



DESIGN REVIEW COMMISSION

May 5, 2021

MEETING AGENDA:

- I. CALL TO ORDER**
- II. APPROVAL OF AGENDA**
- III. APPROVAL OF MINUTES**
- IV. OLD BUSINESS - NONE**
- V. NEW BUSINESS - ACTION ITEMS**
 - a. Commission to make a recommendation for F.O.E. Property Management – 759 North Avenue; Parcel No. 13210D A005; New sign panels for business in commercial center.
 - b. Commission to make a recommendation for Susan Kirby Law Office – 185 North Main Street; Parcel 13240D C007; Replacement sign panel for business in Historic District.
 - c. Commission to make a recommendation for Tran Realty – 181 North Main Street; Parcel No. 13240D C005; New wall sign for business in Historic District.
 - d. Commission to make a recommendation for Event Center – 127 Jonesboro Road; Parcel No. 13240B E001; New ground sign for business.
 - e. Commission to make a recommendation for Pure Beauty Bar – 244 North Main Street; Parcel No. 13240B E006A; New wall sign and ground sign panel for business in commercial center.
 - f. Commission to make a recommendation for Willie Middleton II – 120 North McDonough Street; Parcel No. 13241B F004; New deck for rear of commercial building in Historic District.
 - g. Commission to make a recommendation for Roger and Kathy Swint – 186 North McDonough Street; Parcel No. 13240D A029; Replacement metal roof for building in Historic District.
 - h. Commission to make a recommendation for HT Shop – 194 Jonesboro Road; Parcel No. 12048C A002; Replacement wall sign panel for business in commercial center.

VI. ADJOURNMENT



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item

5.a

- a

COUNCIL MEETING DATE

May 5, 2021

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
Requested Action (<i>Identify appropriate Action or Motion, purpose, cost, timeframe, etc.</i>) Commission to make a recommendation for F.O.E. Property Management – 759 North Avenue; Parcel No. 13210D A005; New sign panels for business in commercial center.	
Requirement for Board Action (<i>Cite specific Council policy, statute or code requirement</i>) City Code Section 86-489 and 86-490 – Sign Standards; Prohibited Signs – Section 86-487	
Is this Item Goal Related? (<i>If yes, describe how this action meets the specific Board Focus Area or Goal</i>) Yes Beautification, Community Planning, Neighborhood and Business Revitalization	
Summary & Background	(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)
Agency recommendation – Approval of sign panels; Recently, F.O.E. Property Management began operating in the “wing” portion of the Kroger shopping center. The business had a temporary banner up for a while, and then it was noted that they had later installed a permanent wall sign panel over the front entrance and replacement ground sign panels in the existing pylon framework near North Avenue.	
<p>The replacement panels (acrylic) in the existing ground (pylon) sign near North Avenue will not exceed the panel framework already there. The black and white color scheme will be compatible with adjacent businesses. Each ground sign replacement panel is approximately 3 square feet (each side), which is well below the maximum 45 square feet allowed in Code Section 86-490 for planned centers.</p> <p>The wall sign panel (translucent vinyl with digital print letters) above the front entrance is 21.7 total square feet, which is below the maximum 150 square feet allowed in Code Section 86-490(b). The panel will be about 8% of the total front building façade, below the 10% allowed in Code Section 86-489 for properties with two road frontages. The blue and white color scheme will be compatible with adjacent businesses. The sign will be internally illuminated. The design also mentions that the edges of the sign will have “edge lit LEDS”. If this is the same situation as the recently approved Hibbett Sports wall sign on the other side of the building, then it will be acceptable. However, the City Sign Code prohibits “Signs that contain exposed neon or neon accents” in Section 86-487.</p>	
Fiscal Impact	(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)
Private Owner	
Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)	
<ul style="list-style-type: none"> • Wall Sign • Ground Sign • Window Stickers • Property Pictures 	

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date May, 5, 2021	
Signature	City Clerk's Office	

- Acceptance Letter

5.a

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

REPRESENTATIVE:
Jared Chatman

ADDRESS:

FASTSIGNS MIDTOWN
528 Plasters Avenue N1
Atlanta, GA 30324

ORIGINAL PROOF DATE:

10/13/2020

REVISION #1 BY:

Sarah

REVISION DATE:

10/15/2020

REVISION #2 BY:

REVISION DATE:

REVISION #3 BY:

REVISION DATE:

REFERENCE NUMBERS:

00000

DRAWN BY:
Sarah

THIS DRAWING IS THE
PROPERTY OF FASTSIGNS
BLOCKHEAD. THE
BORROWER AGREES, IT
SHALL NOT BE
REPRODUCED, COPIED OR
DISPOSED OF DIRECTLY
OR INDIRECTLY, NOR USED
FOR ANY PURPOSE
WITHOUT PERMISSION.

