



DESIGN REVIEW COMMISSION

April 7, 2021

MEETING AGENDA:

- I. CALL TO ORDER**
- II. APPROVAL OF AGENDA**
- III. APPROVAL OF MINUTES**
- IV. OLD BUSINESS - NONE**
- V. NEW BUSINESS - ACTION ITEMS**
 - a. Commission to make a recommendation for Showtime Roadside Services – 226 North McDonough Street; Parcel No. 13240D A016; New accessory building and sign panels for business in Historic District.
 - b. Commission to make a recommendation for Mexican Restaurant – 106 South Main Street; Parcel No. 13241D C003; Exterior renovation to existing building in Historic District; Certificate of Appropriateness renewal
 - c. Commission to make a recommendation for Pregnancy Care Center – 158 South Main Street; Parcel No. 13241D E007; Replacement sign panel for office in Historic District
 - d. Commission to make a recommendation for J & K Atlanta Partnership – 8274 Tara Boulevard; Parcel No. 13239D A002; Sign panel for new commercial business.
 - e. Commission to make a recommendation for Residence – 145 College Street; Parcel No. 13241C D011; Replacement accessory building in Historic Residential Overlay
 - f. Commission to make a recommendation for Jamrock South – 265 Jonesboro Road; Parcel No. 12048A D001; Replacement sign panel for existing restaurant
- VI. ADJOURNMENT**



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

5.a

- a

COUNCIL MEETING DATE

April 7, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make a recommendation for Showtime Roadside Services – 226 North McDonough Street; Parcel No. 13240D A016; New accessory building and sign panels for business in Historic District.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-270 Accessory Building Standards; Sec. 86-103 Historic District Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of Certificate of Appropriateness application; A dispatch office has operated at 226 North McDonough Street and applied for a permit and a Certificate of Appropriateness for a 12 foot by 20-foot (240 square feet) prefabricated, accessory storage building in the rear yard of the building. There are no other accessory buildings on the property, although there are three accessory buildings on the adjacent property. The property is zoned H-2 Historic District, which requires a Certificate of Appropriateness for new structures, per Sec. 86-103 (e). The property is 0.31 acres. There is a residence at the rear of the property.

Section 86-270 gives standards for accessory buildings in the City:

No accessory building shall exceed the height of the principal dwelling in any residential district, nor shall the combined total area of all accessory buildings on a lot exceed the larger of 800 square feet in area or 25 percent of the floor area of the principal dwelling. Calculation of floor area shall not include basement areas. All accessory buildings shall be set back a minimum of 100 percent of the front yard setback for the district; however, no accessory building other than a detached garage may be located between the principal dwelling and the public right-of-way. A minimum side yard and rear yard setback of five feet shall apply to accessory building located a distance greater than 20 feet from the principal dwelling; otherwise, the building setbacks for the principal dwelling shall apply to the accessory building.

All accessory structures established on the street side of a corner lot and located a distance equal to or less than the dimension of the required side yard for principal dwellings in the zoning district in which the lot is situated shall be screened through the installation of landscaping or stockade-type fence. Such screening shall comply with provisions of article XV of this chapter.

The exterior finishes and color of all accessory structures shall be identical to the exterior finish and color of the principal dwelling on which the accessory structures are located. For brick construction, only the characteristics of the trim work shall apply to the accessory buildings.

No accessory structure shall be located upon a lot until construction of the principal building has been completed and a certificate of occupancy has been issued.

No plumbing beyond a wash sink shall be permitted in an accessory structure.

The number of individual structures accessory to a residential use shall be controlled by the following schedule:

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

April, 7, 2021

Signature

City Clerk's Office

Lot Size	Number of Structures
Up to 1 acre	1
Above 1 acre	2

NOTE: This schedule provides for the indicated number of structures and one detached garage.

Staff response: The proposed storage building is only 240 square-feet, well below the maximum. It will be fully behind the front setback line, but it needs to be field verified that it is at least 5 feet off of the side property line and 20 feet off of the building. It will have no sinks or other features. The main building is a red brick with light-colored trim, and the pre-fabricated accessory building will feature tan-colored siding with light colored trim, and a metal roof and door. Currently, it will be the only accessory building on the property.

Section 86-103 gives further standards for accessory buildings in the H-2 Historic District:

e. Accessory structures.

1. Historic accessory structures, or outbuildings, shall be maintained in accordance with guidelines for dwellings in the district.

2. New accessory structures (including but not limited to carports, garages, and storage sheds) shall be located behind the facade line of the dwelling.

3. The design, scale, placement, and materials of new structures within public view shall be compatible with those of the dwelling.

Staff response: The proposed accessory building complies with these standards, being in the rear yard but will not be readily within public view (off of North McDonough Street). It is not feasible to have a pre-fabricated accessory building be made of brick. The accessory building materials are not deemed to be incompatible with the main building.

Also, in Section 86-103, we have the following:

k. Walks and drives.

1. Historic walks and drives shall be maintained.

2. New walks and drives shall use traditional placement and materials that are appropriate to the dwelling and to the district. *The use of gravel is prohibited.*

3. Parking shall be located to the rear of the dwelling or to the side behind the facade line of the dwelling.

Staff response: While the recently refurbished parking area is located in the rear yard, it is composed of gravel. The Historic Preservation Commission will need to discuss whether this parking area should now be upgraded to concrete or asphalt.

Regarding the signs, they are proposing to replace the existing ground sign panel along North McDonough Street, install a new sign on the front gable of the building, and install a wall sign on the interior of the building.

1. The wall sign in the interior of the building does not require a permit or review.
2. The replacement ground sign panels will fill the exact sign framework, which will not change size, height, or location. The sign is proposed to be internally illuminated, which is not allowed in the Historic District. External lighting can be provided to shine at the panel.

The wall sign is not proposed to be illuminated. It is made of aluminum with painted letters, and is

approximately 48 square feet in area, 4.3% of the front façade of the building. (Below 10%) It is also below 150 square-foot maximum. It is not considered a roof sign.

5.a

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Permit Application
- Historic Application
- Accessory Design
- Site Pictures
- Site Plan
- New Signs
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval



City of Jonesboro

124 North Avenue
Jonesboro, GA 30236
(770) 478-3800 • Fax (770) 478-3775

Building Permit Application

Minimum Fee \$100.00

BL# _____ County _____

Date 3-10-21
Permit No. 097

Application is hereby made according to the laws and ordinances of Jonesboro for a permit to erect, alter, and/or use a structure as described herein or shown in accompanying plans and specifications, to be located as shown on plot plan and, if granted, will conform to all laws and ordinances regulating same.

Address <u>226 N McDonough St</u>					Project/Subdivision:				
City <u>Jonesboro</u>		State <u>GA</u>		Zip <u>30236</u>		LL:	District:	Zoning:	
Lot Dimensions	F:	D:	R:	Acres:	Lot:	Block:	Plan#		
Purpose of Permit: <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Demolition - Repair <input type="checkbox"/> Remodel <input type="checkbox"/> Demolition - Demolish <input type="checkbox"/> Other					Describe Use of Construction		Size of Structure <u>12</u> x <u>20</u>		
Structure Type: <input type="checkbox"/> Residential (1, 2, 3, 4) <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Fee Simple <input type="checkbox"/> Condo <input type="checkbox"/> Sign-Attached <input type="checkbox"/> Sign-Free <input type="checkbox"/> Swimming Pool <input checked="" type="checkbox"/> Storage Bldg. <input type="checkbox"/> Other _____									
Foundation: <input checked="" type="checkbox"/> Slab <input type="checkbox"/> Crawl Space <input type="checkbox"/> Basement		Heated Area: Main _____ Upper _____ Lower _____ Other _____ Total _____							
Unfinished Area		Carport		Garage		Total Area			
No. Stories		Height		No. Units		No. Rooms		No. Bedrooms	No. Baths
Sewage: <input type="checkbox"/> Public <input type="checkbox"/> Septic Tank		Georgia Power		Cooling: <input type="checkbox"/> Gas <input type="checkbox"/> Electric		Heating: <input type="checkbox"/> Gas <input type="checkbox"/> Electric		Fireplace: <input type="checkbox"/> Prefab <input type="checkbox"/> Masonry	
Exterior Finish Material <u>Paintwood siding</u>					Estimated Construction Cost <u>5000</u>				
Land Owner					Contractor				
Address <u>226 N McDonough St</u>					Address				
City <u>Jonesboro</u>		State <u>GA</u>		Zip <u>30236</u>		City		State	Zip
Telephone <u>(478) 891-8527</u>		Other <u>(678) 844-8444</u>		Telephone		/Other			

MP Initial I hereby certify that the above permitted structure shall be built in accordance with the 1992 Georgia State Energy Code for Buildings. This code regulates the design, erection, construction, alteration and renovation of buildings. Compliance is mandatory.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulating construction or the performance of construction.

Date 3/9/21 Printed Name: Natori Nabney Signature: LN

NOTICE: Separate permits are required for electrical, plumbing, heating, ventilation, air conditioning or prefab fireplaces. This permit becomes null and void if work authorized is not commenced within six (6) months or if work is suspended or abandoned for a period of six months at anytime after it is begun. Proper permits must be obtained before work is begun or fees shall be doubled.

Do not complete the following – Office Use Only

Building – Sq. Ft. _____	x .20 = _____	TEMPORARY POLE (#) _____	\$30.00 _____	Fireplace (#) _____	x 26.25 = _____
Electrical _____	x .035 = _____			Garbage Disposal (#) _____	x 12.50 = _____
Plumbing _____	x .035 = _____			Low Voltage (Minimum) _____	x 50.00 = _____
HVAC _____	x .035 = _____				
SBCCI \$ _____		Temp # _____		Date <u>3-10-21</u>	

F/P: ☐ Yes ☐ No Approved by: _____ Input by: _____ Permit Cost: _____ C.O. Fee _____ Total Fee 100
Issued by: _____ Payment Amt: _____ Payment Type ☐ Cash ☐ Check

Original - File

Yellow - Tax Assessor

Pink - Inspector

Golden Rod - Applicant

Packet Pg. 5

Attachment: Permit Application (1849 : 226 North McDonough Street)



CITY OF JONESBORO

124 North Avenue
Jonesboro, GA 30236
www.jonesboroga.com

BUILDING PERMIT APPLICATION SCOPE OF WORK

Name: The Magnate Group Date: _____
Address: 226 N McDonough St Jonesboro GA 30231

Rooms work is to take place in:

- | | | |
|--------------------------------------|---|---|
| <input type="checkbox"/> Basement | <input type="checkbox"/> Living Room | <input type="checkbox"/> Bedroom 3 |
| <input type="checkbox"/> Kitchen | <input type="checkbox"/> Master Bedroom | <input type="checkbox"/> Bedroom 4 |
| <input type="checkbox"/> Bathroom | <input type="checkbox"/> Bedroom 1 | <input type="checkbox"/> Exterior |
| <input type="checkbox"/> Master Bath | <input type="checkbox"/> Bedroom 2 | <input type="checkbox"/> Other <u>N/A</u> |

Electrical and Mechanical

- | | |
|--|---|
| <input type="checkbox"/> New or upgrade of electric service | <input type="checkbox"/> Adding or replacing electric circuits |
| <input type="checkbox"/> Installing smoke detectors | <input type="checkbox"/> Adding or relocating receptacles or switches |
| <input type="checkbox"/> Installing new furnace | <input type="checkbox"/> Installing new AC condenser |
| <input type="checkbox"/> Installing new fireplace or heating stove | <input type="checkbox"/> New chimney or vent |
| <input type="checkbox"/> Installing new bathroom exhaust fan | <input type="checkbox"/> Installing or replacing range hood |
| <input type="checkbox"/> Other: <u>N/A</u> | |

Framing

- | | |
|--|---|
| <input type="checkbox"/> New deck, porch, or stairs | <input type="checkbox"/> Roofing (Replacing decking and shingles) |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Installing or relocating load bearing walls |
| <input type="checkbox"/> Detached garage, carport, or storage building | <input type="checkbox"/> Altering or relocating existing window/doors |
| <input type="checkbox"/> Replacing deck, porch, stairs or railing | <input type="checkbox"/> Sheathing |
| <input type="checkbox"/> New attached garage or carport | <input type="checkbox"/> Installing new drywall |
| <input type="checkbox"/> New pool, spa or hot tub | <input type="checkbox"/> Installing sunroom or other pre-manufactured |
| <input type="checkbox"/> Installing or relocating non-load bearing walls | <input type="checkbox"/> Other: <u>N/A</u> |
| <input type="checkbox"/> Replacing or repairing damaged: | |
| <input checked="" type="checkbox"/> Floor joist <input type="checkbox"/> Stud <input type="checkbox"/> Beam <input type="checkbox"/> Header <input type="checkbox"/> Ceiling Joist <input type="checkbox"/> Rafters or Trusses | |

Plumbing

- | | |
|--|--|
| <input type="checkbox"/> Installing or replacing water heater | <input type="checkbox"/> Relocating existing plumbing fixtures |
| <input type="checkbox"/> Installing new water or DWV piping | <input type="checkbox"/> Installing or replacing gas piping |
| <input type="checkbox"/> Replacing existing water or DWV piping | <input type="checkbox"/> Installing new plumbing fixtures |
| <input type="checkbox"/> Installing or replacing backflow device | <input type="checkbox"/> Installing new sump pump |
| <input type="checkbox"/> Other: <u>N/A</u> | |

Additional Information

Driftwood urethane siding w/ almond trim and light stone metal roof

Attachment: Permit Application (1849 : 226 North McDonough Street)



CITY OF JONESBORO

124 North Avenue
Jonesboro, Georgia 30236
www.jonesboroga.com

JONESBORO HISTORIC PRESERVATION COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The Jonesboro Historic Preservation Commission or J.H.P.C. is tasked with ensuring the Historic District's Preservation and Standards are met according to the City of Jonesboro Codes and Ordinances. This application and approval thereof does not constitute an approval to begin construction. It is a review of Chapter 86-Zoning, Section 86-102 (H-1) Historic District and Section 86-103 (H-2) Historic District. Once the applicant meets Historic District Code, the process of approval of plans, land disturbance, and other compliance measures must be met. Please contact the Jonesboro City Hall (770) 478-3800 and speak with the City Clerk for further information.

Property Information:

Address: 220 N McDonough St Jonesboro GA 30230
Owner: Charlotte Cody

Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall to obtain permissible document.

Applicant Information:

Applicant Name: Natori Dabney
Mailing Address: 220 N McDonough St Jonesboro
Email Address: natori@shoutimepodside Phone: (678) 698-844
services.com

Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Application Fee \$75.00

PROJECT INFORMATION

Type of Project (Check all that apply)

Construction

- ☐ New building
- ☒ Additional building
- ☐ Minor Exterior Change
- ☐ Major Building Restoration, Rehabilitation, or Remodeling

Site Changes

- ☐ Parking area(s), Driveway(s), or Walkway(s)
- ☐ Fence(s) or Wall (s)
- ☐ Sign(s)
- ☐ Mechanical System(s)
- ☐ Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

Demolition or Relocation

- ☐ Primary Building
- ☐ Outbuilding
- ☐ Site Feature

APPLICATION REQUIREMENTS

Applicants must include support materials as noted to be considered (i.e. plans, schematics, images, dimensions, surrounding structures). Incomplete applications will not be reviewed.

