or greater than 1%; None Asbestos Containing (NAD) is <1% asbestos, even though the sample may contain a trace amount of Asbestos. If the PLM method is ≥1% an point count may be performed (but is not required) to determine more precisely the amount of asbestos present in the samples(s). Visit [www.epa.gov/iag/asbestos.html](http://www.epa.gov/iag/asbestos.html) for more information.

---

**For more information please contact InspectorLab at 888-854-0477**

# CERTIFICATE OF APPROPRIATENESS



City of Jonesboro  
Historic Preservation Commission  
124 North Avenue  
Jonesboro, Georgia 30236

THIS DOCUMENT TO BE POSTED AT ALL TIMES

The City of Jonesboro Historic Preservation Commission in conforming with Sec. 42-28 of the Code of Ordinances for the City of Jonesboro, hereby grants permission for work to be performed on the premises listed in accordance with outline specification

## PREMISES: The Yuppie Puppy

ADDRESS: 178 North McDonough Street

## Historic District

**TYPE:** Rehabilitation and Addition to Building in

HISTORIC PRESERVATION MEETING DATE: MAY 20, 2019

## Work Approved:

Rehabilitation and addition to commercial building. Replacement windows shall all be consistent, matching existing windows; There shall be no painting of the existing brick; All work must be done by a properly licensed contractor (State licensed for commercial work.) Contractor must also be lead and asbestos certified; Side porch is to remain with lower section of wire screen to be replaced with lattice. **CERTIFICATE OF APPROPRIATENESS EXPIRED APRIL 2019. RENEWED FOR 60 DAYS FROM MAY 20TH FOR ACTIVE CONSTRUCTION TO START.**

**Under penalty of law, I,** the undersigned, assure that the work to be performed will be executed as specified under the terms of this Certificate. If it is determined that changes are necessary, I will apply for those modifications prior to the commencement of any work on those changes.

**Note:** An additional permit may still be required. All work shall be in compliance with all Building Codes and Zoning Regulations. This Certificate shall become void unless construction is commenced within six months of the date of issuance.

# CERTIFICATE OF APPROPRIATENESS



City of Jonesboro  
Historic Preservation Commission  
124 North Avenue  
Jonesboro, Georgia 30236

THIS DOCUMENT TO BE POSTED AT ALL TIMES

The City of Jonesboro Historic Preservation Commission in conforming with Sec. 42-28 of the Code of Ordinances for the City of Jonesboro, hereby grants permission for work to be performed on the premises listed in accordance with outline specification.

## PREMISES: The Yuppie Puppy

**ADDRESS:** 178 North McDonough Street

**TYPE:** Rehabilitation and Addition to Building in  
Historic District

HISTORIC PRESERVATION MEETING DATE: OCTOBER 15, 2018

### Work Approved:

Rehabilitation and addition to commercial building. Replacement windows shall all be consistent, matching existing windows; There shall be no painting of the existing brick; All work must be done by a properly licensed contractor (State licensed for commercial work.) Contractor must also be lead and asbestos certified; Side porch is to remain with lower section of wire screen to be replaced with lattice.

**Under penalty of law, I**, the undersigned, assure that the work to be performed will be executed as specified under the terms of this Certificate. If it is determined that changes are necessary, I will apply for those modifications prior to the commencement of any work on those changes.

**Note:** An additional permit may still be required. All work shall be in compliance with all Building Codes and Zoning Regulations. This Certificate shall become void unless construction is commenced within six months of the date of issuance.



**CITY OF JONESBORO**  
 124 North Avenue  
 Jonesboro, Georgia 30236  
 City Hall: (770) 478-3800  
 Fax: (770) 478-3775  
[www.jonesboroga.com](http://www.jonesboroga.com)

## BUILDING PLAN REVIEW APPLICATION

ATTACH ADDITIONAL PAGES IF NECESSARY. ALL ATTACHMENTS MUST BE NUMBERED. INDICATE THE PAGE NUMBER OF ATTACHMENT IN THE SPACES PROVIDED FOR EACH RELEVANT ANSWER. USE A SEPARATE PAGE FOR EACH NECESSARY QUESTION/ANSWER ATTACHMENT.

**ADMINISTRATION FEE:** \$600.00 (Non-Refundable) for Commercial properties and \$150.00 (Non-Refundable) for Residential properties. The City of Jonesboro will calculate and advise fees due.

Date: 2/27/19

### Property Owner's Information

Property Owner: Danielle Ramos

Owner Address: 178 N. McDonough St Jonesboro, GA 30231

### Property Information

Location Address: 178 N. McDonough St Jonesboro, GA 30231

Parcel #'s: \_\_\_\_\_

Subdivision: \_\_\_\_\_ Lot#: \_\_\_\_\_ Zoning: \_\_\_\_\_

Disturbed Acreage: \_\_\_\_\_ Site Acreage: \_\_\_\_\_

### Contractor's Information

General Contractor: Horacio Camp Certification #: \_\_\_\_\_

Address: \_\_\_\_\_

**REVIEWED**

By Dave Goetzcke at 9:11 am, Jul 02, 2019

Phone#:

Cell#:

Email:

678 836 7608Hocampo 100g, 1**Name of each company that will carry out the work:**Honato Okamps

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. THE GRANTING OF A LAND DISTURBANCE PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF RELATED REQUIREMENTS.

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN ONE YEAR.

CONTRACTOR/ OWNER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**FOR OFFICE USE ONLY:**

Date Received: \_\_\_\_ / \_\_\_\_ /20 \_\_\_\_

Fee Amount Enclosed: \$ \_\_\_\_\_

Date Approved: \_\_\_\_ / \_\_\_\_ /20 \_\_\_\_

Date Denied \_\_\_\_ / \_\_\_\_ /20 \_\_\_\_

License Issued \_\_\_\_ / \_\_\_\_ /20 \_\_\_\_

**Comment:**


---



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## ATTACHMENT -1-

**PROPERTY OWNER'S AUTHORIZATION**

The undersigned below, or as attached, is the owner of the property which is subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of an amendment to the property.

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Clayton County, Georgia.

I hereby depose and say that all above statements and attached statements and/or exhibits submitted are true and correct, to the best of knowledge and belief.

**PROPERTY OWNER:**

Daniel Ramy  
PRINT NAME

Daniel Ramy 2/27/19  
SIGNATURE/DATE

**APPLICANT:**

PRINT NAME

SIGNATURE/DATE

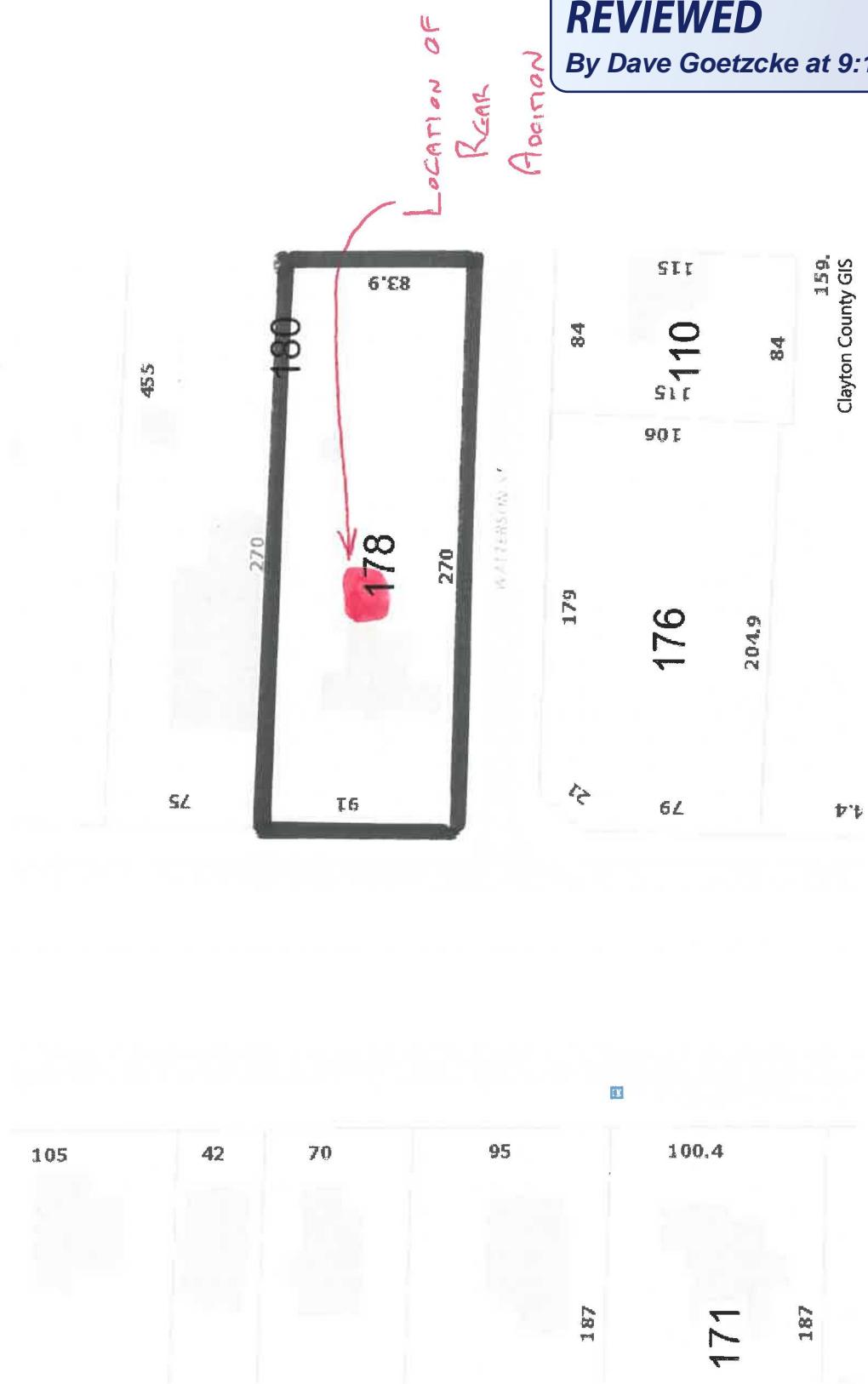
**NOTARY:**

SIGNATURE/DATE

SEAL

## REVIEWED

By Dave Goetzke at 9:12 am, Jul 02, 2019



Attachment: 178 North McDonough Street Approved Application and site plan (1487 : Yuppie Puppy)

Google Maps 178 N. McDonough St., Jonesboro

REVIEWED

By Dave Goetzke at 9:12 am, Jul 02, 2019

LOCATION OF REAR ADDITION



Attachment: 178 North McDonough Street Approved Application and site plan (1487 : Yuppie Puppy)

# YUPPIE PUPPY

**REVIEWED**  
By Dave Goetzke at 9:14 am, Jul 02, 2019

**NOTE:** Every effort has been made to identify code violations. Any oversight by the reviewer shall not be considered as authority to violate, set aside, cancel, or alter applicable codes or ordinances. The plan review and permit issuance shall not be considered a warranty or guarantee.