APPLICATION DEADLINE & REPRESENTATION

Applications must be delivered to the Jonesboro City Hall at least eighteen (18) days preceding the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis. Applicant's attendance is required: A presentation with visuals and detailed information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

REQUIRED MATERIALS

The following materials are required for a complete application. Incomplete applications WILL NOT be reviewed.

A. New Buildings and Additions:

- i. Description of Project
- ii. Site Plan
- iii. Architectural Elevations
- iv. Floor Plan
- v. Description of Materials
- vi. Photographs of Proposed Site

B. Major Restoration, Rehabilitation, or Remodeling:

- i. Architectural Elevations or Sketches
- ii. Description of Project
- iii. Description of Materials
- iv. Photographs of Proposed Site

C. Minor Exterior Changes:

- i. Description of Project
- ii. Description of Materials
- iii. Photographs of Existing Building

D. Site Changes: Parking, Driveways & Walkways:

- i. Site Plan or Sketch of Site
- ii. Description of Materials
- iii. Photographs of Site

E. Site Changes: Fences, Walls, and other Site Features:

- i. Site Plan or Sketch of Site
- ii. Architectural Elevations or Sketches
- iii. Description of Materials
- iv. Photographs of Site

F. Site Changes: Signs:

- i. Architectural Elevation or Sketch (For signs located on the building)
- ii. Site Plan or Sketch of Site (For free standing signs)
- iii. Description of Materials and Illumination

PROJECT AND MATERIALS DESCRIPTION

project: storage shed /
portable Garage

Materials include

driftwood urethane
siding w/almond trim
and light stone metal
ROOF (12W X 20L) garage

• The garage comes standard w/
tough 12' on center 2x6 floor joists
Set into notched skids. One 9'
roll up door, one 2x3 window
and one 36' solid 6-panel
pre-hung door.

(Add Additional Sheets as Necessary)

Natori Palmer

PRINT NAME

SIGNATURE

DATE

FEE AMOUNT

_____(Application Received By)

Property Owner's Authorization Form

The Undersigned below, or as attached, is the owner of the property which is the subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of a rezoning of the property.

Name of Owner:

Charlotte Cook

Mailing Address:

226 N McDonough St Jonesboro GA 302

Telephone Number:

(6) 995-4886

Address of Subject Property:

226 N McDonough St Jonesboro
GA 30236

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Clayton County, Georgia.

Owner Signature:

[Signature]

Date: 3/11/2021

Notary Public

I hereby certify that Katori Monet Dalney signed his or her name to the foregoing application stating to me that he or she knew and understood all statements and answers made therein, and other oath actually administered by me, has sworn or affirmed, that said statements and answers are true and correct.

This 11th Day of March, 2021

Danyelle N Rutherford

NOTARY PUBLIC

[place notary seal here]

Clayton County, GEORGIA

My Commission Expires

10/05/2022

Notary Public Signature:

[Signature]

Attachment: Historic Application (1849 : 226 North McDonough Street)

Portable Garage

DRIFTWOOD URETHANE SIDING
WITH ALMOND TRIM AND LIGHT
STONE METAL ROOF

- The Garage comes standard with tough 12" on center 2x6 floor joists set into notched skids.
- One 9' roll up door.
- One 2x3 window.
- One 36" solid 6-panel pre-hung door.



TAUPE SIDING WITH WHITE TRIM AND
ALAMO WHITE METAL ROOF



HONEY GOLD TREATED SIDING
WITH BLACK METAL ROOF



LIGHT GRAY SIDING WITH DARK GRAY
TRIM AND CHARCOAL METAL ROOF



MAHOGONY URETHANE SIDING
WITH WHITE TRIM AND ALAMO
WHITE METAL ROOF

METAL (HORIZONTAL)
NOT AVAILABLE

Cottage Shed

- The Cottage Shed comes standard with a cottage style roof for maximum head room.
- Comes standard with 8' walls (exterior measurement)
- 10' x 16' and larger Cottage Sheds come with two 3x3 windows with screens and double shop built doors. Windows and doors may vary on smaller buildings.



LIGHT STONE SIDING WITH HUNTER
GREEN TRIM AND METAL ROOF



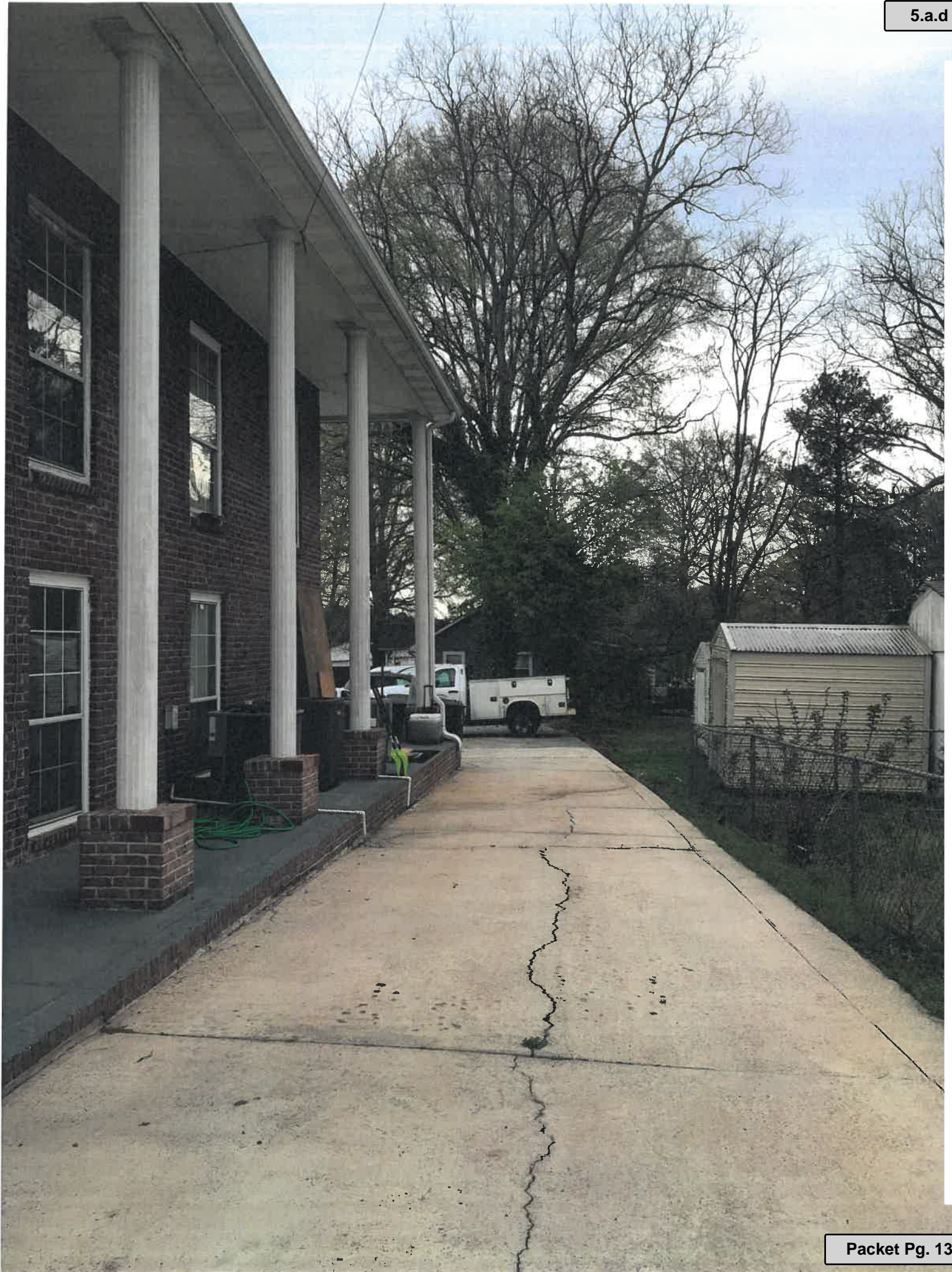
SEMINOLE CEDAR TREATED SIDING
WITH RUSTIC RED METAL ROOF



HUNTER GREEN SIDING WITH
WHITE TRIM AND BLACK SHINGLES



8' WIDE W/ SIDING
HONEY GOLD TREATED SIDING
WITH GREEN METAL ROOF



Attachment: Site Pictures (1849 : 226 North McDonough Street)







Attachment: Site Pictures (1849 : 226 North McDonough Street)



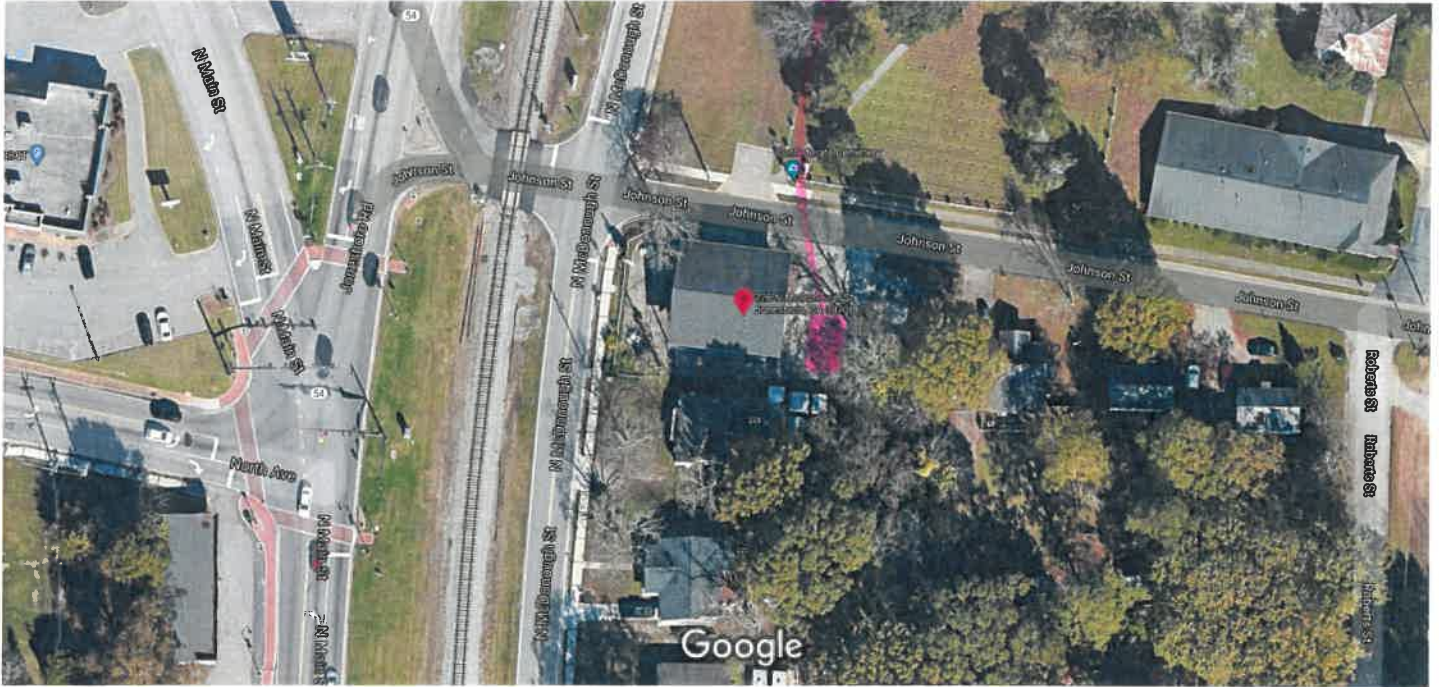
Attachment: Site Pictures (1849 : 226 North McDonough Street)



Attachment: Site Pictures (1849 : 226 North McDonough Street)

Google Maps 226 N McDonough St

Proposed Accessory



Imagery ©2021 Maxar Technologies, Map data ©2021 20 ft



226 N McDonough St
Building

- Directions
- Save
- Nearby
- Send to your phone
- Share

226 N McDonough St, Jonesboro, GA 30236

Photos

Attachment: Site Plan (1849 : 226 North McDonough Street)



- Scope of Work
- 1) Remove current cut vinyl lettering
 - 2) Install new cut lettering
 - 3) LED retrofit



Attachment: New Signs (1849 : 226 North McDonough Street)

2221 Faulkner Road NE
Atlanta, GA 30324
(404) 909 - 8255

keypointsigns.com
design@keypointsigns.com
sales@keypointsigns.com



THIS DRAWING IS THE INTELLECTUAL PROPERTY OF KEYPOINT SIGNS & GRAPHICS AND MAY NOT BE COPIED, REPRODUCED OR FORWARDED TO OTHERS BY ANY MEANS WITHOUT OUR EXPRESS PERMISSION.

WE RESERVE THE RIGHT TO BE THE SOLE FABRICATOR OF ANY SIGN WE HAVE DESIGNED.

Quote# 3012

Mar 25, 2021



Aluminum Backer
custom aluminum frame
1” thick 3D HDU lettering and logo
Custom painted letters.
Digital printed logos



Attachment: New Signs (1849 : 226 North McDonough Street)

2221 Faulkner Road NE
Atlanta, GA 30324
(404) 909 - 8255

keypointsigns.com
design@keypointsigns.com
sales@keypointsigns.com



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FABRICATOR OF ANY SIGN WE HAVE
DESIGNED.

Quote# 3012

Mar 25, 2021



Flush Mountec
0.25" thick Acryli



Attachment: New Signs (1849 : 226 North McDonough Street)

2221 Faulkner Road NE
Atlanta, GA 30324
(404) 909 - 8255

keypointsigns.com
design@keypointsigns.com
sales@keypointsigns.com



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Quote# 3012

Mar 25, 2021



MEMORANDUM

To: Natori Dabney
226 North McDonough Street
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 1, 2021

Re: Notification of Request for Design Review Commission – Accessory Building
and Sign Panels; 226 North McDonough Street; Parcel No. 13240D A016

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of an accessory building and sign panels for the property located at 226 North McDonough Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, April 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (1849 : 226 North McDonough Street)



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.b

- b

COUNCIL MEETING DATE
April 7, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make a recommendation for Mexican Restaurant – 106 South Main Street; Parcel No. 13241D C003; Exterior renovation to existing building in Historic District; Certificate of Appropriateness renewal

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-102; Historic District (H-1)

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of renewal of Certificate of Appropriateness**

Per the owner, the exterior design is not changing from what was approved in February 2020.

From February 2020:

The former law at 106 South Main Street (Ferguson building) has been undergoing extensive interior renovations for its new owner, in order to convert it into a two-story Mexican restaurant with a rooftop bar. The property is zoned H-1 (Historic District) and is in the Downtown District on the block known informally as “lawyers’ row.” While this specific building unit is not on the Historic Register, it is a contributing building to the Historic District.

Proposed changes to front exterior

- New window and door orientation
- New awnings
- New signage on parapet
- Possible stack stone over existing brick on first floor
- Iron railing to be kept
- Portion of rooftop garden staircase enclosure will be visible over parapet

Proposed changes to rear exterior

- New window and door orientation
- Possible brick façade to match front brick
- New decks for first and second floors
- Outdoor seating area

Sec. 86-102. – H-1 Historic District regulations.

(a) Purpose of district. The purpose of the H-1 historic district is to provide for **retail and residential uses** that benefit from close proximity to each other and that will **generate pedestrian activity in the city's traditional downtown core**. Development and redevelopment in this district are intended to **preserve and enhance the historic character of the area while promoting the goals of the Livable Centers Initiative Study**.

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

April, 7, 2021

Signature

City Clerk's Office

(g) Delay in demolition of historic buildings. Following designation of an historic district, no building or structure thereon shall be demolished or otherwise removed until the owner thereof shall have given the historic preservation commission via the director of downtown development's office 120 days' written notice of his proposed action. Upon receiving written notice, the city shall erect a sign on the property to indicate that the building or structure is proposed for demolition. During such 120-day period the historic preservation commission may negotiate with the owner and with any other parties in an effort to find a means of preserving the building. Should the historic preservation commission find that the building involved has no particular historic significance or value toward maintaining the character of the district, it may waive all or part of such 120-day period and authorize earlier demolition or removal. In making a determination of a building's particular historic significance, the historic preservation commission shall refer to the most recent inventory of historic buildings kept on file at the office of downtown development. *Not being demolished in whole, just enhanced.*

(h) Permitted uses. The following general use classifications are permitted; refer to section 86-204, Table of uses allowed by zoning district, for actual permitted uses:

(1) Retail uses;

(2) Commercial services;

(3) Arts, entertainment and recreation uses;

(4) Office uses;

(5) Residential uses.

Uses similar to the above listed permitted uses, as determined by the city manager, may be permitted unless listed elsewhere as a prohibited use.

(j) Development standards.

(1) Minimum lot area: None *No changes to the property lines.*

(2) Minimum lot width: 20 feet *No changes to the property lines.*

(3) Setbacks:

Front: Minimum and maximum setbacks shall be zero. *No addition to the front facade.*

Side: Minimum and maximum setbacks shall be zero, except on corner lots, whereby the setback shall be no less than 20 feet to accommodate pedestrian amenities. Such amenities are required on corner lots and include decorative planters, benches, landscaping, patios, knee walls, or other architectural features that are compatible with the historic and pedestrian character of the district. The proposed number, type, and arrangement of amenities shall be reviewed and approved by the director of downtown development. *No addition to the side of building.*

Rear: Zero, except when abutting a residential zoning district where there is no intervening right-of-way, the setback is 20 feet. *There will be a cooler and decking added to the back. However, the rear does not abut a residential district.*

(4) Maximum height: Three stories or 35 feet. *Existing building conforms. Two stories, plus a "third story" rooftop bar.*

(5) Minimum height: Two stories. *Existing building conforms.*

(6) Minimum floor area: None for non-office uses; minimum floor area for office uses shall be 1,000 square feet. *n/a*

(7) Maximum floor area: 3,500 square feet. *The existing floor area is 4160, but the footprint will not be added to or subtracted from.*

(k) Existing uses. Any use or structure existing at the time of adoption of this ordinance that would no longer be

permitted or be in compliance with the current regulations shall be allowed to continue operation as is but shall be classified as a non-conforming use and subject to all applicable requirements of article X of this chapter. *n/a*

5.b

(l) Design standards. In order to preserve the physical character of existing historic structures in the H-1 historic district, every effort shall be made to *adapt the property in a manner that complements the historic character of the area when making exterior alterations to the existing building, site, or environment.*

(1) Existing structures. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, or site shall be retained.

a. Storefront design.

1. Historic details, doors, window configurations and dimensions, and entryways may not be removed or altered. *On the front, the second-floor quantity and configuration of the door and windows will remain the same. The first-floor configuration of the door will reverse, due to the requirements of the new floor plan. The amount of windows will stay mostly the same. Staff does not believe that the new door configuration will adversely impact the building aesthetic. On the rear of the building, the enhancements will result in a door and window configuration, but, visually, can only be seen from Broad Street, which is itself going through an extensive reconfiguration.*

2. The addition of architectural details where none existed before is discouraged. *There are no proposed major architectural details on the front, except for stacked stone proposed to cover up the brick on the first-floor façade. This feature is not recommended for approval.*

3. The use of shutters, residential doors, or the replacement of original display windows with smaller-scale window components or wall surface is prohibited. *While the window configuration will be different on the front and the rear, the replacement windows are larger.*

4. Obscuring original transom windows with plywood, paint, or other materials is prohibited. *Will not happen.*

5. New windows on side and rear elevations shall be compatible with historic windows in terms of material, size and design. *No windows present on the sides. The new rear windows will be compatible with the new modern windows at the adjacent Broad Street restaurant.*

6. Storm windows must match the color of the window frame and obscure the window as little as possible. *n/a*

7. Infilling or painting windows is prohibited. *Will not happen.*

8. Replacing windows with tinted or highly reflective glass is prohibited. All windows must be transparent. *Will not happen.*

b. Roof.

1. The existing pitch and shape of the roof as seen from public view shall be maintained, although changes hidden by existing parapets, or changes that would restore the roof to its original design, may be allowed. *Will remain the same. Rooftop staircase enclosure will be partially visible over parapet in front.*

2. Replacement of existing roofing materials that can be seen from the public view shall be made with the same type of roofing materials. *Will comply. Roof needs repair.*

3. Ornamental roof features shall be retained. *No ornamental roof features present.*

c. Building materials.

1. Historic building materials shall be maintained. *Stacked stone proposed to cover up the brick on the first-floor façade. This feature is not recommended for approval.*

2. Unpainted brick facades shall remain unpainted. *Will comply.*

3. Damaged exterior materials shall be treated with materials that will not cause further deterioration, including the use of a historic mortar mix of an appropriate color when repointing brick. *No damage.*

d. Awnings.

1. Awnings shall match the shape and dimensions of the door opening or window and shall fit the frame of the window or doorway without covering architectural details. *Will comply.*

2. Canvas awnings are preferred; Metal, rigid plastic, shingle, and internally lit awnings are generally prohibited. *Will confirm new awning material.*

3. The use of a continuous awning across two buildings to join them as one business is prohibited. *n/a*

e. Building color.

1. Color shades and patterns shall complement the color schemes that are found in the district. Reference materials on appropriate color palettes will be available for review at the office of downtown development at city hall. *Will comply. Recommended that existing brick remain the same color.*

2. The use of neon colors is prohibited. *Will comply.*

f. Lighting. Lighting fixtures and wattage shall be compatible with the historic character of the district. *Will comply.*

g. Fences and walls.

1. Historic fences and retaining walls shall be maintained and not removed. *n/a*

2. New fences and screening walls shall be constructed of traditional materials, typically wood for fencing and brick, stone or granite for walls. *n/a*

h. Equipment.

1. Mechanical systems shall be placed behind the building and out of public view; any systems that must be located on the roof shall be placed to the rear of the roof. *Will comply.*

2. Utility meters and security lighting shall be placed unobtrusively. *Will comply.*

3. Dumpsters shall be placed to the rear of buildings and shall be screened from public view by fencing or walls utilizing traditional materials (see subsection (1)g.2 above. *Will comply.*

i. Parking.

1. Off-street parking areas, not located in a parking deck, shall be placed to the rear of buildings and screened from public view by a wall by fencing, or by vegetation comprised of a minimum eight-foot high landscape buffer of trees and shrubbery or a minimum four-foot high continuous hedge. *Existing parking spaces for this and adjacent buildings has always been in the front. There will not be room for parking in the rear with the Broad Street renovation.*

2. New surface parking, not located in a parking deck, is encouraged to use concrete or stone pavers; asphalt is also permitted in the district. *No new parking proposed.*

(2) Additions. Alterations to existing properties are permitted when such alteration and additions do not destroy significant architectural or historical material. The design shall be compatible with the size, scale, color, material and character of the property and downtown area. *The only addition will be a cooler area at rear of the building, which will match the exterior of the rest of the building.*

a. Additions shall be placed away from public view on the rear elevation for buildings having frontage on Main and McDonough Streets, or on a rear or side elevation for all other buildings in the district. *Will comply.*

b. The form, orientation, and symmetry of the original structure shall be maintained. *Will comply.*

c. Matching or similar materials, elements (e.g., windows), and ornamentation as those found on the original structure shall be used. *Will comply.*

In summary, the renovation to the building, both interior and exterior, even though it will involve some reconfiguration of the exterior, will be an enhancement, and not a detriment, to the building and adjacent structures in the Downtown District. Since the original submittal of this design, the concept of modern loft apartments over 128 and 136 South Main Street buildings have been approved.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Application
- Exterior Facades
- LA COCINA - PROPOSED EXTERIOR MATERIALS
- Certificate of Appropriateness - 106 South Main Street Restaurant
- Acceptance Letter

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval



CITY OF JONESBORO

124 North Avenue
Jonesboro, Georgia 30236
www.jonesboroga.com

JONESBORO HISTORIC PRESERVATION COMMISSION

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The Jonesboro Historic Preservation Commission or J.H.P.C. is tasked with insuring the Historic District's Preservation and standards are met according to the City of Jonesboro Codes and Ordinances. This application and approval thereof does not constitute an approval to begin construction. It is a review of Chapter 86 – Zoning, Section 86-102 (H-1) Historic District and Section 86-103 (H-2) Historic District. Once the applicants meets Historic District Code, the process of approval of plans, land disturbance, and other compliance measures must be met. Please contact the Jonesboro City Hall (770) 478-3800 and speak with the City Clerk for further information.

Property Information:

Address:

106 South Main St.

Owner:

CARLOS SOLER

Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.

Applicant Information:

Applicant Name:

Summit Design Build, LLC.

Mailing Address:

8255 CLUBHOUSE WAY JONESBORO, GA. 30236

Email Address:

BRIAN@SUMMITDESIGN
ANDBUILD.COM

Telephone:

678-463-0120

- Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Residential - \$35.00

Commercial: \$50.00

Sign: \$10.00

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS |

PROJECT INFORMATION

Type of Project (Check all that apply)

Construction

- ☐ New building
- ☐ Additional building
- ☐ Minor Exterior Change
- ☒ Major Building Restoration, Rehabilitation, or Remodeling

Site Changes

- ☐ Parking area(s), Driveway(s), or Walkway(s)
- ☒ Fence(s) or Wall (s)
- ☒ Sign(s)
- ☒ Mechanical System(s)
- ☐ Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

Demolition or Relocation

- ☒ Primary Building (INTERIOR ONLY)
- ☐ Outbuilding
- ☐ Site Feature

APPLICATION REQUIREMENTS

Applicants must include support materials as noted to be considered (i.e. plans, schematics, images, dimensions, surrounding structures). Incomplete applications will not be reviewed.

APPLICATION DEADLINE & REPRESENTATION

Applications must be delivered to the Jonesboro City Hall at least eighteen (18) days preceding the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis. Applicant's attendance is required: A presentation with visuals and detailed information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

REQUIRED MATERIALS

The following materials are required for a complete application. Incomplete applications WILL NOT be reviewed.

A. New Buildings and Additions:

- i. Description of Project
- ii. Site Plan
- iii. Architectural Elevations
- iv. Floor Plan
- v. Description of Materials
- vi. Photographs of Proposed Site

B. Major Restoration, Rehabilitation, or Remodeling:

- i. Architectural Elevations or Sketches
- ii. Description of Project
- iii. Description of Materials
- iv. Photographs of Proposed Site

C. Minor Exterior Changes:

- i. Description of Project
- ii. Description of Materials
- iii. Photographs of Existing Building

D. Site Changes: Parking, Driveways & Walkways:

- i. Site Plan or Sketch of Site
- ii. Description of Materials
- iii. Photographs of Site

E. Site Changes: Fences, Walls, and other Site Features:

- i. Site Plan or Sketch of Site
- ii. Architectural Elevations or Sketches
- iii. Description of Materials
- iv. Photographs of Site

F. Site Changes: Signs:

- i. Architectural Elevation or Sketch (For signs located on the building)
- ii. Site Plan or Sketch of Site (For free standing signs)
- iii. Description of Materials and Illumination

PROJECT AND MATERIALS DESCRIPTION

RENOVATING FRONT AND REAR OF EX. COMMERCIAL BUILDING.

— NEW WINDOW / DOOR ORIENTATION

— NEW AWNING

— NEW FRONT SIGNAGE

— NEW DECKS ON BACK

— ROOFTOP BAR AREA

(Add Additional Sheets as Necessary)

MARK E. JONES

PRINT NAME

2-5-20

DATE



SIGNATURE

\$75.00

FEE AMOUNT

_____(Application Received By)

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS |

Attachment: Application (1850 : 106 South Main Street)

Google Maps 131 S Main St



Image capture: Jun 2019 © 2020 Google

Jonesboro, Georgia



Street View



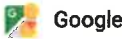
Attachment: Exterior Facades (1850 : 106 South Main Street)

Google Maps 130 Mill St

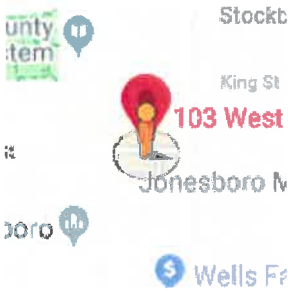


Image capture: Sep 2018 © 2020 Google

Jonesboro, Georgia



Street View



Attachment: Exterior Facades (1850 : 106 South Main Street)

Attachment: Exterior Facades (1850 : 106 South Main Street)



2020 Mountain Street East
Suite B
Durham, AL 35601
256.889.1840
james@glennhickland.com
www.glennhickland.com

CARLOS SOLER
A TENANT RENOVATION FIRM
106 & 108 SOUTH MAIN STREET
LEWISVILLE, TEXAS 75041



PROJECT INFO
PROJECT NUMBER

DATE 12-13-19

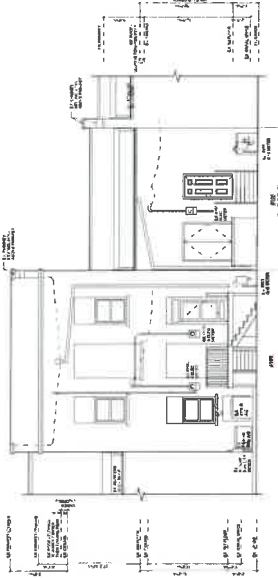
DATE	REMARKS
10.10.2010	10.10.2010

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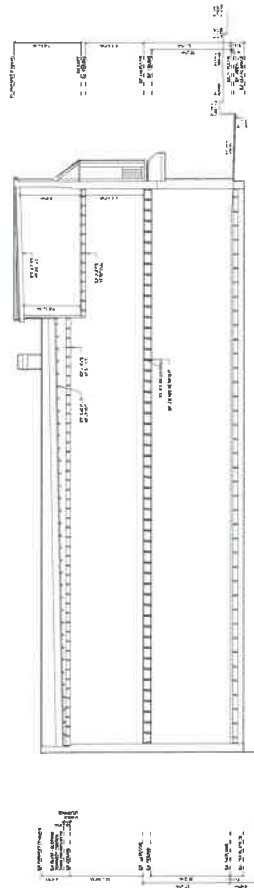
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A-400