**NOTE:** Tempered glass required if all the following conditions exist:

- ✓ Individual pane of glass > 9 sq. ft
- ✓ Bottom edge is < 18 inches above floor
- ✓ Top edge is > 36 inches above floor

Also, any window within a 24 inch arc of either side of a door and is < 60 inches above the floor is also required to be tempered. Windows located within a bath tub or shower and are < 60 inches above the floor are required to be tempered.

**Note:** Ramps and stairs are required to have handrails on both sides per section 7.2.2.4 of the 2012 LSC and section 10.12 of the 2012 IBC. A guardrail shall be provided along walking surfaces located more than 30" vertically from the level below per section 10.13 of the 2012 IBC and section 7.2.2.4 of LSC.

The applicable codes are the 2012 International Codes with the Georgia Amendments and the current electric code is the 2017 NEC.

178 N. McDONOUGH STREET  
JONESBORO, GA 30236  
CLAYTON COUNTY



## APPLICABLE CODES (ON NEW CONSTRUCTION)

ALL NEW CONSTRUCTION DESCRIBED IN THESE PLANS SHALL BE CONSTRUCTED IN COMPLIANCE WITH SOME OR ALL OF THE FOLLOWING CODES:

BUILDING: INTERNATIONAL BUILDING CODE - 2012 EDITION, W/ GEORGIA AMENDMENTS (2014)(2015)(2017)(2018)

MECHANICAL: INTERNATIONAL MECHANICAL CODE - 2012 EDITION, W/ GEORGIA AMENDMENTS (2014)(2015)

GAS PIPING: INTERNATIONAL FUEL GAS CODE - 2012 EDITION, W/ GEORGIA AMENDMENTS (2014)(2015)

PLUMBING: INTERNATIONAL PLUMBING CODE - 2012 EDITION, W/ GEORGIA AMENDMENTS (2014)(2015)

ELECTRICAL: NEC - NATIONAL ELECTRIC CODE - 2017 EDITION, W/ NO GEORGIA AMENDMENTS

ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE - 2009 EDITION, W/ GEORGIA SUPPLEMENTS AND AMENDMENTS (2011)(2012)

FIRE SAFETY: 2012 NFPA 101 - LIFE SAFETY CODE W/ STATE AMENDMENTS (2013)

INTERNATIONAL FIRE CODE - 2012 EDITION, W/ GEORGIA AMENDMENTS (2014)

ACCESSIBILITY: 2010 ADA STANDARDS

EQUIPMENT:

SPRINKLER SYSTEM: NONE

## GENERAL CODE INFORMATION

THE FOLLOWING IS A SUMMARY OF APPLICABLE CODE REQUIREMENTS FROM THE INTERNATIONAL BUILDING CODE AND THE LIFE SAFETY CODE

OCCUPANCY CLASSIFICATION (IBC): B (BUSINESS OCCUPANCY)

CONSTRUCTION TYPE: TYPE V-B

TOTAL GROSS SQFT: 687 NEW; 1,272 SF EXISTING = TOTAL 1,959 SF

PIRE SUPPRESSION SYSTEM: NONE EXISTING

PIRE ALARM (NFPA): NONE REQUIRED

# OF STORIES: 1 STORY

ALLOWABLE BUILDING HEIGHTS, STORIES, AND AREAS

ALLOWABLE HEIGHT AND BUILDING AREAS PER TABLE 903 CONST. TYPE MAX. SF / FLOOR MAX. STORIES MAX. HGT. [ft]

V-B 9,000 2 40

AREA MODIFICATION PER IBC 504.2 (FRONTAGE)

AREA MODIFICATION PER IBC 504.3 (SPRINKLER)

HEIGHT AND STORY MODIFICATION PER IBC 504.2

MAX. HEIGHT AND BLDG. AREAS

MEANS OF EGRESS REQUIREMENTS

LIFE SAFETY CODE GOVERNOR

OCCUPANCY CLASSIFICATION PER NFPA:

SUB-OCCUPANCY CLASSIFICATION PER NFPA:

OCCUPANCY LOAD:

PER NFPA 2012 LIFE SAFETY CODE (NFPA 7.3.1.2)

TOTAL OCCUPANCY:

MAX. COMMON PATH OF EGRESS TRAVEL (IBC 1014.3 / NFPA 38.2.5)

MIN. EXIT REQUIRED (IBC 1015.7 / NFPA 7.4)

MAX. EXIT ACCESS TRAVEL DISTANCE (IBC 101.6.2 / NFPA 38.2.6)

CORRIDOR FIRE-RESISTANCE RATING (IBC 1018.1 / NFPA 7.1.3.1)

MAX. DEAD-END CORRIDOR (IBC 1018.2 / NFPA 38.2.5)

MIN. EGRESS WIDTH PER OCCUPANT SERVED (IBC 1003.3.1 / NFPA 7.3.3.1)

MIN. CORRIDOR WIDTH (IBC 1005.1 & 1018.1 / NFPA 7.3.4, 38.2.3)

LEGEND:		SCOPE OF WORK		LOCATION MAP		DRAWING INDEX	
	SECTION MARK					SHEET INDEX	
	CALLOUT DETAIL MARK					A101	COVER SHEET
	CEILING TAG					A102	EXISTING FLOOR PLAN AND ELEVATIONS
	CENTER LINE					A103	PROPOSED FLOOR PLAN
	DOOR TAG					A103.1	LIFE SAFETY PLAN & OPENING SCHEDULE
	EQUIPMENT TAG					A104	PROPOSED EXTERIOR ELEVATIONS
	NORTH ARROW					A105	PROPOSED EXTERIOR ELEVATIONS
	ROOM TAG					A106	FOUNDATION PLAN & WALL SECTION DETAILS
	AL STOREFRONT TAG					A107	FLOOR CEILING AND ROOF FRAMING PLANS
	WALL TAG					A108	DECK DETAILS
	WINDOW TAG					A109	ELECTRICAL LAYOUT
	(GRID LINE) CENTER						
	(GRID LINE) FACE						

## TEAM MEMBERS

OWNER: MRS. DANIELLE RAMOS  
178 N. McDONOUGH STREET  
JONESBORO, GA 30236  
TEL: 678.368.0929

ARCHITECT: JOEL AVILES ARCHITECTS, LLC  
ATTN: JOEL AVILES, AIA, NCARB  
110 N McDONOUGH ST  
JONESBORO, GA 30236  
TEL: 404.975.7895  
EMAIL: JOEL@JOELAVILES.COM

## BUILDING AREAS

AREA SCHEDULE (GROSS HEATED)

NEW ADDITION HEATED	687 SF
EXISTING HEATED AREA	1272 SF
Grand total	1959 SF

AREA SCHEDULE (GROSS UNHEATED)

NEW REAR DECK	64 SF
EXISTING REAR DECK	142 SF
EXISTING SIDE SCREENED PORCH	143 SF
Grand total	349 SF

AREA SCHEDULE (GROSS TOTAL UNDER ROOF)

NEW ADDITION HEATED	687 SF
EXISTING REAR DECK	64 SF
EXISTING HEATED AREA	1272 SF
EXISTING SIDE SCREENED PORCH	143 SF
Grand total	2307 SF

## INTERPRETATION OF DRAWINGS DURING CONSTRUCTION

1. JOEL A. AVILES, ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE; AND THAT THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

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TEL: 404.975.7895 | EMAIL: JOEL@JOELAVILES.COM  
www.joelaviles.com  
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Prepared for:  
MRS. DANIEL RAMOS

Consultants:

Project Address:  
178 N. McDONOUGH STREET  
Jonesboro, GA 30236

Drawing Title:  
**COVER SHEET**

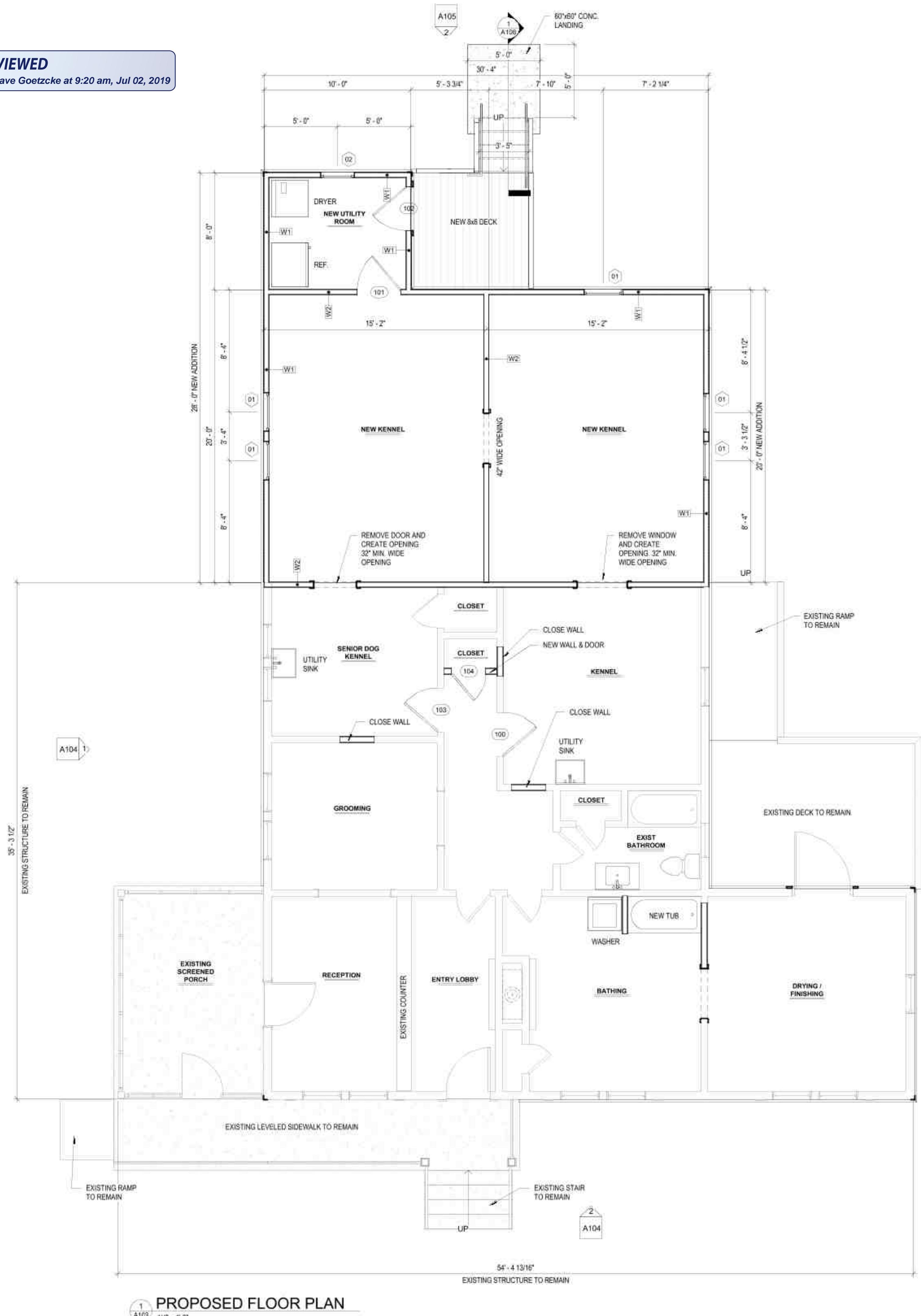
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**RELEASED FOR CONSTRUCTION**