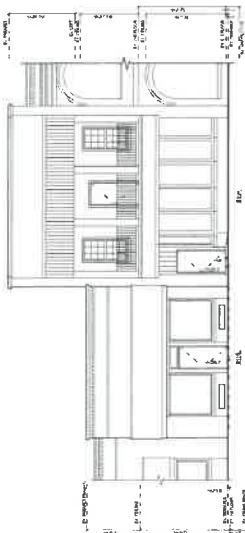
© 2010 Scholastic Architecture, LLC



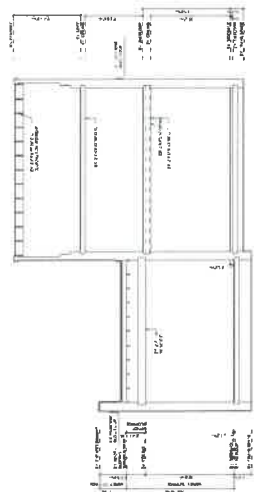
2 Existing Rear Elevation
SCALE: 1/8" = 1'-0"



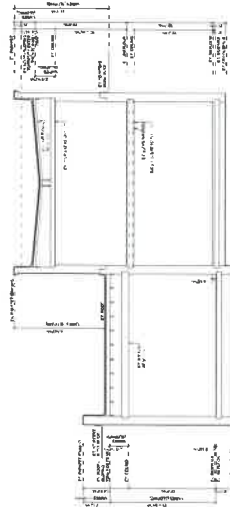
4 Existing Longitudinal Section



Existing Front Elevation
SCALE: 1/8" = 1'-0"



3 Existing Cross Section



5 Existing Cross Section

SCHOEL-MARKLAND
ARCHITECTURE



305 Markland Street East
Doraville, AL 35061
256.346.1540
jmarkland@schoelmarkland.com
www.schoelmarkland.com

A TENANT RENOVATION JOB
CARLOS SOLER
106 & 108 SOUTH MAIN STREET
JONASBORO, GA 30825

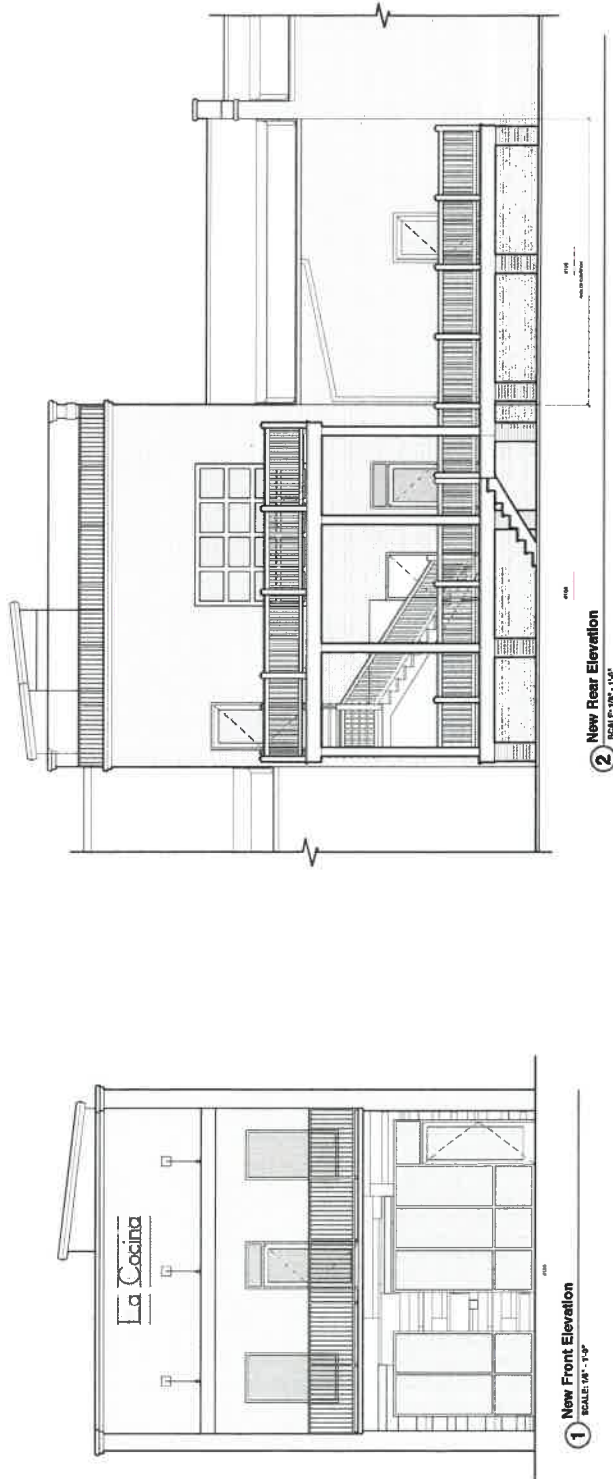


PROJECT INFO
PROJECT NUMBER:

DATE: 12-13-19

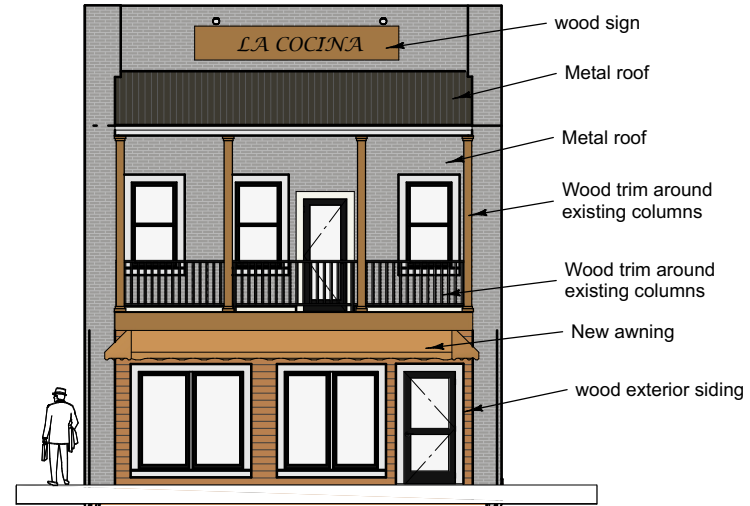
DATE	12-13-19
DESCRIPTION	
REV	DATE
Rev 1	12-13-19

SHEET NUMBER
A-401
© 2019 Schoel-Markland, LLC





① Front Elevation
1/8"=1'-0"



② Front Elevation Details
1/8"=1'-0"



③ Rear Elevation
1/8"=1'-0"



④ Rear Elevation Details
1/8"=1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**PROPOSED
EXTERIOR ELEVATIONS**

PROJECT DESCRIPTION:
LA COCINA
106 & 108 South Main St
Jhonesboro, GA 30236

DRAWINGS PROVIDED BY:
**INNOVA
Construction**

DATE:

2/14/2020

SCALE:

SHEET:

CERTIFICATE OF APPROPRIATENESS



City of Jonesboro
Historic Preservation Commission
124 North Avenue
Jonesboro, Georgia 30236



THIS DOCUMENT TO BE POSTED AT ALL TIMES

The City of Jonesboro Historic Preservation Commission in conforming with Sec. 42-28 of the Code of Ordinances for the City of Jonesboro, hereby grants permission for work to be performed on the premises listed in accordance with outline specification.

PREMISES: Restaurant

OWNER: Carlos Eduardo Soler

ADDRESS: 106 South Main Street

TYPE: Exterior Renovations in Historic District

HISTORIC PRESERVATION MEETING DATE: **FEBRUARY 17, 2020**

Work Approved:

Exterior renovations for proposed restaurant per elevations provided by Innova Construction dated 2/14/2020; Front brick shall remain unpainted if cohesion of all material styles can be achieved; Wood allowed on front exterior first floor and trim on second floor; Rear and side exteriors to be painted dark grey; Exterior siding shall remain majority brick; Use only metal awnings; Retain existing front railing; All new wood features shall be real wood and stained; Use gooseneck exterior lighting; Signage shall conform to Sign Ordinance.

Under penalty of law, I, the undersigned, assure that the work to be performed will be executed as specified under the terms of this Certificate. If it is determined that changes are necessary, I will apply for those modifications prior to the commencement of any work on those changes.

Signed: _____
Applicant

Approved: _____
Chairman, Betsy Wester
Historic Preservation Commission

Approved: _____
Zoning Administrator, David D. Allen
City of Jonesboro

Note: An additional permit may still be required. All work shall be in compliance with all Building Codes and Zoning Regulations. This Certificate shall become void unless construction is commenced within six months of the date of issuance.



MEMORANDUM

To: Carlos Soler
106 South Main Street
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 1, 2021

Re: Notification of Request for Design Review Commission – Exterior Renovation
for Restaurant; 106 South Main Street; Parcel No. 13241D C003

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of an exterior renovation for a restaurant for the property located at 106 South Main Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, April 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (1850 : 106 South Main Street)



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.c

- c

COUNCIL MEETING DATE
April 7, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make a recommendation for Pregnancy Care Center – 158 South Main Street; Parcel No. 13241D E007; Replacement sign panel for office in Historic District

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-489 and 86-490 – Sign Standards' Sec. 86-495 Historic District Sign Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of replacement sign panels; The Pregnancy Care Center has been at 158 South Main Street for many years. Recently, they applied for a sign permit at the property, requiring Design Review Commission and Historic Preservation Commission review. They intend to keep the existing posts in the same location and just update the panels with a fresher look.

The new sign panel is a double-sided panel, 32 square feet each side, mounted between the two existing wooden posts. The sign is right at 6 feet tall, and about 30 feet from the front of the building and an unknown distance from the right-of-way. No electronics or internal illumination are proposed. A ground level spotlight already illuminates the sign panel externally.

Sec. 86-489. - General regulations.

- (a) Messages. Any sign allowed under this article may contain any message, except those displaying any statement, word, character or illustration of an obscene nature.
- (b) Non-residential zoning districts. In non-residential zoning districts signs shall be permitted in the following combination of wall and ground signs subject to the provisions hereinafter stated:

- (1) Lot with one building, which building is currently occupied pursuant to a current and valid certificate of occupancy issued by the city.

- a. Combination of one wall sign and one ground sign, subject to the respective size limitations in section 86-490. In addition to section 86-490, each wall sign shall not exceed 7.5 percent of the exterior building facade, without an approved variance

Single building on multiple frontage lots are allowed a total of ten percent of the exterior building facade for wall signs, and may have one additional wall sign, and one additional ground sign (subject to the size limitations in section 86-490). When calculating their allowed square footage, buildings on multiple frontage lots shall base their calculations on the facade with the primary entrance and/or architectural features of the building. Otherwise, the facade used shall be that facade which faces the public road of the greatest capacity. The classification of streets in the thoroughfare plan shall be the basis for determining street capacity.

Sec. 86-490. - Regulated signs.

- (a) Ground signs, which are permanent, shall be permitted in non-residential zoning districts. **No ground sign shall have a height greater than six feet above normal grade, or a sign face area greater than 35 square feet (each**

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

April, 7, 2021

Signature

City Clerk's Office

side) for lots with a single building and 45 square feet (each side) for planned centers. No portion of a ground sign shall not be located within ten feet of a street right-of-way or within 50 feet of any other permanent sign, major structure or building. Changeable copy shall not exceed 33 percent of the area of the sign face. Ground signs are allowed only on lots upon which there is a building which is currently occupied pursuant to a current and valid certificate of occupancy issued by the city or which is currently being developed under an active building permit issued by the city.

The proposed sign complies with the panel size and height requirements. It is closer to the building than 50 feet (30 feet), and likely closer to the right-of-way line than 10 feet. However, as long as the posts remain in the same place and only the panels are replaced, the sign location is grandfathered. (The original sign design and location were approved by the City in 2014.)

Sec. 86-495. - Historic districts.

The purpose of this section is to ensure that signage in the historic district is harmonious in proportion, form, color, and materials to the character of said district. Visual relatedness is crucial to the goal of an integrated historic district, and signs play a key role in helping to preserve the historical district's sense of time and place, and to achieve the desired effect of charm and compatibility. No sign shall be erected, altered, restored or moved within the historic district until an application for a certificate of appropriateness as to exterior architectural features and signage has been reviewed and approved by the historic preservation commission and the design review commission. All proposed changes requiring a certificate of appropriateness shall comply with the applicable design standards in the 2005 zoning ordinance.

- (1) *Applicability. This section shall apply only to those structures and uses within the geographical boundaries of the historic districts, the H-1 and H-2 zoning districts.*
- (2) *Compatibility. As to signs, buildings, structures, and uses within the historic districts, when a provision of this section conflicts with any section in the balance of this article, the provision of this section shall control. Otherwise, to the extent reasonably possible, the provisions of this section shall be interpreted consistent with the provisions of the balance of this article.*
- (3) *Signage standards.*
 - a. *General. Signage shall complement the architectural details of the building and shall not violate or otherwise obscure the architecture of the building to which it is attached. Signs, lettering, or boxed graphics shall not cut across columns, cornices, windowsills, arches or balconies, nor extend above the roofline (except for parapets and mansards) of any building to which it is attached.*
 - a. *Lettering, size, and content. Letters can be painted or mounted directly on a signboard, storefront, wall or window, if in proportion to the storefront. Lots in the H-1 and H-2 historic districts are allowed the same amount of signage as lots outside of the H-1 and H-2 historic districts. In the H-1 and H-2 historic districts, canopy signs and hanging or suspended signs may be utilized. Provided, however, in no case may the total signage area exceed ten percent of the building face to which the sign is attached. Acceptable lettering materials include wood, stone, synthetic stone, metal, and acrylic. The overall design of all signage shall be compatible with the turn-of-the-century theme of the historic district.*
 - b. *Materials. Signs may be constructed of concrete, brick, wood, stone, metal, glass, or synthetic materials that have the same appearance of the aforementioned natural materials due to their finish. All materials shall be compatible with the building's architecture and should be colorfast and resistant to corrosion. Signs shall be professionally finished in accordance with the material selected, whether by sanding, painting, staining and/or sealing, with the edges of the sign framed out and/or sealed.*
 - c. *Lighting. All signs in the historic district, whether ground signs or wall signs, shall only be illuminated by an external light source, and through craftsmanship and materials, shall reflect the design aesthetics of the historic district.*
 - d. *Colors. The historic preservation commission and the design review commission shall consider the context of the surrounding area when reviewing the color of a proposed sign in the historic districts; however, the colors and logos of nationally and regionally recognized businesses shall not be prohibited.*
 - e. *Awning and canopy signs. Awnings or canopies over doors, entrances, windows or outside service areas are permitted in the H-1 historic district. Professionally applied forms, graphics, symbols, lettering, or other visual presentation may be incorporated into the awning or canopy valance/drop flap but are restricted to 20 percent of the awning field. Size of the signage shall be computed as for a wall sign. Signage pursuant to this subsection shall be included within the overall amount of signage allowed under section 86-489. Awnings or canopies shall clear sidewalks by seven feet in height, and project no more than six feet from the building. Canvas or synthetic look-alike canvas are the only materials permitted for awnings and canopies. Metal or vinyl may be approved for awnings or canopies if the overall design is consistent with the H-1 historic district's turn-of-the-century theme. Awnings or canopies may not be backlit. Metal awnings and canopies are preferred.*
 - f. *Hanging or suspended signs. Hanging, suspended, or projecting signs are permitted and shall clear sidewalks by seven feet in height, and project or drop no more than 36 inches from the building. Hanging or suspended signs should project or drop from a wall*

or roof at a 90-degree angle. Hanging or suspending signs over driveways, alleys, or parking areas is prohibited. Hanging, suspended, or projecting signs shall be limited to a maximum size of six square feet, and if double sided, shall be calculated as only one sign. One hanging, suspended, or projecting sign per business is permitted, and shall be calculated as part of the total signage area allowed under section 86-489. Attractive hardware for hanging is encouraged.

- g. Window signs. Interior window signs shall not exceed 25 percent of the total window area exposed to public view. Window signs shall not be included within the overall amount of signage allowed under section 86-489.
- h. Special events. Additional signage is permitted in the historic district under section 86-494, provided that all such additional signage conforms to the aesthetic standards of the historic district.
- i. Ground signs. Ground signs may hang or suspend from a horizontal support that is affixed to the ground by vertical post.
- j. A-frame signs. A-frame or "sandwich" signs are allowed at the rate of one per business or parcel. A-frame signs shall not obstruct pedestrian or vehicular routes.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Permit Application
- Historic Application
- Property Info
- New Sign
- Acceptance Letter

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval



CITY OF JONESBORO
 124 North Avenue
 Jonesboro, Georgia 30236
 City Hall: (770) 478-3800
 Fax: (770) 478-3775
 www.jonesboroga.com

SIGN PERMIT APPLICATION

ATTACH ADDITIONAL PAGES IF NECESSARY. ALL ATTACHMENTS MUST BE NUMBERED. INDICATE THE PAGE NUMBER OF ATTACHMENT IN THE SPACES PROVIDED FOR EACH RELEVANT ANSWER. USE A SEPARATE PAGE FOR EACH NECESSARY QUESTION/ANSWER ATTACHMENT.

ANY MISSTATEMENT OR CONCEALMENT OF FACT IN THIS APPLICATION SHALL BE GROUNDS FOR REVOCATION OF THE LICENSE ISSUED AND SHALL MAKE THE APPLICANT LIABLE TO PROSECUTION FOR PERJURY. PLEASE DO NOT LEAVE ANY AREAS UNANSWERED

APPLICATION FEE: **\$60.00** (Non-Refundable). The Sign Permit fee is an additional cost. The City of Jonesboro will calculate and advise fees due.

Administrative fee	(flat fee) \$60.00
Area of Sign 1-10ft ²	(flat fee) \$35.00
Area of Sign 11-25ft ²	(flat fee) \$60.00
Area of Sign 26-50ft ²	(flat fee) \$90.00
Area of Sign 51ft ² and greater	(flat fee) \$120.00
Temporary Signs	(flat fee for second permit) \$30.00
Two permits allowed per property per year. First is free and a flat fee is required for 2nd permit.	

Attachment: Permit Application (1851 : 158 South Main Street Sign)

Date of Application:

3/31/21

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$_____ will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

Description of Permit

Please check:

- ☐ New Sign
- ☒ Change to Existing Sign
- ☐ Ground Sign
- ☐ Window Sign
- ☐ Subdivision Sign
- ☐ Projecting Sign Wall Sign
- ☐ Entrance Sign
- ☐ Special Event Sign
- ☐ Other (describe below)

Property Owner or Applicant Information

Name: APPLICANT PREGNANCY CARE CENTER INC GAILA SPRINGER (DIA)Mailing Address: P.O. BOX 457City: JONESBORO State: GA. Zip: 30237-0457Phone: (Day) 770-477-1501 (Evening) N/A

Jonesboro Property Information

Existing Uses and Structures: PROVIDE ASSISTANCE TO CLIENTS THROUGH FREE PREGNANCY TEST, MATERIALS, EDUCATION & CLOTHES CLOSET
 Surrounding Uses and Structures: (See Official Zoning Map): BANK ON N. SIDE & PRIVATE RESIDENCE ON S. SIDE

Surrounding Zoning:

North: H-2 South: H-2 East: S. MAIN ST West: R-2

Property Address of Sign: 158 S. MAIN ST JONESBORO, GA

Complete dimensions and total area of the sign: 4' X 8' 32 SQ FT

What is the position of the sign in relation to nearby buildings/structures and other signs?

EXISTING SIGN IS 30' FROM S.E. CORNER OF PCC BUILDING

What is the position of the sign in relation to nearby buildings/structures and other signs?

What are the setbacks from right-of-ways, property lines and easements?

N/A

Name of person, firm, corporation or association erecting the sign is:

RELIABLE SIGNS McDONOUGH, GA.

Name of business/activity at the address where the sign is to be erected:

PREGNANCY CARE CENTER

Is this in a planned development?

NO

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

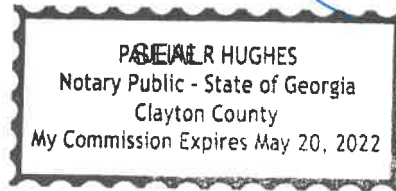
NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-740

I HEREBY CERTIFY THAT THE ABOVE INFORMATION AND ALL ATTACHED INFORMATION IS TRUE AND CORRECT:

Date: 3/31/2021

Signed: *Haila Sp*

Notary: *Pauline R. Hughes*



FOR OFFICE USE ONLY:

Date Received: ____/____/20____ Received By: _____

Fee Amount Enclosed: \$ _____

Date Approved: ____/____/20____

Date Denied ____/____/20____

Permit Issued ____/____/20____

Comment:



CITY OF JONESBORO

124 North Avenue
Jonesboro, Georgia 30236
www.jonesboro.ga.com

JONESBORO HISTORIC PRESERVATION COMMISSION

-APPLICATION FOR CERTIFICATE OF APPROPRIATENESS-

The Jonesboro Historic Preservation Commission or J.H.P.C. is tasked with insuring the Historic District's Preservation and standards are met according to the City of Jonesboro Codes and Ordinances. This application and approval thereof does not constitute an approval to begin construction. It is a review of Chapter 86 – Zoning, Section 86-102 (H-1) Historic District and Section 86-103 (H-2) Historic District. Once the applicants meets Historic District Code, the process of approval of plans, land disturbance, and other compliance measures must be met. Please contact the Jonesboro City Hall (770) 478-3800 and speak with the City Clerk for further information.

Property Information:Address: 158 S. MAIN ST. JONESBORO, GA 30236Owner: FIRST BAPTIST CHURCH OF JONESBORO

Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.

Applicant Information:Applicant Name: PREGNANCY CARE CENTER, INCMailing Address: P.O. BOX 457 JONESBORO, GA 30237-0457Email Address: PREGNANCYCARE95@BELLSOUTH.NET Telephone: 770-477-1501

- Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Residential - \$35.00Commercial: \$50.00Sign: \$10.00\$75⁰⁰

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS |

Attachment: Historic Application (1851 : 158 South Main Street Sign)

PROJECT INFORMATION

Type of Project (Check all that apply)

Construction

- ☐ New building
- ☐ Additional building
- ☐ Minor Exterior Change
- ☐ Major Building Restoration, Rehabilitation, or Remodeling

Site Changes

- ☐ Parking area(s), Driveway(s), or Walkway(s)
- ☐ Fence(s) or Wall (s)
- ☒ Sign(s) *REPLACE EXISTING FACE OF SIGN ONLY*
- ☐ Mechanical System(s)
- ☐ Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

Demolition or Relocation

- ☐ Primary Building
- ☐ Outbuilding
- ☐ Site Feature

APPLICATION REQUIREMENTS

Applicants must include support materials as noted to be considered (i.e. plans, schematics, images, dimensions, surrounding structures). Incomplete applications will not be reviewed.

APPLICATION DEADLINE & REPRESENTATION

Applications must be delivered to the Jonesboro City Hall at least eighteen (18) days preceding the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis. Applicant's attendance is required: A presentation with visuals and detailed information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS |

Attachment: Historic Application (1851 : 158 South Main Street Sign)

PROJECT AND MATERIALS DESCRIPTION

EXISTING FREE STANDING SIGN MOUNTED
ON 4"x4" POST WILL BE REPLACED WITH
NEW SIGN CONSTRUCTED OF THE SAME
MATERIAL AS EXISTING SIGN 10MIL CORRUGATED
PLASTIC AND MOUNTED ON EXISTING POST
(PICTURES OF EXISTING SIGN AND PDF FILE OF
NEW SIGN ATTACHED)

(Add Additional Sheets as Necessary)

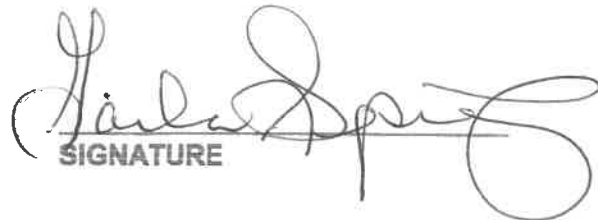
PREGNANCY CARE CENTER

GAILA SPRINGER (DIR)

PRINT NAME

3-30-2021

DATE



SIGNATURE

FEE AMOUNT

(Application Received By)

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS |

Attachment: Historic Application (1851 : 158 South Main Street Sign)

Property Owner Authorization Form

The Undersigned below, or as attached, is the owner of the property which is the subject of this application. The undersigned does duly authorize the applicant named below to act as applicant for issuance of this application.

Name of Owner: FIRST BAPTIST CHURCH OF JONESBORO

Mailing Address: P.O. BOX 773 JONESBORO, GA 30237

Telephone Number: 770-478-6710

Address of Subject Property: 158 S. MAIN ST JONESBORO, GA.

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Clayton County, Georgia.

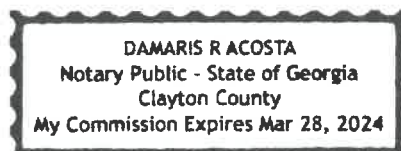
Owner Signature:  Date: 3.24.21

Notary Public

I hereby certify that Wes Agnew signed his or her name to the foregoing application stating to me that he or she knew and understood all statements and answers made therein, and other oath actually administered by me, has sworn or affirmed, that said statements and answers are true and correct.

This 26 Day of March, 2021

[Place notary seal here]

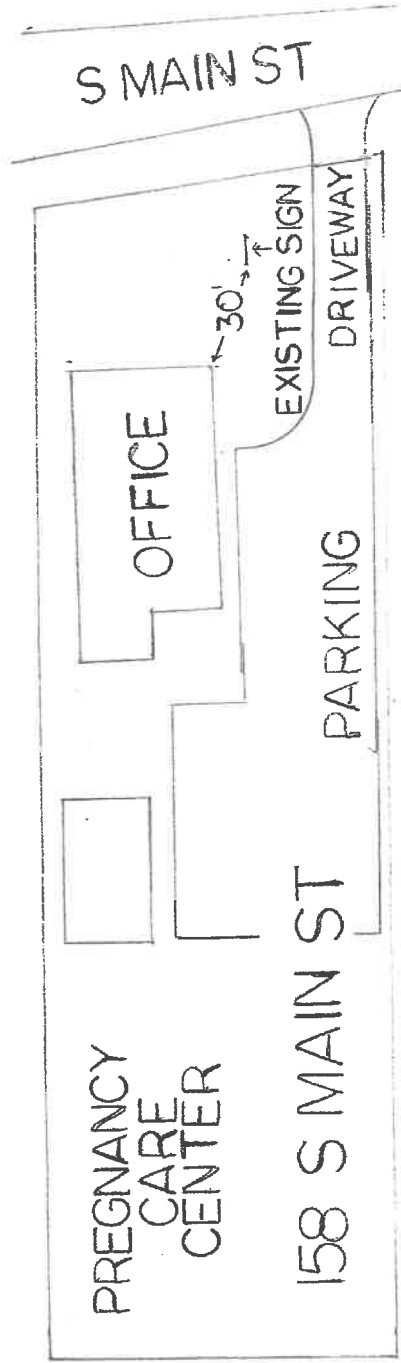


Notary Public Signature: 

Attachment: Historic Application (1851 : 158 South Main Street Sign)



WELLS FARGO





Attachment: Property Info (1851 : 158 South Main Street Sign)



Attachment: Property Info (1851 : 158 South Main Street Sign)



Attachment: Property Info (1851 : 158 South Main Street Sign)

City of Jonesboro Sign Permit additional information

The Pregnancy Care Center in Jonesboro is making application to the City to replace our existing free standing sign in front of the building. Only the sign face will be replaced and will be mounted to the existing 4" x 4" posts. The new sign will be 4' x 8' or 32 square feet, which is the same size as the current sign. The new sign face will be 10 mil corrugated plastic, the same as the existing sign face.

Photos of the existing sign and the proposed new sign face are included.

FREE PREGNANCY

TEST


Pregnancy
CARE CENTER

770-477-1501

158 South Main Street Jonesboro
Monday, Tuesday & Thursday 9:30am - 4:15pm
www.PregnancyCareCenterJonesboro.org



MEMORANDUM

To: Pregnancy Care Center
158 South Main Street
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 1, 2021

Re: Notification of Request for Design Review Commission – Replacement Sign
Panels; 158 South Main Street; Parcel No. 13241D E007


Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of replacement sign panels for the property located at 158 South Main Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, April 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

	CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary		Agenda Item # 5.d - d
			COUNCIL MEETING DATE April 7, 2021
Requesting Agency (Initiator) Office of the City Manager		Sponsor(s) Community Development Director Allen	
Requested Action <i>(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)</i> Commission to make a recommendation for J & K Atlanta Partnership – 8274 Tara Boulevard; Parcel No. 13239D A002; Sign panel for new commercial business.			
Requirement for Board Action <i>(Cite specific Council policy, statute or code requirement)</i> City Code Section 86-489 and 86-490 – Sign Standards			
Is this Item Goal Related? <i>(If yes, describe how this action meets the specific Board Focus Area or Goal)</i> Yes Beautification, Community Planning, Neighborhood and Business Revitalization			
Summary & Background <i>(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)</i> <p>Agency recommendation – Approval of sign color scheme and size; Recently, J & K Atlanta Partnership was approved for a business license to operate a tax / financial office at 8274 Tara Boulevard. A new sign panel was observed in the existing cabinet above the business entrance (Suite D), but no permit had been applied for. When Code Enforcement notified them, they took the sign down, and I scheduled the sign design for the April Design Review Commission to not hold things up, even though they have not supplied me with a scaled drawing.</p> <p>The wall sign replacement panel will not exceed the existing cabinet on the parapet, which is below the maximum 150 square feet allowed in Code Section 86-490(b), and below the 7.5% of the total business façade allowed in Code Section 86-489(c)(3). The panel will be made of acrylic and will not be internally illuminated. The red, black, and white color scheme will not be incompatible with adjacent businesses.</p> <p>The only issue that staff has with the sign design is that the signage and window sticker say “Safeguard Financial” while the actual business license currently is under “J & K Atlanta Partnership”. The City requires that the sign name and the business license name be the same. This needs to be reconciled one way or the other before the actual sign permit is issued.</p>			
Fiscal Impact <i>(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)</i> Private owner			
Exhibits Attached <i>(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)</i> <ul style="list-style-type: none"> • Zoning • Sign Location • Logo and Color Scheme • Acceptance Letter 			

FOLLOW-UP APPROVAL ACTION (City Clerk)		
Typed Name and Title Ricky L. Clark, City Manager	Date April, 7, 2021	
Signature	City Clerk's Office	

Staff Recommendation *(Type Name, Title, Agency and Phone)*

5.d

Approval, with Condition

Applicant – Jennifer Lewis
Name of Business – J & K Atlanta Partnership, LLC
Address - 8274 Tara Boulevard, Suite D
Zoning District – C-2
NAICS – 5412
Proposed Use: Tax Office

NAICS Code	USES	R-2	R-4	R-C	R-A	RM	H-1	H-2	O&I	MX	C-1	C-2	M-1	Code Section
5412	Accounting, Tax Preparation, Bookkeeping, and Payroll Services	N	N	N	N	N	P	P	P	P	P	P	N	

Use is permitted "by right" in the district indicated = P; Use is permitted as a conditional use (section indicated) = C; Use is not permitted = N

Zoning Classifications



Attachment: Zoning (1852 : 8274 Tara Blvd Tax Sign)

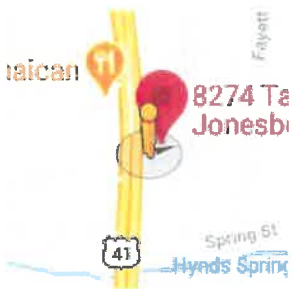
Google Maps Jonesboro, Georgia



Image capture: Sep 2018 © 2021 Google



Street View



Attachment: Sign Location (1852 : 8274 Tara Blvd Tax Sign)

SAFEGUARD

Financial & Insurance Group

Presents...