Scale: 1/4" = 1'-0" Drawn by: JA Reviewed by: JA  
Date/Time Printed: 5/23/2019 1:53:59 PM  
Date: 05-22-19 Project number: 18042

Drawing: **A101**



**REVIEWED**  
By Dave Goetzke at 9:20 am, Jul 02, 2019





JOEL AVILES ARCHITECTS  
architecture | planning | interiors

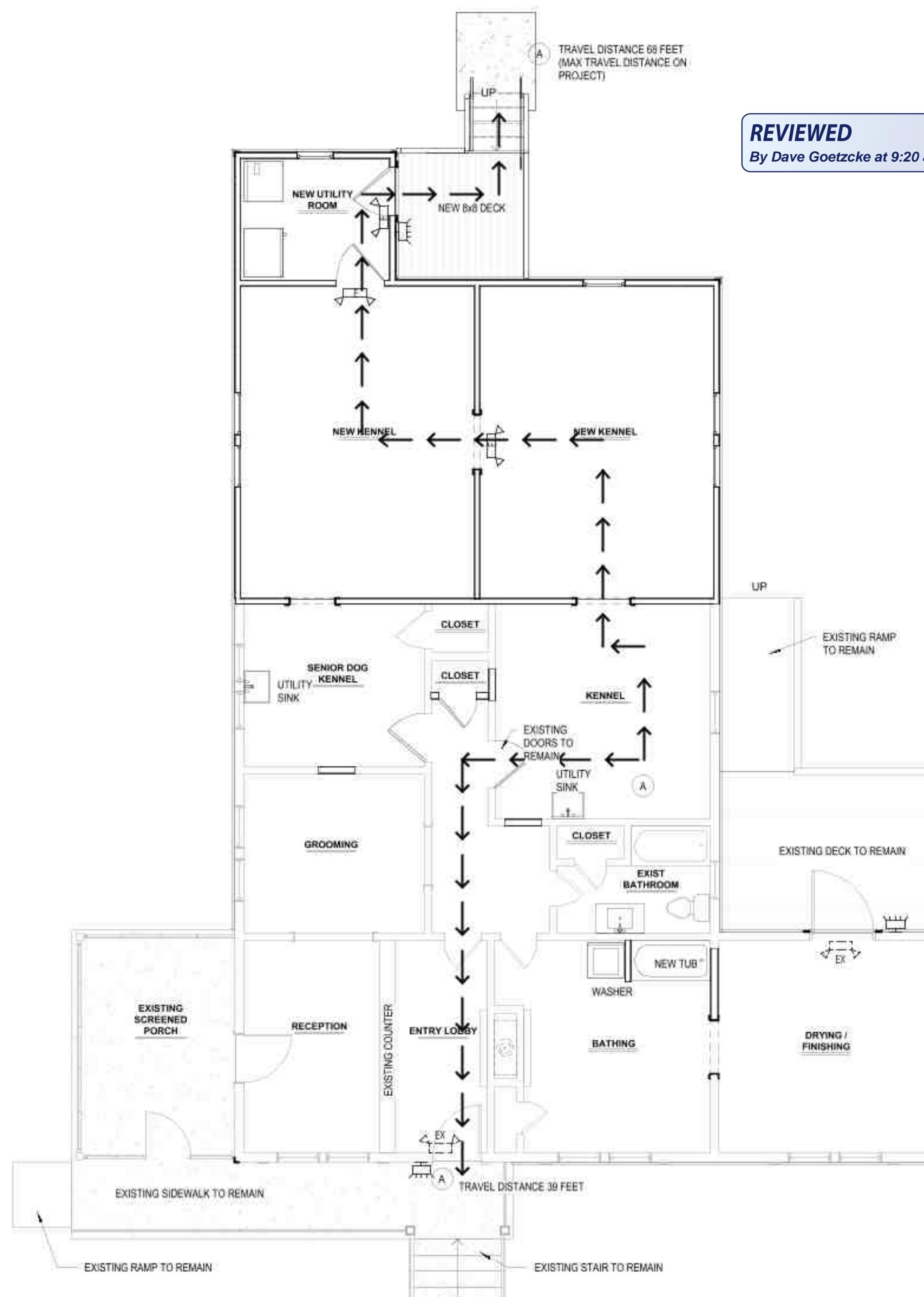
110 N. McDonough Street | Jonesboro | Georgia 30236  
tel: 404.975.7895 | email: joel@joelaviles.com  
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Professional Seal:



Prepared for:  
MRS. DANIEL RAMOS

Consultants:



### LIFE SAFETY PLAN

A103.1 3/16" = 1'-0"

### LIFE SAFETY SYMBOL LEGEND

	LIGHT ON PHOTOCELL, CEILING OR WALL MOUNTED, BATTERY BACK-UP.
	FIRE ALARM
	FIRE EXTINGUISHER SURFACE MOUNTED
	FIRE EXTINGUISHER RECESSED MOUNTED
	EXISTING FIRE EXTINGUISHER
	SPRINKLER HEAD - EXISTING
	SPRINKLER HEAD
	SMOKE DETECTOR - CEILING MOUNTED & HARD WIRED
	SMOKE DETECTOR - WALL MOUNTED & HARD WIRED
	EXISTING EMERGENCY HEAD LIGHTS, BATTERY BACK-UP, MOUNT 1'-0" BELOW CEILING.
	EMERGENCY HEAD LIGHTS, BATTERY BACK-UP, MOUNT 1'-0" BELOW CEILING.
	EXISTING EXIT SIGN W/ EMERGENCY HEAD LIGHTS COMBO, BATTERY BACK-UP, MOUNT 1'-0" BELOW CEILING.
	EXIT SIGN W/ EMERGENCY HEAD LIGHTS COMBO, BATTERY BACK-UP, MOUNT 1'-0" BELOW CEILING.
	CEILING OR WALL MOUNTED EXIT SIGN, ARROWS DENOTE DIRECTION OF EGRESS, DARKENED QUADRANT INDICATES FACE, EX INDICATES EXISTING UNIT.

WINDOW SCHEDULE															DOOR SCHEDULE									
TYPE MARK	R.O.		FRAME		THERMAL PROPERTIES					MANUFACTURER	MODEL	COUNT	COMMENTS											
	WIDTH	HEIGHT	MATERIAL	FINISH	HEAT TRANSFER COEFFICIENT (U)	SOLAR HEAT GAIN COEFFICIENT	THERMAL RESISTANCE (R)	VISUAL LIGHT TRANSMITTANCE	COMMENTS															
01	2'-8"	5'-0"	WOOD	PAINTED	0.3500	0.37	2.8573 (h ft <sup>2</sup> °F)/BTU	0.7	BY OWNER	BY OWNER	5	NEW WINDOWS TO MATCH EXISTING WINDOWS												
02	2'-4"	3'-0"	WOOD	PAINTED	0.3500	0.37	2.8573 (h ft <sup>2</sup> °F)/BTU	0.7	BY OWNER	BY OWNER	1	NEW WINDOWS TO MATCH EXISTING WINDOWS												

Mark	SIZE			THERMAL DATA				Hardware Code	OPERATION		PANIC HARDWARE	HINGE - 3 BALL BEARING	CLOSER	HOLD OPEN	DOOR VIEWER	DOOR SWEEP	DEADBOLT	ELECTROMAGNETIC DEVICE	KICKPLATES	THRESHOLD	STOP	WEATHERSTRIP	Drip Cap	MFR	COMMENTS	
	WIDTH	HEIGHT	THICKNESS	Heat Transfer Coefficient (U)	Solar Heat Gain Coefficient	Visual Light Transmittance	Thermal Resistance (R)		LEVER HANDLE	PUSH/PULL																
100	3'-0"	6'-8"	0'-1 3/8"	0.5600	0	0	1.7858 (h ft <sup>2</sup> °F)/BTU	Passage	Yes			Yes	Yes	Yes	Yes					Yes	No					
101	3'-0"	6'-8"	0'-1 3/8"	0.5600	0	0	1.7858 (h ft <sup>2</sup> °F)/BTU	Passage	Yes			Yes	Yes	Yes	Yes					Yes	No					
102	3'-0"	6'-8"	0'-1 3/8"	0.3670	0	0	2.7250 (h ft <sup>2</sup> °F)/BTU	Exterior	Yes	No		Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	Yes					
103	3'-0"	6'-8"	0'-1 3/8"	0.5600	0	0	1.7858 (h ft <sup>2</sup> °F)/BTU	Passage	Yes			Yes	Yes	Yes	Yes					Yes	No					
104	2'-4"	6'-8"	0'-1 3/8"	0.5600	0	0	1.7858 (h ft <sup>2</sup> °F)/BTU	Storage	Yes			Yes	Yes	Yes	Yes					Yes	Yes					
Grand total: 5																										

Project Address:  
178 McDonough Street  
Jonesboro, GA 30236

Drawing Title:  
**LIFE SAFETY PLAN & OPENING SCHEDULE**

Drawing Status:  
**RELEASED FOR CONSTRUCTION**

Scale: As indicated Drawn by: JA Reviewed by: JA  
Date/Time Printed: 5/22/2019 11:35:56 PM  
Drawing: 18042  
Drawing: 18042