TAX PREPARATION

SAME DAY ADVANCES

FREE ESTIMATES

NO CREDIT CHECK

**8274 TARA BLVD. SUITE D.
JONESBORO, GA 30236**

(678) 374-2195

www.safeguardprofessionals.com





MEMORANDUM

To: J & K Atlanta Partnership
8274 Tara Blvd.
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 2, 2021

Re: Notification of Request for Design Review Commission – Replacement Sign Panel; 8274 Tara Blvd.; Parcel No. 13239D A002

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a replacement sign panel for the property located at 8274 Tara Boulevard, Jonesboro, Georgia.


Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, April 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in blue ink, appearing to be "D. Allen", with a long horizontal stroke extending to the right.

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (1852 : 8274 Tara Blvd Tax Sign)

	CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary	Agenda Item # - e
		COUNCIL MEETING DATE April 7, 2021
Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen	
Requested Action <i>(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)</i> Commission to make a recommendation for Residence – 145 College Street; Parcel No. 13241C D011; Replacement accessory building in Historic Residential Overlay		
Requirement for Board Action <i>(Cite specific Council policy, statute or code requirement)</i> City Code Section 86-270 Accessory Building Standards; Sec. 86-111 Historic Residential Overlay Standards		
Is this Item Goal Related? <i>(If yes, describe how this action meets the specific Board Focus Area or Goal)</i> Yes Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation		
Summary & Background <i>(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)</i> <p>Agency recommendation – Approval of Certificate of Appropriateness application, with listed conditions; The Rainers have lived at 145 College Street for a long time. The house on the property is historic, as were the accessory buildings in the rear before they were destroyed by a storm last year. Recently, the Rainers applied for a permit and a Certificate of Appropriateness for a replacement 12-foot by 30-foot (360 square feet) accessory building in the rear yard of the home. The new, prefabricated building will function as a storage space and a workshop and will not be a living quarters. The property is 1.115 acres and is zoned R-2 residential, but lies within the Historic Residential Overlay, which requires a Certificate of Appropriateness for new structures, per Sec. 86-111 (e).</p> <p>Section 86-270 gives standards for accessory buildings in the City:</p> <p><i>No accessory building shall exceed the height of the principal dwelling in any residential district, nor shall the combined total area of all accessory buildings on a lot exceed the larger of 800 square feet in area or 25 percent of the floor area of the principal dwelling. Calculation of floor area shall not include basement areas. All accessory buildings shall be set back a minimum of 100 percent of the front yard setback for the district; however no accessory building other than a detached garage may be located between the principal dwelling and the public right-of-way. A minimum side yard and rear yard setback of five feet shall apply to accessory building located a distance greater than 20 feet from the principal dwelling; otherwise the building setbacks for the principal dwelling shall apply to the accessory building.</i></p> <p><i>All accessory structures established on the street side of a corner lot and located a distance equal to or less than the dimension of the required side yard for principal dwellings in the zoning district in which the lot is situated shall be screened through the installation of landscaping or stockade-type fence. Such screening shall comply with provisions of article XV of this chapter.</i></p> <p><i>The exterior finishes and color of all accessory structures shall be identical to the exterior finish and color of the principal dwelling on which the accessory structures are located. For brick construction, only the characteristics of the trim work shall apply to the accessory buildings.</i></p> <p><i>No accessory structure shall be located upon a lot until construction of the principal building has been completed and a certificate of occupancy has been issued.</i></p> <p><i>No plumbing beyond a wash sink shall be permitted in an accessory structure.</i></p>		

FOLLOW-UP APPROVAL ACTION (City Clerk)		
Typed Name and Title Ricky L. Clark, City Manager	Date April, 7, 2021	
Signature	City Clerk's Office	

The number of individual structures accessory to a residential use shall be controlled by the following schedule:

Lot Size	Number of Structures
Up to 1 acre	1
Above 1 acre	2

NOTE: This schedule provides for the indicated number of structures and one detached garage.

Staff response: The proposed building is 360 square-feet, well below the 800 square-foot maximum, and a reduction of the accessory building square footage on the property before. It will be fully behind the front setback line of the house and at least 5 feet off of the side property line and 20 feet from the back of the house. At the most, it will have a sink. This will be the only accessory structure on the property now, but the property is over 1 acre, so it could accommodate another structure, per Code, in the future.

Section 86-111 gives further standards for accessory buildings in the Historic Residential Overlay:

e. Accessory structures.

1. Historic accessory structures, or outbuildings, shall be maintained in accordance with guidelines for dwellings in the overlay.

2. New accessory structures, including, but not limited to carports, garages and storage sheds, shall be located behind the facade line of the dwelling.

3. The design, scale, placement and materials of new accessory structures within public view shall be compatible with those of the principal dwelling.

Staff response: The proposed accessory building complies with these standards, being in the rear yard but will not be readily within public view, being in the back yard and largely obscured in the side yard by trees, landscaping, and the house itself. Though the accessory building will have a more modern look, with wood siding and a metal roof it can still be complimentary to the house with foundation landscaping, etc. Again, it will not be readily visible from the street. Also, the color of the siding (grey / brown) and the roof (red) can be altered. However, the new building cannot be used as a living quarters as the previous buildings were, as the destruction of the previous buildings has negated their grandfathering.

Approval, with the following conditions:

1. The location of the structure must be field verified, to conform to the minimum setbacks of 5 feet from property lines and 20 feet from the house.
2. The building may not be used as a temporary or permanent living quarters.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Historic Application

- Ex. Building Pictures
- Storm Damage
- Storm Clearing
- Street Views
- Site Plan
- New Building Design
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval, with Conditions



CITY OF JONESBORO

124 North Avenue
Jonesboro, Georgia 30236
www.jonesboroga.com

JONESBORO HISTORIC PRESERVATION COMMISSION

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The Jonesboro Historic Preservation Commission or J.H.P.C. is tasked with insuring the Historic District's Preservation and standards are met according to the City of Jonesboro Codes and Ordinances. This application and approval thereof does not constitute an approval to begin construction. It is a review of Chapter 86 – Zoning, Section 86-102 (H-1) Historic District and Section 86-103 (H-2) Historic District. Once the applicants meets Historic District Code, the process of approval of plans, land disturbance, and other compliance measures must be met. Please contact the Jonesboro City Hall (770) 478-3800 and speak with the City Clerk for further information.

Property Information:

Address: 145 College Street Jonesboro, Ga 30236

Owner: Robert A. Rainer III

Note: if applicant is not the owner, the applicant must provide written permission from the owner – notarized, and owner's contact information. See Jonesboro City Hall staff to obtain permissible document.

Applicant Information:

Applicant Name: Robert A. Rainer III + Mary E. Rainer

Mailing Address: 145 College Street Jonesboro, Ga. 30236

Email Address: merainet1@yahoo.com Telephone: 770-477-1979

- Fees and Charges as identified within the City of Jonesboro's schedule of fees for the Historic Preservation Committee Certificate of Appropriateness.

Residential - \$35.00

Commercial: \$50.00

Sign: \$10.00

Attachment: Historic Application (1854 : 145 College Street)

PROJECT INFORMATION

Type of Project (Check all that apply)

Construction

- ☒ New building *Replace Shed*
- ☐ Additional building
- ☐ Minor Exterior Change
- ☐ Major Building Restoration, Rehabilitation, or Remodeling

Site Changes

- ☐ Parking area(s), Driveway(s), or Walkway(s)
- ☐ Fence(s) or Wall (s)
- ☐ Sign(s)
- ☐ Mechanical System(s)
- ☐ Non-temporary Site Feature(s): (i.e. satellite dishes, pools, lighting, arbors, gazebo's, etc.)

Demolition or Relocation

- ☐ Primary Building
- ☒ Outbuilding *Replace Shed*
- ☐ Site Feature

APPLICATION REQUIREMENTS

Applicants must include support materials as noted to be considered (i.e. plans, schematics, images, dimensions, surrounding structures). Incomplete applications will not be reviewed.

APPLICATION DEADLINE & REPRESENTATION

Applications must be delivered to the Jonesboro City Hall at least eighteen (18) days preceding the next scheduled J.H.P.C. meeting. The J.H.P.C. meets on an as needed basis. Applicant's attendance is required: A presentation with visuals and detailed information is suggested. Questions which may arise, and if unanswered could result in the denial of the application.

REQUIRED MATERIALS

The following materials are required for a complete application. Incomplete applications WILL NOT be reviewed.

A. New Buildings and Additions:

- i. Description of Project
- ii. Site Plan
- iii. Architectural Elevations
- iv. Floor Plan
- v. Description of Materials
- vi. Photographs of Proposed Site

B. Major Restoration, Rehabilitation, or Remodeling:

- i. Architectural Elevations or Sketches
- ii. Description of Project
- iii. Description of Materials
- iv. Photographs of Proposed Site

C. Minor Exterior Changes:

- i. Description of Project
- ii. Description of Materials
- iii. Photographs of Existing Building

D. Site Changes: Parking, Driveways & Walkways:

- i. Site Plan or Sketch of Site
- ii. Description of Materials
- iii. Photographs of Site

E. Site Changes: Fences, Walls, and other Site Features:

- i. Site Plan or Sketch of Site
- ii. Architectural Elevations or Sketches
- iii. Description of Materials
- iv. Photographs of Site

F. Site Changes: Signs:

- i. Architectural Elevation or Sketch (For signs located on the building)
- ii. Site Plan or Sketch of Site (For free standing signs)
- iii. Description of Materials and Illumination

PROJECT AND MATERIALS DESCRIPTION

See yard Barns Estimate for Materials. (Wood Framing) Metal Roof I can have it painted red like the Cabin was and change the color of the roof if necessary.

I'm trying to reach Cindy Cathy to have her company do the landscaping. With new plantings and Shrubs nothing will be seen from the street. The pre fab building is much smaller than the 2 buildings we are replacing.

I will use it for storage of tools, yard equipment and my hobbies and potted plants.
(Add Additional Sheets as Necessary) Basically My Shed.

Robert A. Rainer III
PRINT NAME

3-29-2021
DATE

Robert A. Rainer III
SIGNATURE

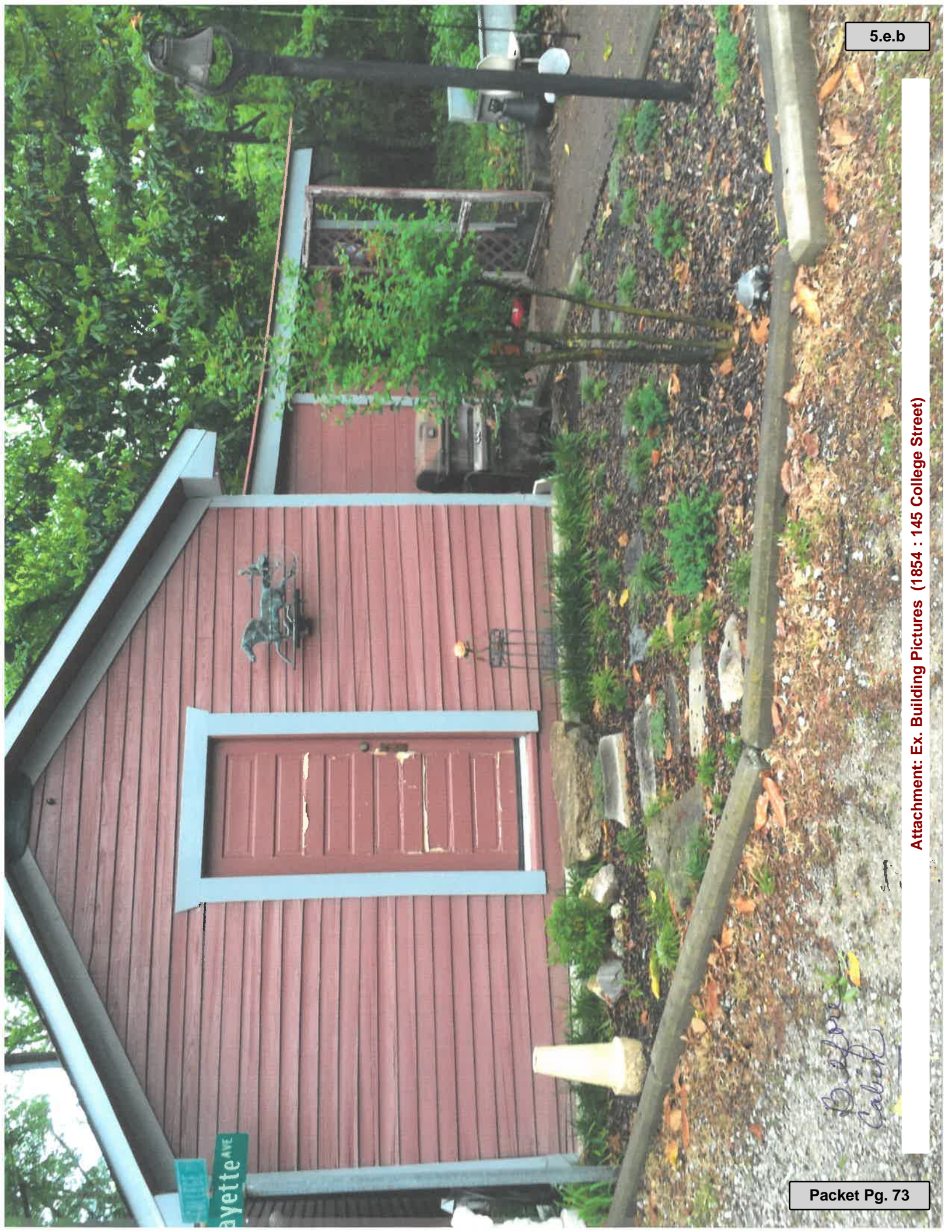
\$75.00
FEE AMOUNT

_(Application Received By)

Attachment: Historic Application (1854 : 145 College Street)

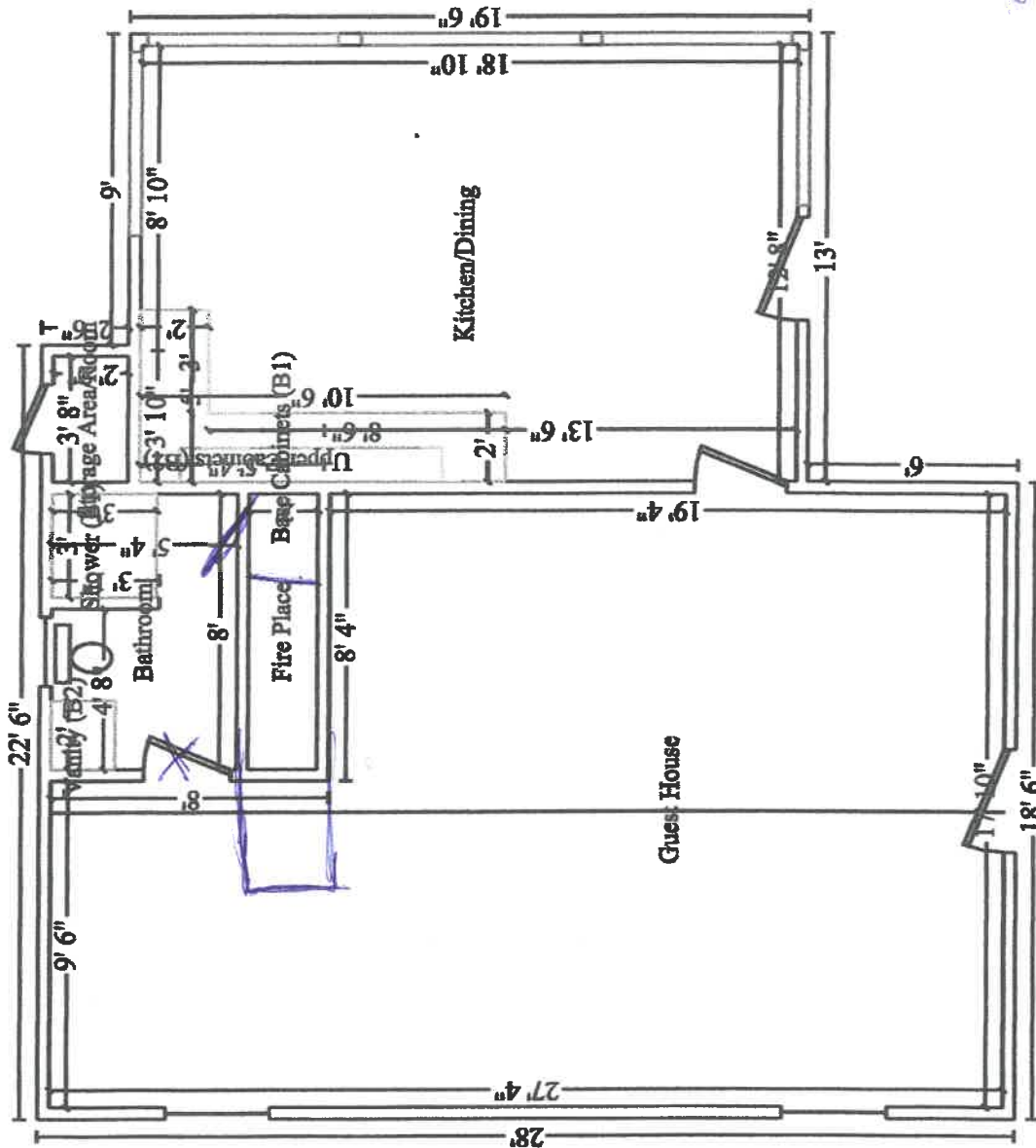


Attachment: Ex. Building Pictures (1854 : 145 College Street)



*Before
Calich*

Approx 818 sq. ft.



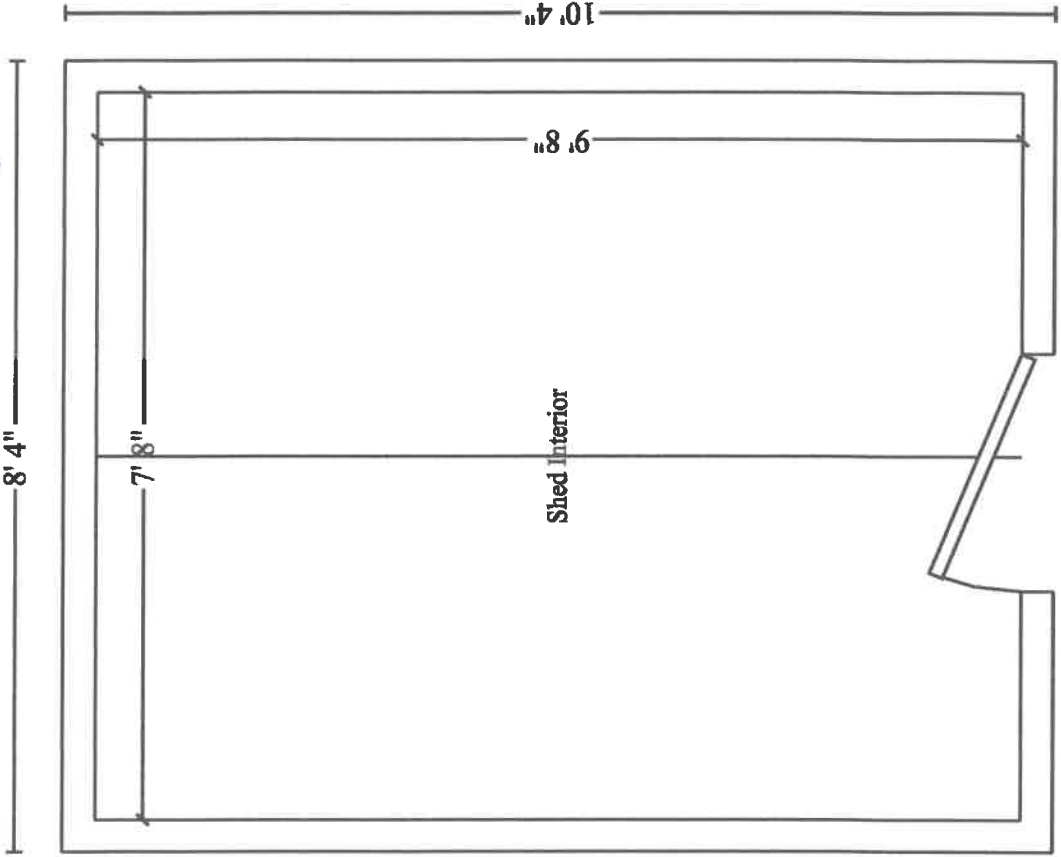
This was the cabin

Insurance Co. were off on their directions.

5.e.b
Main Level
Scale: 1" = 1'



aprox. 88 sq. ft.



This is Coal house
I used for potting Shed

E

N

W

S

5.e.b

5e: 1

Main Level



Attachment: Storm Damage (1854 : 145 College Street)

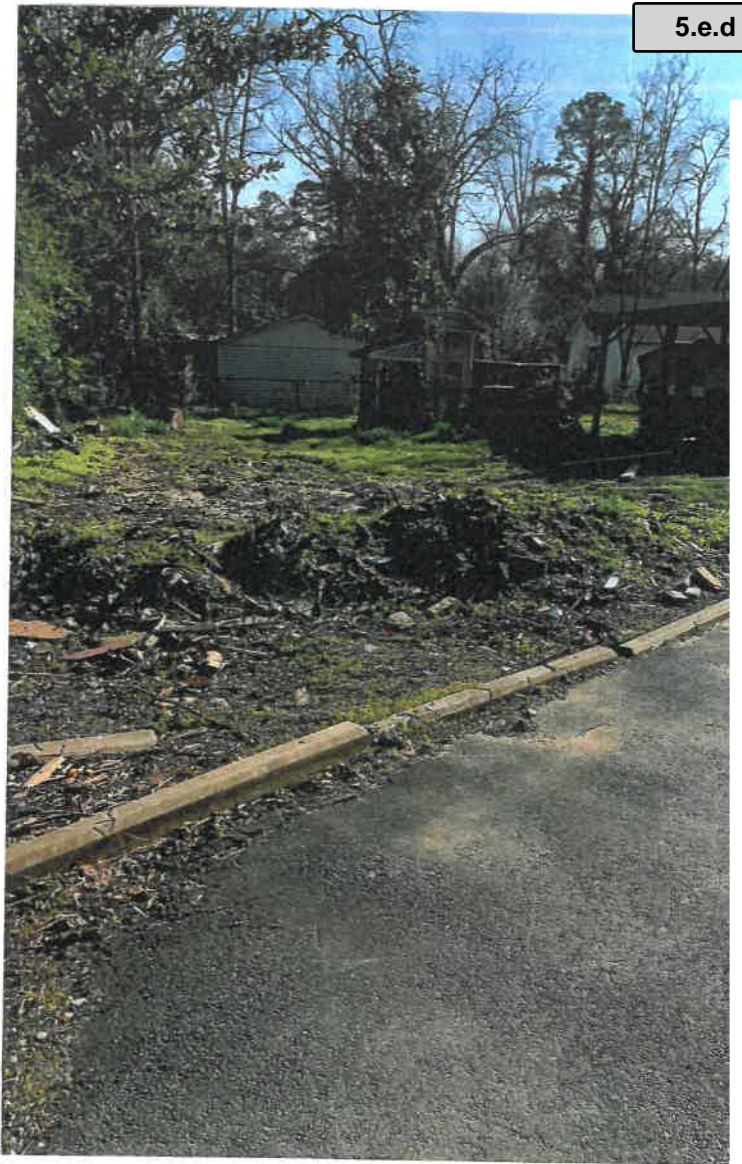


Attachment: Storm Damage (1854 : 145 College Street)



5.e.c

Attachment: Storm Damage (1854 : 145 College Street)



Attachment: Storm Clearing (1854 : 145 College Street)

*This is now before leveling
and clean up and more top soil
replaced.*

This was taken from the side walk after

Attachment: Storm Clearing (1854 : 145 College Street)

Google Maps 143 College St



Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



Attachment: Street Views (1854 : 145 College Street)

Google Maps 151 College St



Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



Attachment: Street Views (1854 : 145 College Street)

Google Maps 151 College St

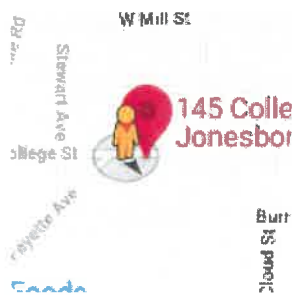


Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



Attachment: Street Views (1854 : 145 College Street)

Attachment: Street Views (1854 : 145 College Street)

COLLEGE STREET

N 86°-22'-40" E 210.00'

90.4' TO
FAYETTE
AVE.

N/F F.C. BROWN

N 02°-10'-43" W 229.80'

N 01°-47'-03" W

N/F CHAMBER

SEPTIC
TANK

1.115 ACRES

1 STORY
BRICK
RES.K*House
is not this
close to the drive**Put Shed
in this general
area*

S 87°-02'-39" W 211.93'

14' ALLEY

S 02°-27'-39" E 233.23'

14' ALLEY

N/F MRS J.C. HANES

THIS PARCEL OF LAND IS NOT IN A FLOOD
AREA AS SHOWN ON H.U.D. F.I.R. MAPS

In my opinion, this plat is a correct
representative of the land platted and
has been prepared in conformity with
the minimum standards and
requirements of law.

Lum C. Hall

PROPERTY OF

IDA JANE HARRIS

CITY OF JONESBORO

LL 241
SCALE 1" = 50'

13TH DIST.

CLAYTON CO.
JULY 27, 1989

SURVEY BY

LUM HALL & ASSOCIATES INC.
FAYETTEVILLE

GEORGIA

Attachment: Site Plan (1854 : 145 College Street)

From: Georgia Yard Barns

stephanie@georgiayardbarns.com

Subject: Here's Your Custom Shed Design and Estimate! (#1614110404888879-2)

Date: Mar 29, 2021 at 10:40:46 AM

To: merainer1@yahoo.com

12' x 30'
360 sq. ft.



Georgia Yard Barns

855-996-0500

stephanie@georgiayardbarns.com

Customer

Customer Name

Mary Rainer

Phone Number

[\(770\) 477-1979](tel:(770)477-1979)

Email

merainer1@yahoo.com

Delivery and Installation Details

Delivery Contact Person

Mary Rainer

Delivery Address

000 Street St.

Delivery City, ZIP

Jonesboro, 30236

Quote

Reference Number

#1614110404888879

Date

Mon, Mar 29, 2021

Design Link

<https://idearoom.georgiayardbarns.com/?lng=en-US#549bc5017047f5288f1e4b0916629bf3>