Attachment: 178 North McDonough Street Approved lot addition and siting Plans (4487 : Yuppie Puppy)

**A103.1**

REVIEWED

By Dave Goetzcke at 9:20 am, Jul 02, 2019



110 N. McDonough Street | Jonesboro | Georgia 30236  
Tel: 404.975.7895 | Email: joel@joelaviles.com  
www.joelaviles.com

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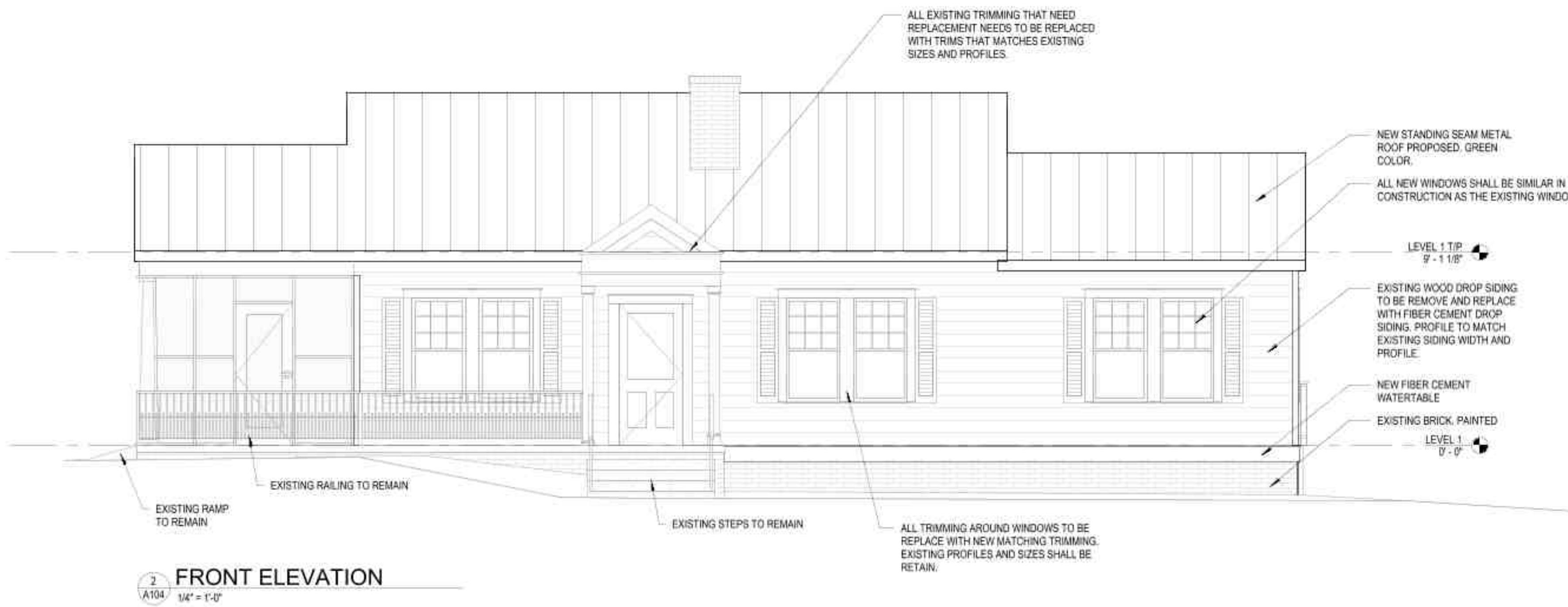
Professional Seal:



Prepared for:  
MRS. DANIEL RAMOS

Consultants:

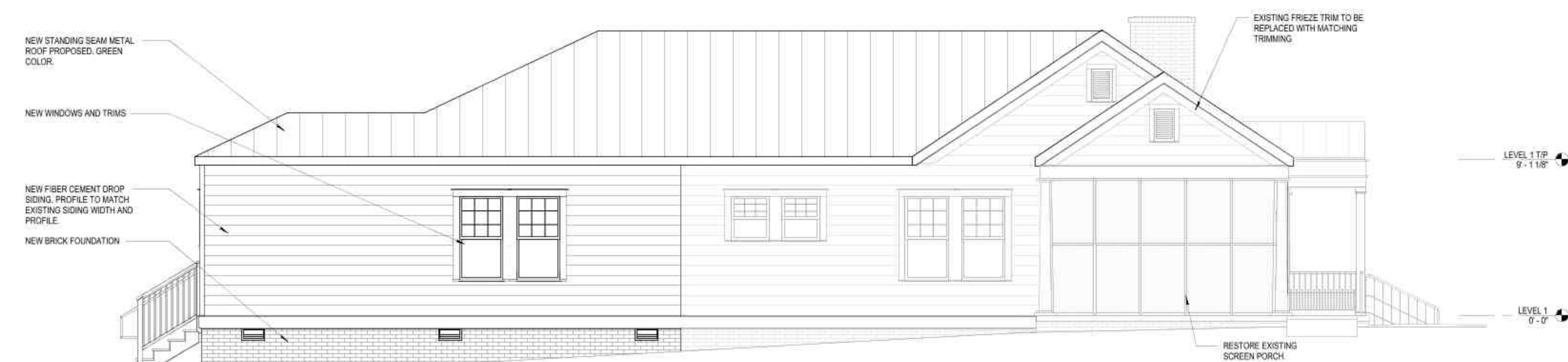
Attachment: 178 North McDonough Street Approved lot addition and siding Plans (4487 : Yuppie Puppy)



2 FRONT ELEVATION

A104

1/4" = 1'-0"



1 LEFT ELEVATION

A104

1/4" = 1'-0"

NO. DATE DESCRIPTIONS BY

ISSUES / REVISIONS

Project:  
**YUPPIE PUPPY ADDITION**

Project Address:

178 N McDonough Street  
Jonesboro, GA 30236

Drawing Title:

**PROPOSED EXTERIOR ELEVATIONS**

Drawing Status:

**RELEASED FOR CONSTRUCTION**

Scale: 1/4" = 1'-0" Drawn by: JA Reviewed by: JA

Date/Time Printed: 5/22/2019 11:13:58 PM

Date: 05.22.19 Project number: 18042

Drawing:

**A104**

**REVIEWED**  
By Dave Goetzcke at 9:20 am, Jul 02, 2019



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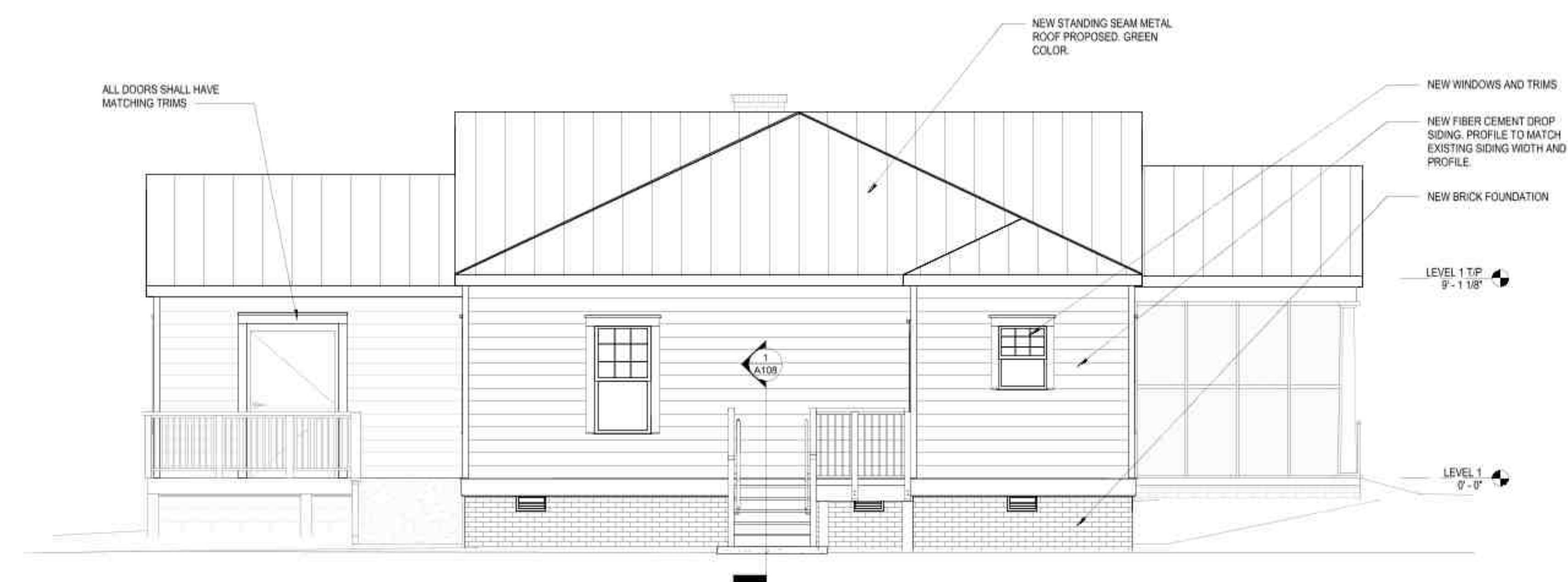
Professional Seal:



Prepared for:  
MRS. DANIEL RAMOS

Consultants:

Attachment: 178 North McDonough Street Approved lot addition and siding Plans (4487 : Yuppie Puppy)



**REAR ELEVATION**  
A105 / 1/4" = 1'-0"

NO. DATE DESCRIPTIONS BY  
ISSUES / REVISIONS

Project:  
**YUPPIE PUPPY ADDITION**

Project Address:  
178 N McDonough Street  
Jonesboro, GA 30236

Drawing Title:  
**PROPOSED EXTERIOR ELEVATIONS**

Drawing Status:  
**RELEASED FOR CONSTRUCTION**

Scale: 1/4" = 1'-0" Drawn by: JA Reviewed by: JA  
Date/Time Printed: 5/22/2019 11:14:00 PM  
Date: 05.22.19 Project number: 18042

Drawing:  
**A105**





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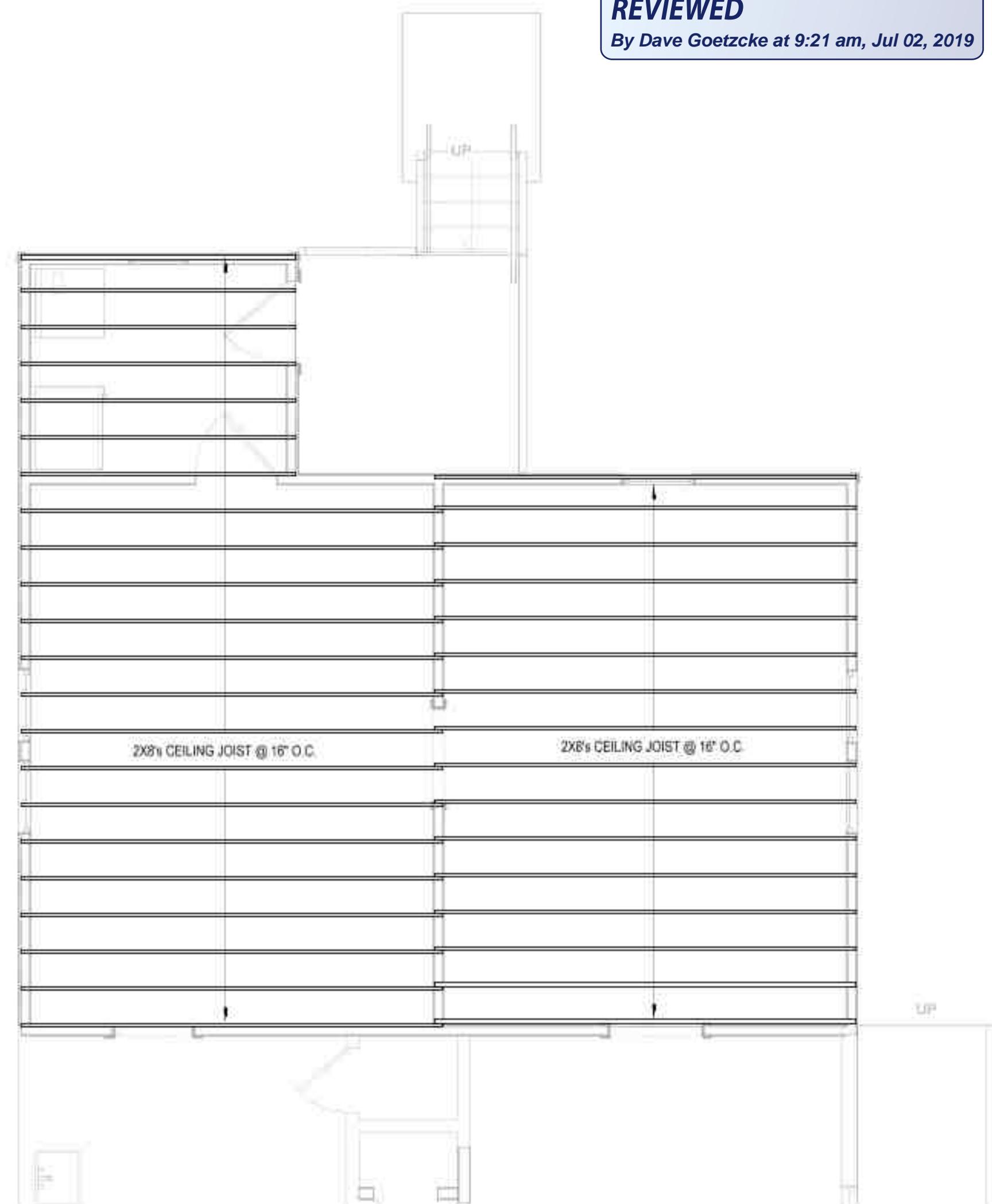


Prepared for:  
MRS. DANIEL RAMOS

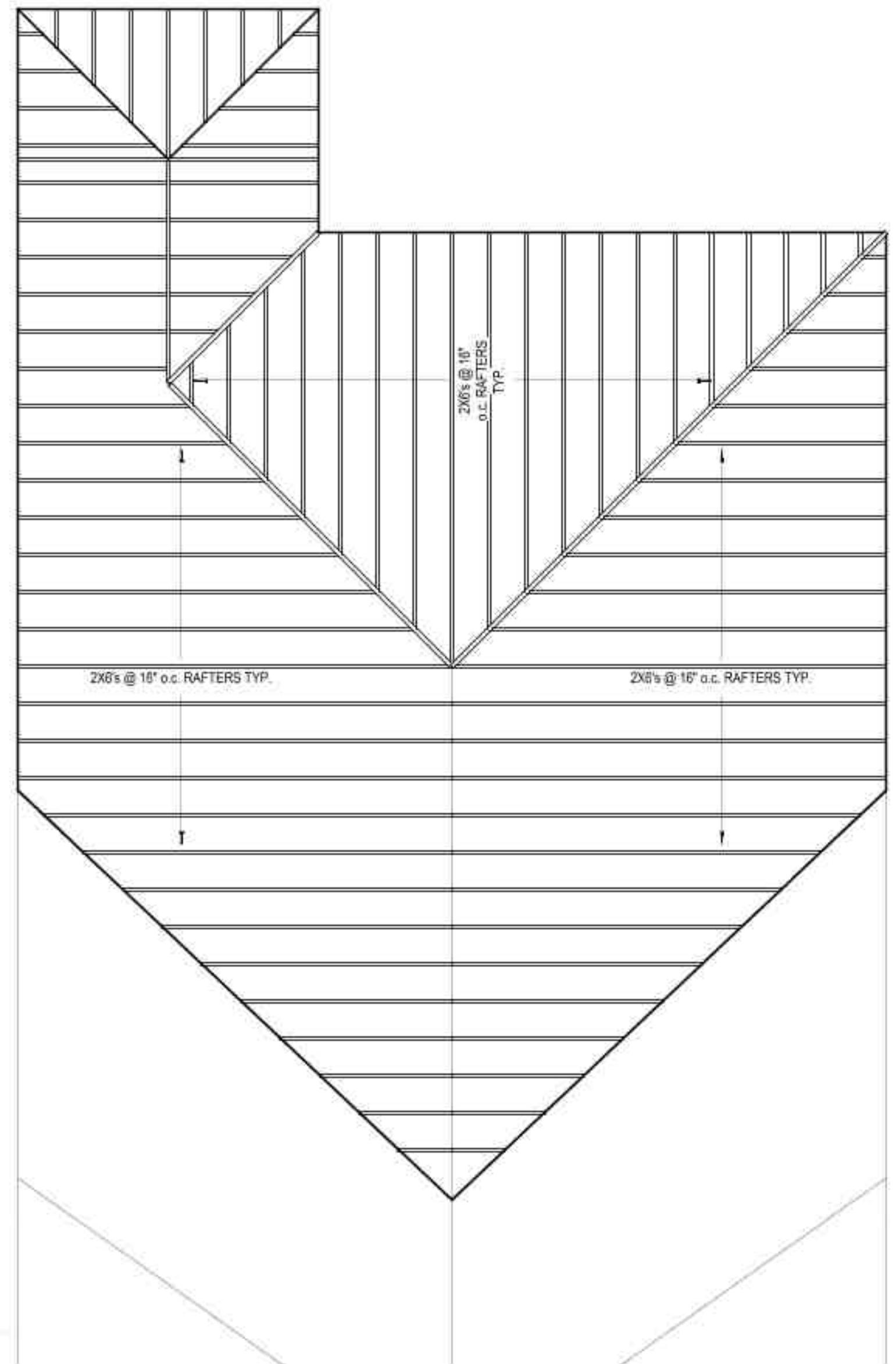
Consultants:

Attachment: 178 North McDonough Street Approved roof addition and siding Plans (4487 : Yuppie Puppy)

REVIEWED  
By Dave Goetzcke at 9:21 am, Jul 02, 2019



1 CEILING FRAMING PLAN  
A107 1/4" = 1'-0"



2 ROOF FRAMING PLAN  
A107 1/4" = 1'-0"

NO. | DATE | DESCRIPTIONS | BY  
ISSUES / REVISIONS

Project:  
**YUPPIE PUPPY ADDITION**

Project Address:  
178 N McDonough Street  
Jonesboro, GA 30236

Drawing Title:  
**FLOOR CEILING AND  
ROOF FRAMING PLANS**

Drawing Status:  
**RELEASED FOR  
CONSTRUCTION**

Scale: 1/4" = 1'-0" Drawn by: JA Reviewed by: JA  
Date/Time Printed: 5/22/2019 11:14:04 PM  
Date: 05.22.19 Project number: 18042

Drawing:  
**A107**







# CITY OF JONESBORO, GEORGIA COUNCIL

## Agenda Item Summary

Agenda Item #  
-h

5.h

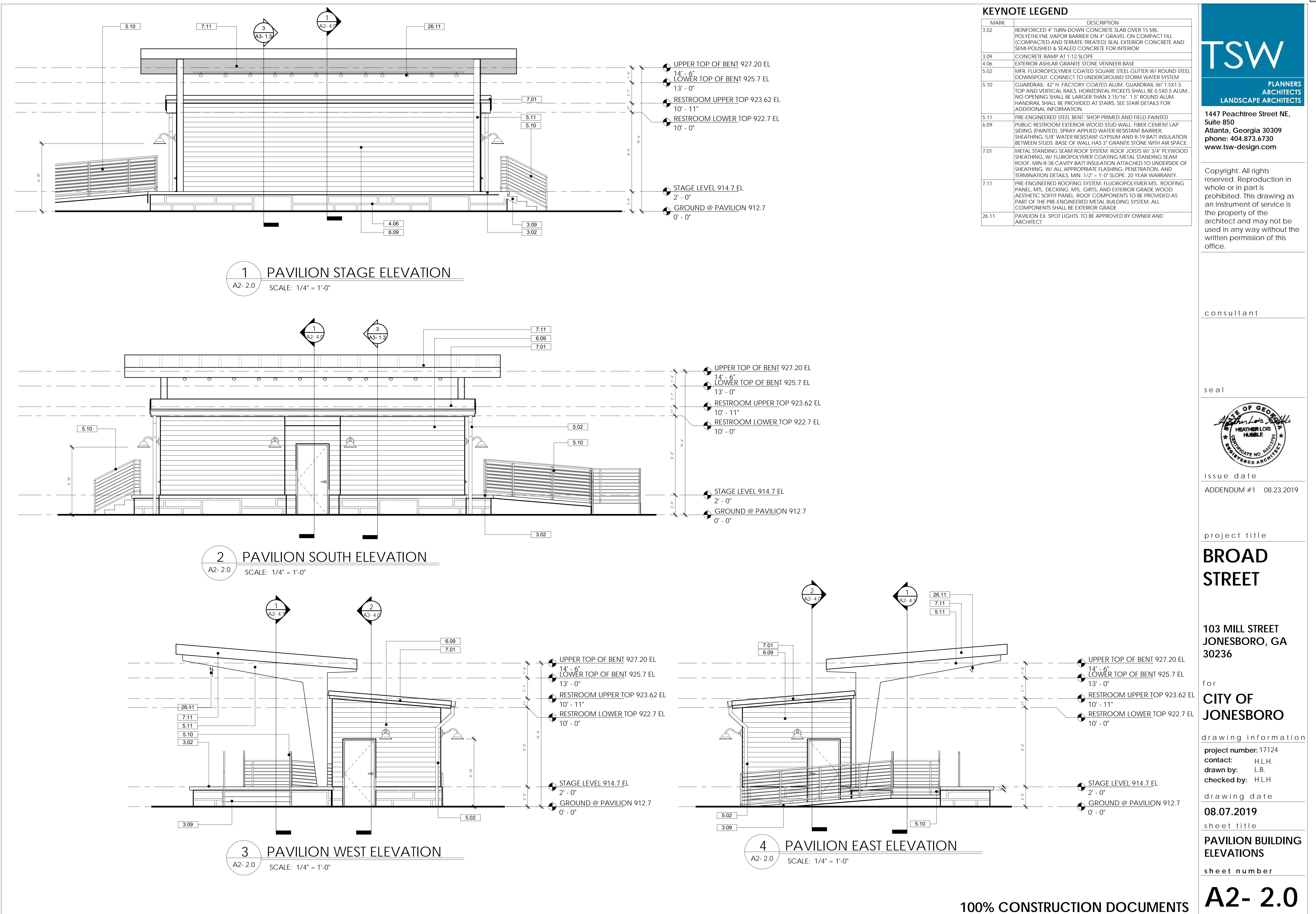
COUNCIL MEETING DATE  
September 4, 2019