Images



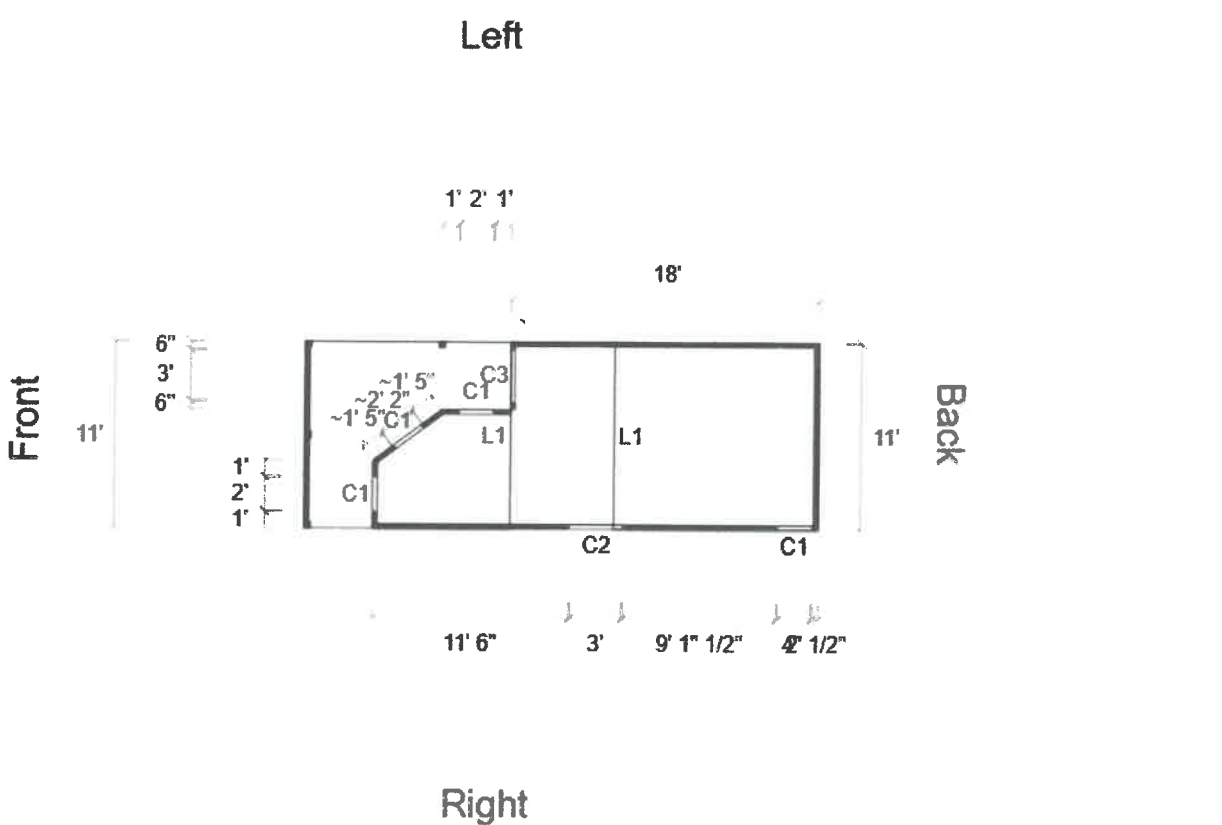
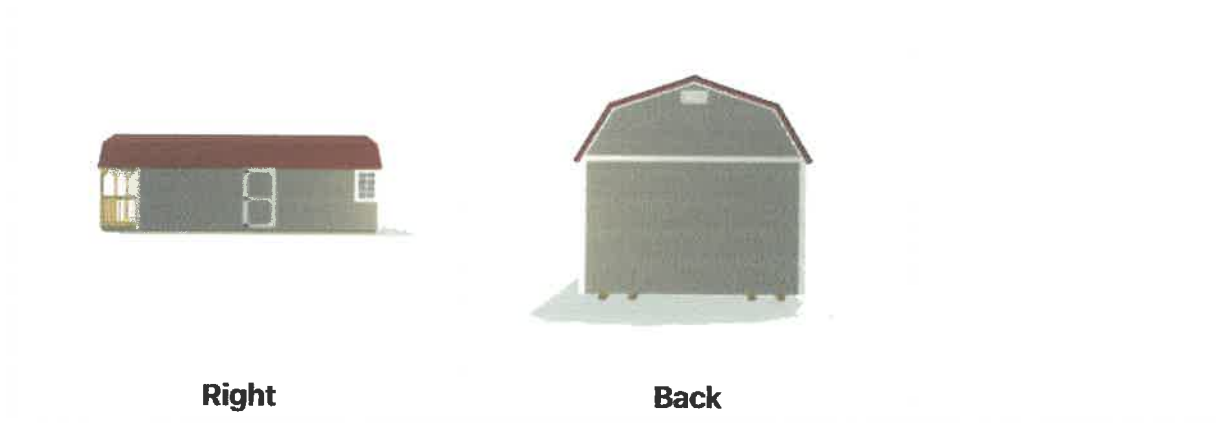
Perspective



Front



Left



- Symbol Legend:
- C1: 2x3 Window
 - C2: 36" Shop-Built Door
 - C3: 36" 9-Lite Pre-Hung Door
 - L1: 12' Lofts (Included)

Description	Quantity	Amount
-------------	----------	--------

Structure Details

Style: Deluxe Lofted Barn Cabin	1	\$9,990
Siding: LP® SmartSide®	1	Included
Sidewall Height: 6' 6" Walls	1	Included
Size: 12x30	1	Included
Porch: Left L-Shape Porch	1	Included
Porch Railing: Wood Railing	1	Included
Roof Pitch: Standard	1	Included
Siding Color: Taupe	1	Included
Trim Color: White	1	Included
Roof Color: Rustic Red	1	Included
Roof Material: 29 Gauge Z-Metal	1	Included

Doors & Ramps

36" Shop-Built Door	1	\$95
Diamond Plate Threshold	1	Included
36" 9-Lite Pre-Hung Door	1	Included
Black Threshold	1	Included

Windows & Accessories

2x3 Window	3	Included
2x3 Window	1	\$95

Flooring & Interior

Flooring: 5/8" Flooring	1	Included
Loft: 12' Lofts (Included)	1	Included

Vents

Metal Roof Trim	1	Included
-----------------	---	----------

Additional Options

Electrical Package (includes 4 outlets, breakboxer, light, and light

switch)	1	\$695
AC/Heat	1	\$2,270
Spray Foam Walls and Ceiling	1	\$2,498
	Subtotal:	\$15,643
	Sales Tax:	-
	Total Order Amount:	\$15,643
	Final Balance Due at Installation:	\$15,643

Signatures**Customer Signature:****Date****Desired Delivery Date:****Delivery Notes:****Dealer or Manufacturer Signature:****Date****Pricing Table (For Internal Use): - Service Area**

This estimate is provided by Georgia Yard Barns for use by customers of Georgia Yard Barns only.

**Georgia Yard Barns****855-996-0500****stephanie@georgiayardbarns.com**



3D Shed Builder

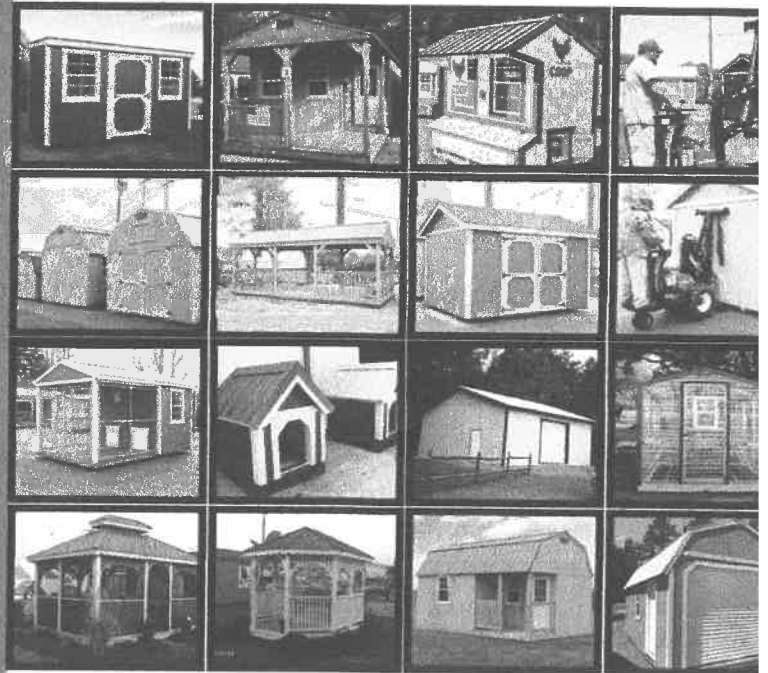
Request a brochure

About Us

About Georgia Yard Barns

Georgia Yard Barns is a family owned and operated portable storage shed company based in central Georgia. We sell products to meet all of your backyard needs such as utility sheds, cabins, lofted barns, and dog kennels. All of our handmade products are constructed using the highest quality materials and are built to last for many years! We have several sales locations that are open 24/7 for viewing. All of our sales lots are stocked with products ready to be shipped to you or have a custom shed built to meet your needs! For pricing, custom options, and dealer locations, call us today! Our products include the finest portable backyard sheds, garages, lofted barns, cabins, pole barns, and recreational products such as our popular gazebos. Our company offers great prices, outstanding customer service and the option to buy or rent to own with no credit check! You're pre-approved! We also offer free delivery and set-up with every purchase. Whether it be a backyard barn, playhouse, she shed, hunting cabin or a home for your animals, we can help you find the product that is right for YOU. From our family to yours, thank you for considering Georgia Yard Barns!

Have you recently purchased a product from us?



[Click Here For Delivery Information](#)

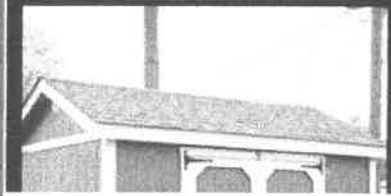
5.e.g

About Yard Barns

Georgia Yard Barns is a family owned and operated portable storage shed company based in central Georgia. We sell products to meet all of your backyard needs such as utility sheds, cabins, lofted barns, and dog kennels. All of our handmade products are constructed using the highest quality materials and are built to last for many years! We have several sales locations that are open 24/7 for viewing. All of our sales lots are stocked with products ready to be shipped to you or have a custom shed built to meet your needs! For pricing, custom options, and dealer locations, call us today! Our products include the finest portable backyard sheds, garages, utility buildings, lofted barns, cabins, pole barns, and recreational products. With Overholt, you can look into options like Greenhouses, Gazebos and Chicken Coops. Derksen Portable Buildings offers the nation's best value in portable buildings, with the most variety in sizes and custom options. Georgia Yard Barns sells and installs pole barns of every size as well as custom dog houses for your furry friend! Our company offers great prices, outstanding customer service and the option to buy or rent to own with no credit check. You're pre-approved! Whether it be a storage building, playhouse, she shed, hunting cabin or a home for your animals, we can help you find the product that is right for YOU. From our family to yours, thank you for considering Georgia Yard Barns!

Have you recently purchased a product from us?

[Click Here For Delivery Information](#)



Attachment: New Building Design (1854 : 145 College Street)



MEMORANDUM

To: Robert and Mary Rainer
145 College Street
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 2, 2021

Re: Notification of Request for Design Review Commission – Replacement
Accessory Building; 145 College Street; Parcel No. 13241C D011

Dear Applicant,


This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a replacement accessory building for the property located at 145 College Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, April 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (1854 : 145 College Street)

	CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary		Agenda Item # 5.f
			COUNCIL MEETING DATE April 7, 2021
Requesting Agency (Initiator) Office of the City Manager		Sponsor(s) Community Development Director Allen	
Requested Action <i>(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)</i> Commission to make a recommendation for Jamrock South – 265 Jonesboro Road; Parcel No. 12048A D001; Replacement sign panel for existing restaurant			
Requirement for Board Action <i>(Cite specific Council policy, statute or code requirement)</i> City Code Section 86-489 and 86-490 – Sign Standards			
Is this Item Goal Related? <i>(If yes, describe how this action meets the specific Board Focus Area or Goal)</i> Yes Beautification, Community Planning, Neighborhood and Business Revitalization			
Summary & Background <i>(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)</i> <p>Agency recommendation – Approval of replacement sign panel; Recently, the applicant and restaurant owner applied for a sign permit for the Jamrock South restaurant, which has been in business at 265 Jonesboro Road for several years. There is a pre-existing road sign there approved by City permit in 2016. The applicant seeks to replace the two 36 square foot panels in the road sign with a single 72 square foot panel. The height and location of the sign frame will remain the same. The property is zoned C-2 Highway Commercial and is not in any Overlay or Historic District.</p> <p>The replacement sign panel will be 6 feet 12 6 feet (72 square feet) on each side, which is above the maximum 35 square feet (per side) allowed in Code Section 86-490(a). However, the sign permit approved in 2016 allowed for two 36 square foot panels, which is the same area as proposed with the new 72 square foot panel. Therefore, there is no increase in area over what is out there now. The Commission needs to discuss whether a 72 square foot panel, with the same size as what it is replacing, is grandfathered or requires a variance. The approval recommendation will depend on this decision.</p> <p>The new sign will be yellow, green, and black, which is similar in color scheme to what is out there now and will not conflict with adjacent businesses. It will be an acrylic panel and will not be internally illuminated. The new sign panel will be an improvement over the existing one, getting rid of the changeable copy.</p>			
Fiscal Impact <i>(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)</i> Private owner			
Exhibits Attached <i>(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)</i> <ul style="list-style-type: none"> • Sign Application • Revised Design • Acceptance Letter 			

FOLLOW-UP APPROVAL ACTION (City Clerk)	
Typed Name and Title Ricky L. Clark, City Manager	Date April, 7, 2021
Signature	City Clerk's Office

Staff Recommendation *(Type Name, Title, Agency and Phone)*

5.f

Approval

Date of Application:

3/3/2021

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ 120 will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization.

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

Description of Permit

Please check:

- ☐ New Sign
- ☒ Change to Existing Sign
- ☒ Ground Sign
- ☐ Window Sign
- ☐ Subdivision Sign
- ☐ Projecting Sign Wall Sign
- ☐ Entrance Sign
- ☐ Special Event Sign
- ☐ Other (describe below)

Property Owner or Applicant Information

Name: Lindsey AllenMailing Address: 2500 Pepperwood St #1318City: Farmers BranchState: TXZip: 75234Phone: (Day) 214-684-3615(Evening) ←

Attachment: Sign Application (1855 : 265 Jonesboro Road)

Jonesboro Property Information

Existing Uses and Structures: Existing Pylon Structure

Surrounding Uses and Structures: (See Official Zoning Map): light industrial district

Surrounding Zoning:

North: _____ South: ✓ East: _____ West: _____

Property Address of Sign: 265 Jonesboro Road Jonesboro, GA 30236

Complete dimensions and total area of the sign: 6' X 12' 72 square feet

What is the position of the sign in relation to nearby buildings/structures and other signs?

Sign will be next to Jamrock Authentic Jamaican cuisine
(Parking lot)

What is the position of the sign in relation to nearby buildings/structures and other signs?

What are the setbacks from right-of-ways, property lines and easements?

this is an existing sign

Name of person, firm, corporation or association erecting the sign is:

Georgia Sign Builders, LLC

Name of business/activity at the address where the sign is to be erected:

Jamrock South / Restaurant

Is this in a planned development?

No

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

Attachment: Sign Application (1855 : 265 Jonesboro Road)

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-740

I HEREBY CERTIFY THAT THE ABOVE INFORMATION AND ALL ATTACHED INFORMATION IS TRUE AND CORRECT:

Date: 3/31/2021

Signed: [Signature]

Notary: [Signature]

SEAL



FOR OFFICE USE ONLY:

Date Received: 04/01/21

Received By: [Signature]

Fee Amount Enclosed: \$ 60.00

Date Approved: ___/___/20___

Date Denied ___/___/20___

Permit Issued ___/___/20___

Comment:

	265 Jonesboro Rd. Jonesboro GA 30236		<p>This is an original unpublished drawing, created by GSB. It is submitted for your personal use in conjunction with the project being planned for you by GSB. It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, copied, or exhibited in any manner without proof of purchase from GEORGIA SIGN BUILDERS.</p>	<p>Approval:</p> <hr/>	<p><small>*Unless specifically stated, GSB is not responsible for the installation of ANY electrical lines. The Client is to provide electrical power to the sign location.</small></p>
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EXISTING

(2) 3' x 12' signs

PROPOSED

(1) 6' x 12' sign



MEMORANDUM

To: Jamrock South
265 Jonesboro Road
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 2, 2021

Re: Notification of Request for Design Review Commission – Replacement Sign Panels; 265 Jonesboro Road; Parcel No. 12048A D001

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of replacement sign panels for the property located at 265 Jonesboro Road, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, April 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (1855 : 265 Jonesboro Road)