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
<b>Requested Action</b> (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.) Commission to make a recommendation for the Firehouse Museum / Broad Street project - between West Mill Street, Broad Street, Riley Way, and Church Street; Parcel Nos. 13241D B005, 13241D B004, 13241D B003, 13241D B013, 13241D B007, 13241D B014, and 13241D B002 (portion).	
<b>Requirement for Board Action</b> (Cite specific Council policy, statute or code requirement) City Code Section 86-102 Historic District Standards	
<b>Is this Item Goal Related?</b> (If yes, describe how this action meets the specific Board Focus Area or Goal) Yes Economic Development, Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation	
Summary & Background	(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)  <b>Approval of exterior modifications and streetscape;</b> As most of the Commission is probably aware, the City is actively preparing for the renovation of the City-owned Firehouse Museum on West Mill Street to be renovated into a restaurant and brew pub. In addition, adjacent Broad Street will be renovated with pavers, new sidewalks, street trees, benches, etc. Behind the Museum and next to Broad Street, a large gathering space, outdoor plaza, and outdoor eating area will be provided. The goal of this entire project is to provide a meaningful public space for citizens and visitors that will continue to spark the revitalization of the Downtown District.
The plans and elevations are almost totally finalized. To be consistent and transparent, the City is putting the project through the same review processes and hearings as any private citizen's application. However, the project is not so much of a historic preservation project as it is a revitalization of a run-down area, which will complement the other historical buildings in the area.	
Fiscal Impact	(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)  Public / Private Partnership
<b>Exhibits Attached</b> (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)  • 2019.08.30_BROAD ST ELEVATIONS	
<b>Staff Recommendation</b> (Type Name, Title, Agency and Phone) <b>Approval</b>	

### FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date September, 4, 2019	
Signature	City Clerk's Office	







# CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary

Agenda Item #

5.i  
- i

COUNCIL MEETING DATE  
September 4, 2019

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make recommendation on a proposed Text Amendment, revisions to Chapter 86, Article VII – Architectural Style and Scale.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

Text Amendment Recommendation

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

**Agency recommendation – Approval of revisions to Article VII;** With previous reviews by the Design Review Commission and the Historic Preservation Commission on house and other building designs, the current standards of Article VII – Architectural Style and Scale have been problematic. More specifically, the adherence of the Article to just seven approved house styles, while a good standard for judging construction in designated historic areas, has the potential to hamper creativity and diversity in new housing stock, whether it be part of new subdivisions or new infill development within existing neighborhoods.

The revisions to the Article seek to provide more “fluid” criteria for the Design Review Commission and the Historic Preservation Commission to use on a case by case basis when considering the context of new residential construction, whether it be single-family or multi-family.

The City Attorney has reviewed the changes and had no further input.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

No cost associated.

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Article VII - REV

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval

## FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

September, 4, 2019

Signature

City Clerk's Office

## ARTICLE VII. - ARCHITECTURAL STYLE AND SCALE

### Sec. 86-221. - Purpose.

The City of Jonesboro seeks to preserve ~~the its historic character of this historic community while, at the same time, continues to provide a diverse mix of new, quality housing stock to adequately address the needs of its future population.~~ Such character and quality is are largely derived from ~~aesthetically appropriate~~ architectural styles, ~~quality~~ materials, ~~proper~~ scale and ~~proper~~ building siting. This ordinance ~~classifies these architectural styles and materials typical of Jonesboro establishes review criteria~~ for the purpose of guiding new residential construction and renovations ~~of existing residences, ranging from major subdivisions to individual-lot infill developments in established neighborhoods.~~ Building scale and siting on the lot also influence the character of a neighborhood. ~~Also, this article establishes standards employed in controlling to regulate the scale and bulk of a structure residence, involving maximum floor area and maximum height, and these standards that control regulate siting, the position of the structure residence on the lot concern (building setbacks).~~ This article is established to regulate each of these ~~parameters criteria and standards to~~ ensure that the integrity ~~and character~~ of Jonesboro's established neighborhoods ~~is are~~ preserved, to ~~maintain ensure~~ high quality ~~in new~~ construction and to protect real estate values.

(Ord. No. 05-08, § 2(7.01), 8-15-05, **Am. Ord. 09-09-19**)

### Sec. 86-222. - Applicability.

~~These review criteria and standards shall apply to all new single-family and multi-family detached-residential construction, and as well as major renovations (excluding necessary repairs) to residences in the City of Jonesboro. Qualifying construction shall be subject to review by the Design Review Commission and, where applicable, the Historic Preservation Commission. Historic residential properties within the historic residential overlay shall conform to the architectural styles of this section and the provision of the overlay. Historic properties outside the overlay are encouraged to comply with these styles and the guidelines of the overlay.~~

(Ord. No. 05-08, § 2(7.02), 8-15-05)

### Sec. 86-223. - ~~Jonesboro architectural styles influencing residential construction. Criteria for Design Review Commission and Historic Preservation Commission review and recommendation.~~

~~In reviewing the architectural style and scale of qualifying residential construction, the Design Review Commission and the Historic Preservation Commission shall consider the following criteria in making a recommendation:~~

1. Is the proposed residential construction in an established neighborhood or visible from an established neighborhood?
2. Is it aesthetically compatible with adjacent and nearby properties?
3. Does it utilize quality building materials?
4. Are the building materials proposed equal or superior to building materials on adjacent and nearby properties?
5. Does it improve the appearance of any existing buildings or structures on the subject property?
6. Will its appearance cause substantial detriment to use and enjoyment of adjacent and nearby properties?
7. What is the construction cost? What are the values of adjacent and nearby properties?
8. Will the construction serve as a catalyst for revitalization in the nearby community or would it be too much of an aberration?
9. Does the proposed construction align with the intent of the City of Jonesboro Future Development Map?

Also, the Historic Preservation Commission, in addition to using the standards of *The Secretary of the Interior's Standards for the Treatment of Historic Properties* and the design standards of the City of Jonesboro's Historic Districts and Historic Residential Overlay, shall consider the following criteria in making a recommendation on applicable properties:

1. Does the proposed residential construction concern a property or a structure that is on the National Historic Register?
2. Does the proposed residential construction concern a property or a structure that is considered "historically contributing" to the City?
3. Is the proposed residential construction adjacent to or visible from a property or a structure that is on the National Historic Register?
4. Is the proposed residential construction adjacent to or visible from a property or a structure that is considered "historically contributing" to the City?

5. Is the structure to be built or renovated part of the seven historic house styles within the City of Jonesboro – Folk Victorian, Colonial Revival, English Vernacular, Greek Revival, Queen Anne, Bungalow, or Gabled El?
6. Is the historic structure on the subject property already in a dilapidated condition? Will the renovation of the structure enhance its future usability?

~~New single family detached construction shall be guided by the architectural styles of this section. Seven traditional dwelling types, or architectural styles, are found throughout Jonesboro's historic neighborhoods and comprise the styles the city deems appropriate for new construction. These seven dwelling types are as follows:~~

~~Folk Victorian~~

~~Colonial Revival~~

~~English Vernacular~~

~~Greek Revival~~

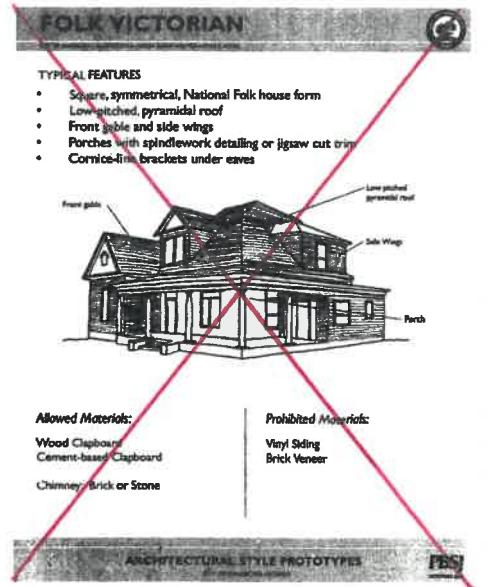
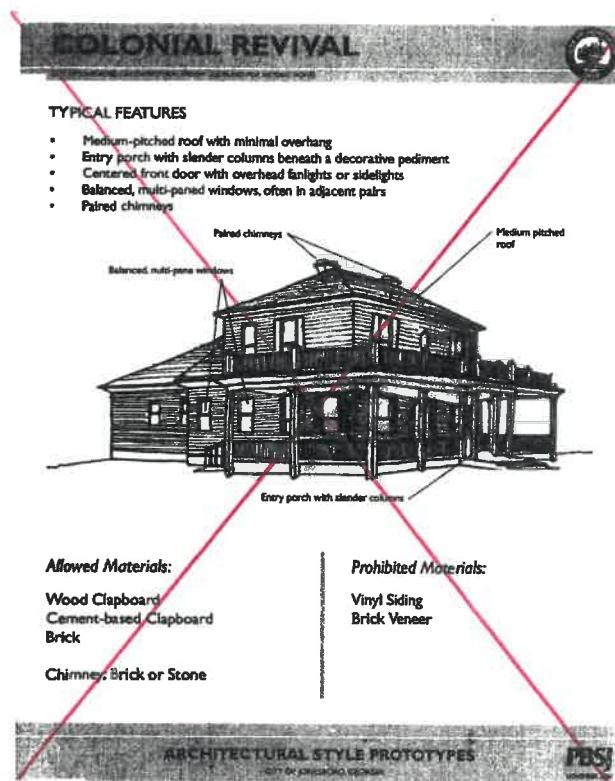
~~Queen Anne~~

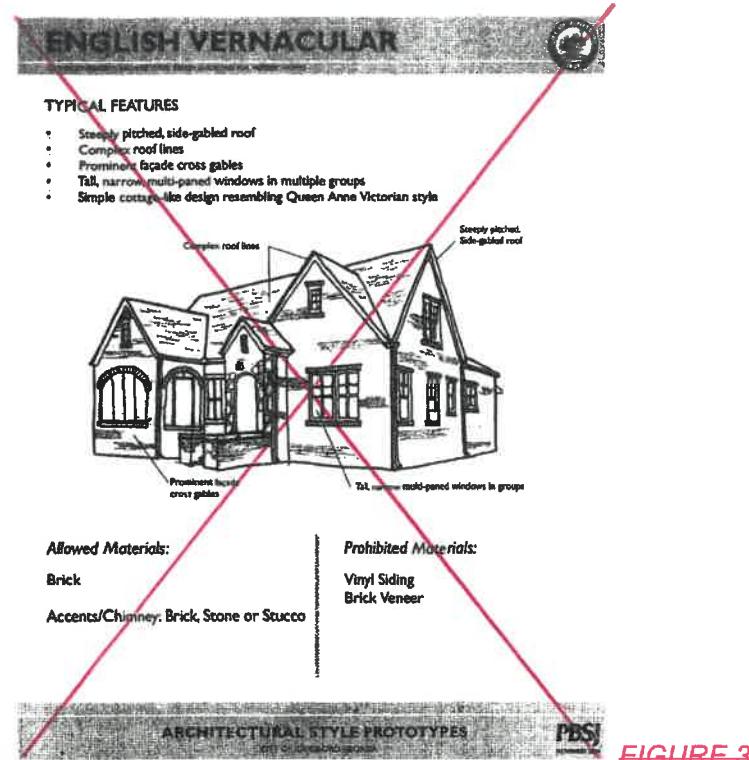
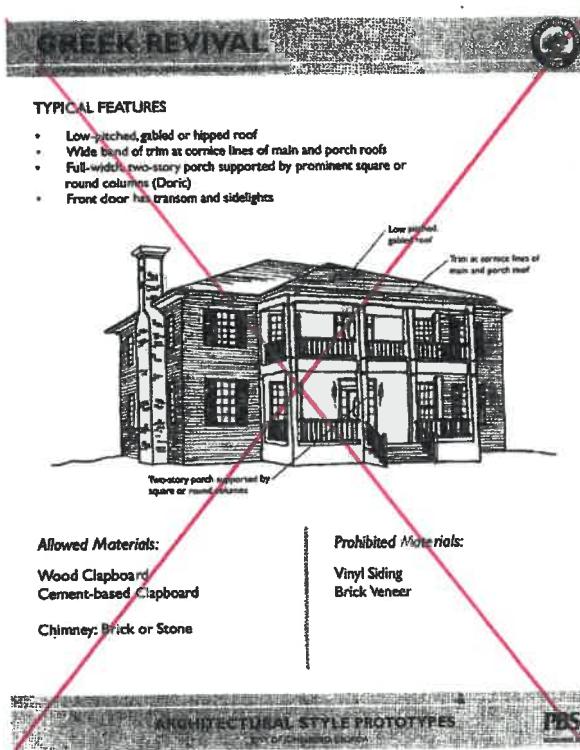
~~Bungalow~~

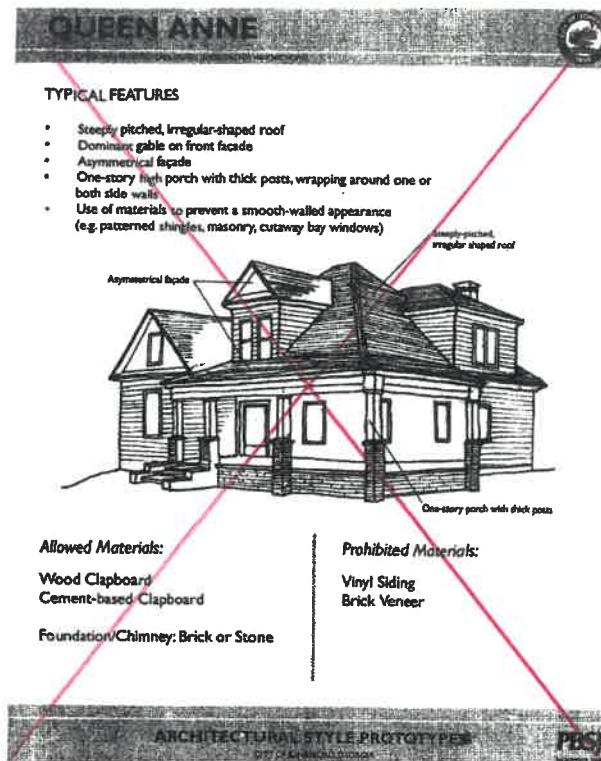
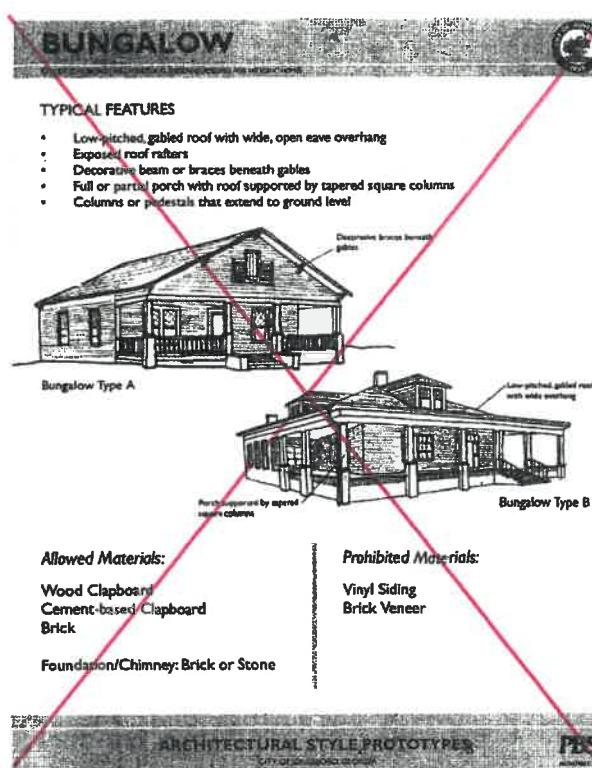
~~Gabled El~~

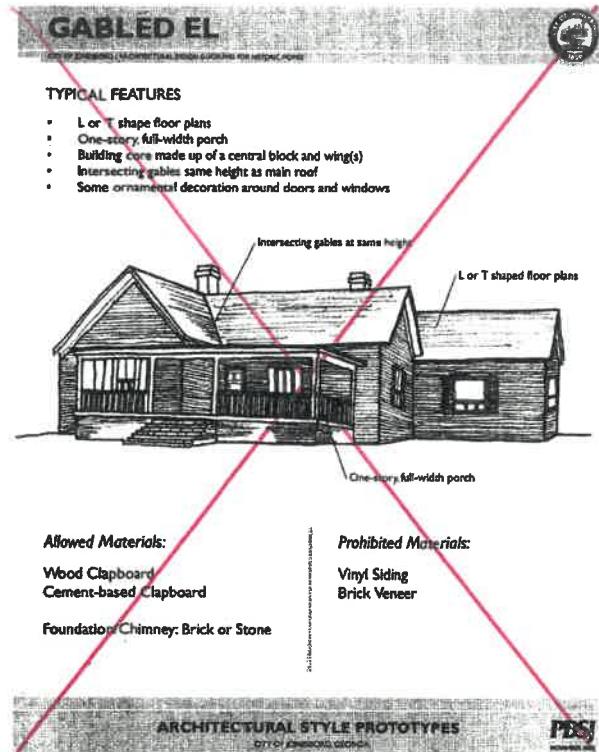
~~These styles, or elements of these styles, shall guide new construction to ensure that residential development reflects the city's architectural history and complements the established character of Jonesboro's neighborhoods. New construction need not mimic the prescribed styles in their entirety; however, distinctive elements shall be reflected in proposed construction. Figures 1 through 7 illustrate each style and their predominant features. Ranch style houses have been excluded from the acceptable styles for new construction; however, new construction proposed in an established neighborhood comprised primarily of single story, Ranch style houses may reflect one of the seven acceptable styles or the Ranch style.~~

~~Suggested housing styles:~~

FIGURE 1FIGURE 2

FIGURE 3FIGURE 4

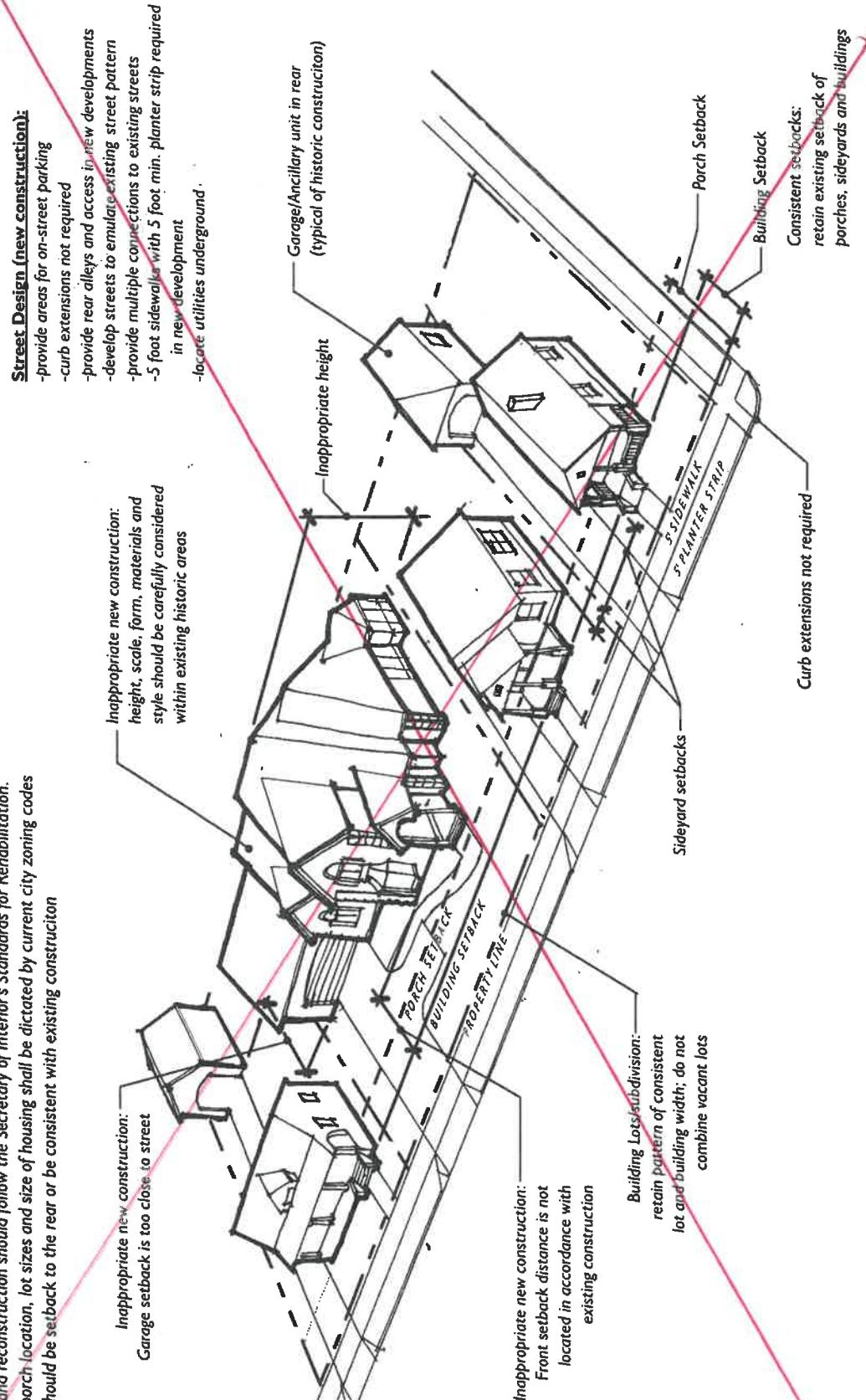
FIGURE 5FIGURE 6

FIGURE 7

(Ord. No. 05-08, § 2(7.03), 8-15-05)

### Jonesboro Residential Historic District Design Guidelines

- All major renovation projects will be subject to the approval of the Historic Preservation Commission
- Additions and reconstruction should follow the Secretary of Interior's Standards for Rehabilitation.
- Setback, porch location, lot sizes and size of housing shall be dictated by current city zoning codes
- Garages should be setback to the rear or be consistent with existing construction



GUIDELINES/NEW S.F. RES. DEV.

(Ord. No. 05-08, § 2(7.04), 8-15-05)

**Sec. 86-224. - Floor area – infill development.**

**The** maximum heated floor area of "infill" development shall not exceed 150 percent of the average heated floor area of single-family detached dwellings **already** located on the same street for a distance of 600 feet in either direction and situated on both frontages. Such development shall be defined as construction or renovation of single-family detached dwellings on lots of record or newly-platted lots within a subdivision served by a new street or streets where a majority of the land located within a 600-foot radius of such subdivision is developed in such single-family use.

**The minimum floor area required for an infill development dwelling may be reduced to an area consistent with the floor area of the majority of dwellings on developed lots within four lots adjoining the lot in question, including lots across public streets, provided such lots are located within the same zoning district.**

- **Sec. 86-225. - Maximum building height – infill development.**

The maximum building height for infill development shall be determined by the maximum building height of single-family detached dwellings **already** located on the same street for a distance of 600 feet in either direction. That is, infill development in neighborhoods characterized by single-story dwellings shall also be single story, and so on.

(Ord. No. 05-08, § 2(7.05), 8-15-05)

- **Sec. 86-226. - Consistent building setbacks – infill development.**

In cases where the front yard setback of single-family detached dwellings on the two adjoining lots having frontage on the same street is less than that required in the zoning district, the average setback of the four dwellings shall be used to determine the setback applicable to the lot proposed for infill construction. In no event shall the front yard setback be less than ten feet as measured from the front property boundary.

(Ord. No. 05-08, § 2(7.06), 8-15-05)

- **Sec. 86-227. - Building exterior – all construction.**

All residential and commercial construction shall be brick, concrete stucco, stone, cementitious siding, wood or similar, durable architectural materials. **Vinyl siding construction on new homes, after the adopted date of this revised Ordinance, is prohibited. may be permitted in residential applications, only, provided the grade of vinyl meets or exceeds the Standard Specification for Rigid PVC Siding (ASTM D-3679). All manufacturers' recommendations concerning vinyl siding installation must be closely followed. Damaged vinyl siding on existing**

homes may be replaced, with a grade of vinyl that is equal or superior to the grade of vinyl already on the home.

Vinyl siding is **also** prohibited in the H-1 and H-2 Historic districts and the Historic **Residential Overlay**. Owners of structures within these districts or the overlay having vinyl siding are not required to replace such siding; however, renovation of or addition to any structure having a construction cost exceeding 50 percent of the assessed market value shall comply with this section. That is, the use of vinyl on the structure being renovated or the addition shall be prohibited.

Synthetic stucco may also be permitted, provided the materials and installation fully comply with the standards of this section. "Super" brick, split-faced block, concrete masonry units, cinder blocks and textured block are prohibited with the exception of use in foundation construction. Materials found to be other than durable construction products are specifically prohibited.

(Ord. No. 05-08, § 2(7.07), 8-15-05)

- **Sec. 86-228. - Front porches required.**

All residential construction shall feature a front porch having dimensions appropriate to the scale of the dwelling and consistent with the chosen architectural style. **An unenclosed porch, paved terrace or deck may project into a yard a maximum distance of 50 percent of the required yard. Enclosure of front porches shall be prohibited without compensating construction of a replacement porch of equal or greater dimension.**

(Ord. No. 05-08, § 2(7.08), 8-15-05)

- **Sec. 86-229. - Placement of garages.**

Attached garages shall feature side or rear entry access. Where lot width on a lot of record prevents such access, garages shall be recessed a minimum horizontal distance of four feet. **The enclosure of attached garages (but not carports) shall be prohibited without compensating construction of a replacement garage of equal or greater dimension. Replacement garages may be attached or detached.**

(Ord. No. 05-08, § 2(7.09), 8-15-05)

### **Sec. 86-230. – Minimum lot size – infill development.**

The minimum lot size required for a residential building lot in sections of the city in which the majority of surrounding land has been developed may be reduced to an area equal to the average size of developed building lots within a 600-foot radius, provided such lots and land proposed for subdivision are located within an R-2 or R-4 zoning district.

### **Sec. 86-231. – Ordinary projections.**

**Every part of a required yard shall be open to the sky except as authorized elsewhere in this section. Ordinary projection of sills, belt courses, cornices and ornamental features may project a maximum distance of 18 inches into a required yard.**

## **Sec. 86-232. – Accessory buildings.**

No accessory building shall exceed the height of the principal dwelling in any residential district, nor shall the combined total area of all accessory buildings on a lot exceed the larger of 800 square feet in area or 25 percent of the floor area of the principal dwelling. Calculation of floor area shall not include basement areas. All accessory buildings shall be set back a minimum of 100 percent of the front yard setback for the district; however, no accessory building other than a detached garage may be located between the principal dwelling and the public right-of-way. A minimum side yard and rear yard setback of five feet shall apply to accessory building located a distance greater than 20 feet from the principal dwelling; otherwise the building setbacks for the principal dwelling shall apply to the accessory building. All accessory structures established on the street side of a corner lot and located a distance equal to or less than the dimension of the required side yard for principal dwellings in the zoning district in which the lot is situated shall be screened through the installation of landscaping or stockade-type fence. Such screening shall comply with provisions of article XV of this chapter.

The exterior finishes and color of all accessory structures shall be identical to the exterior finish and color of the principal dwelling on which the accessory structures are located. For brick construction, only the characteristics of the trim work shall apply to the accessory buildings.

## **Sec. 86-233. – No building elevation to exceed courthouse.**

No building shall be erected that would exceed the elevation of the Clayton County Courthouse. Buildings having a height greater than that of the courthouse may be approved, provided that the site elevation will permit such construction to remain below the highest point of the courthouse.

## **Sec. 86-234. – Height limit exceptions.**

Height limits established in this chapter pertaining to residentially or non-residentially zoned property shall not apply to church spires, belfries, cupolas and domes not intended for human occupancy; monuments, chimneys, smokestacks, water towers, transmission towers, flag poles, radio and television towers, masts, aerials and similar structures. Bulkheads, elevator penthouses, water tanks and heating and air conditioning units shall also be exempt, provided that such structures shall not cover more than 25 percent of the total roof area of the building on which such structures are located.

City council may issue conditional height permit that increases the height limit of a building on a lot in any zoning district, provided:

- (1) The property owner has applied for a conditional height permit and submitted plans and information identifying the type of development proposed, the maximum proposed structure height, and details of proposed development which guarantee accessibility for firefighting equipment throughout construction and thereafter, including noncombustible stairs and standpipes with water under adequate pressure and flow to every floor.

**(2) A determination has been made that the proposed development is consistent with the city's comprehensive plan, and that the proposed development is of such character as to be an asset to the immediately surrounding neighborhood.**

**(3) The proposed development will not unduly restrict light and air to surrounding properties nor violate any transitional height plane controls established in this chapter for the protection of residential development.**

**(4) The proposed development conforms to all other standards of the zoning district.**

**(5) The side yard, front yard, and rear setbacks shall meet the particular district's requirements as described below:**

**The front, side and rear yard setbacks shall comply with the standards of the respective zoning district and conform to the following schedule:**

- **Front yard. The front yard shall be increased one foot for every two feet of height above 35 feet.**
- **Side yard. The side yard shall be increased one foot for every one foot of height above 35 feet.**
- **Rear yard. The rear yard shall be increased one foot for every two feet of height above 35 feet.**

- **Secs. 86-235—86-240. - Reserved.**