F.O.E. PROPERTY MANAGEMENT

Qty. 1; 120" w x 26" h
Digital Print on Translucent Vinyl
First Surface
Contour Cut
Applied to 1/4" Acrylic
with edge lit LEDs

For Internal Use Only

/NA

Final QC:	<hr/>
Date:	<hr/>
<input type="checkbox"/> Sales	<input type="checkbox"/> Production
<input type="checkbox"/> Design	<input type="checkbox"/> Install



Signature Approval

Date

"Image is not to scale but is proportional to final size"

75992REPRESENTATIVE:
Jared ChatmanADDRESS:
FASTSIGNS MIDTOWN
528 Plasters Avenue NE
Atlanta, GA 30324ORIGINAL PROOF DATE:
10/13/2020REVISION #1 BY:
SarahREVISION DATE:
10/15/2020REVISION #2 BY:
REVISION DATE:
REVISION #3 BY:
REVISION DATE:
REFERENCE NUMBER:
00000DRAWN BY:
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WITHOUT PERMISSION.**F.O.E. PROPERTY
MANAGEMENT****Signature Approval****Date**

REPRESENTATIVE:
Jared ChatmanADDRESS:
FASTSIGNS MIDTOWN
528 Plasters Avenue NE
Atlanta, GA 30324

ORIGINAL PROOF DATE:

10/13/2020

REVISION #1 BY:

Sarah

REVISION DATE:

10/15/2020

REVISION #2 BY:

REVISION DATE:

REVISION #3 BY:

REVISION DATE:

REFERENCE NUMBERS:

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F.O.E PROPERTY MANAGEMENT

Qty. 2: 40" w x 10" h
Digital Print on Vinyl

First Surface

Contour Cut

to be applied to existing acrylic
panels in monument sign

*dash line indicates size and will not print

For Internal Use Only

Print Manager: /NA

Final QC: _____

Date: _____

Sales Production
 Design Install

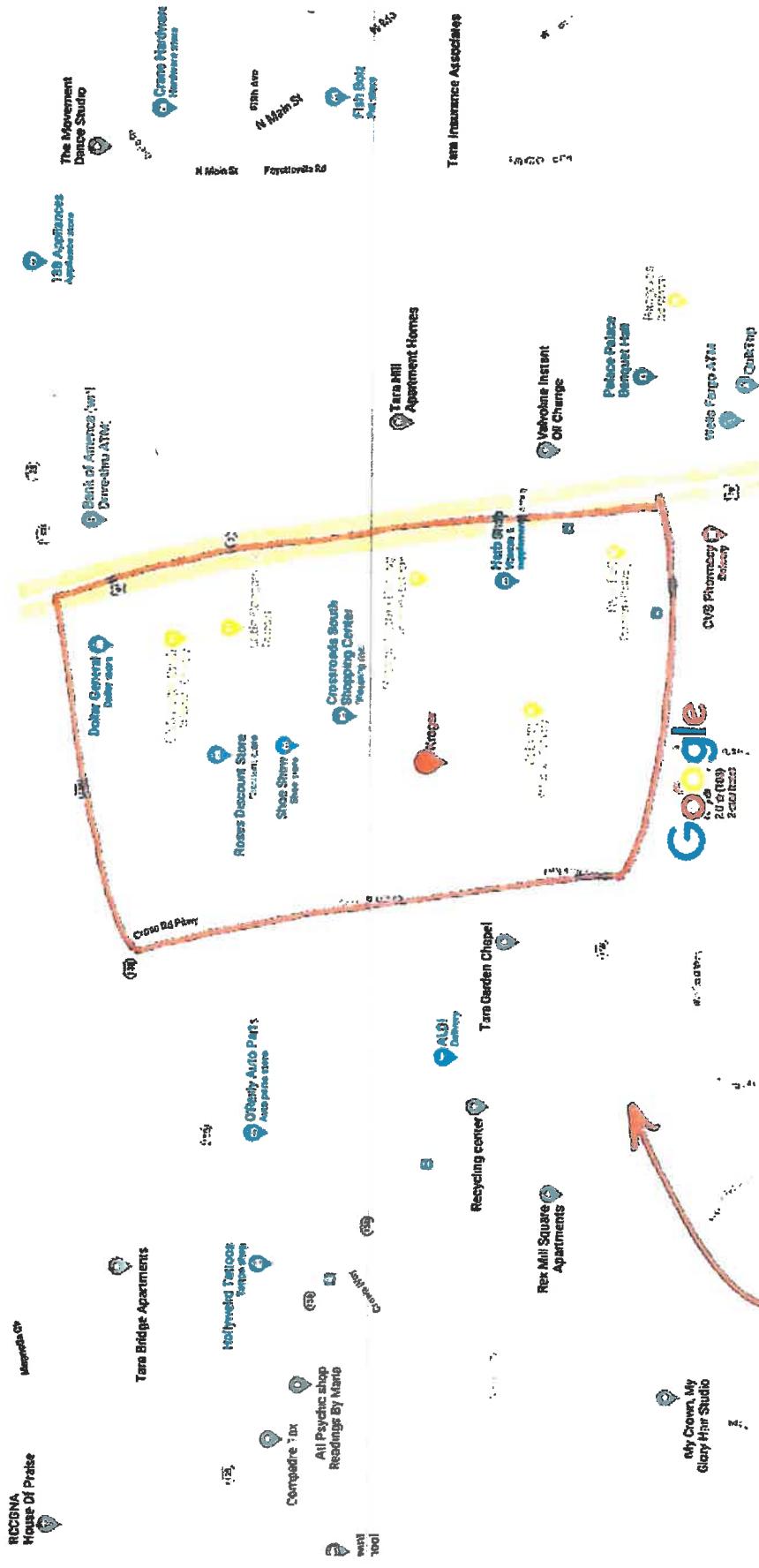
Signature Approval

Date _____





Google Maps **Kroger**



Chlorophyllus King Sundance (cont'd.)
Ward date
July 15 P.M. at Dry Mtn. Ranch
Altitude 12,000 feet

Map data ©2021 Google 200 ft

REPRESENTATIVE:
Jared Chatman

ADDRESS:
FASTSIGNS MIDTOWN
528 Plasters Avenue N1
Atlanta, GA 30324

ORIGINAL PROOF DATE:
10/13/2020

REVISION #1 BY:
Sarah

REVISION DATE:
10/15/2020

REVISION #2 BY:

REVISION DATE:

REVISION #3 BY:

REVISION DATE:

REFERENCE NUMBERS:
00000

DRAWN BY:
Sarah

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BORROWER AGREES, IT
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REPRODUCED, COPIED OR
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OR INDIRECTLY, NOR USED
FOR ANY PURPOSE
WITHOUT PERMISSION.

5.a.d

F.O.E.
PROPERTY
MANAGEMENT
678-519-5071

Monday - Friday 9am to 4pm
Saturday & Sunday Closed
Notary Public Available

Qty: 1; 14" w x 10" h
Digital Print on Vinyl
First Surface
Contour Cut
to be applied to Glass

*dash line indicates size and will not print

For Internal Use Only

Print Manager: /NA

Final QC:	_____
Date:	_____
<input type="checkbox"/> Sales	<input checked="" type="checkbox"/> Production
<input type="checkbox"/> Design	<input checked="" type="checkbox"/> Install



Signature Approval _____

Date _____

*Image is not to scale but is proportionate to final size

Attachment: Window Stickers (1877 : 759 North Avenue - Signs)



Attachment: Property Pictures (1877 : 759 North Avenue - Signs)





Attachment: Property Pictures (1877 : 759 North Avenue - Signs)



MEMORANDUM

To: Shajuana Ellis
759 North Avenue, Suite 50
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 29, 2021

Re: Notification of Request for Design Review Commission – Signs; 759 North Avenue; Parcel No. 13210D A005

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of signs for the property located at 759 North Avenue, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, May 5, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Allen".

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

5.b

-b

COUNCIL MEETING DATE

May 5, 2021

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
Requested Action (<i>Identify appropriate Action or Motion, purpose, cost, timeframe, etc.</i>) Commission to make a recommendation for Susan Kirby Law Office – 185 North Main Street; Parcel 13240D C007; Replacement sign panel for business in Historic District.	
Requirement for Board Action (<i>Cite specific Council policy, statute or code requirement</i>) City Code Section 86-489 and 86-490 – Sign Standards' Sec. 86-495 Historic District Sign Standards	
Is this Item Goal Related? (<i>If yes, describe how this action meets the specific Board Focus Area or Goal</i>) Yes Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation	

Summary & Background (First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of replacement panel: 185 North Main Street has been a commercial building in the Historic District for many years, currently hosting an attorney's office. Recently, the attorney's office applied for a replacement ground sign panel at the property, requiring Design Review Commission and Historic Preservation Commission review. The existing panel framework (wood posts) will remain in place, being in a grandfathered position. The sign panel will now reflect three attorneys in the same office.

The proposed sign is a double-sided panel, nearly 32 square feet each side, mounted between the existing wooden posts. The sign height (around 8 feet tall) will remain the same. No electronics or illumination are proposed. The 32 square-foot panel is allowable per Section 86-490.

Sec. 86-495. - *Historic districts.*

The purpose of this section is to ensure that signage in the historic district is harmonious in proportion, form, color, and materials to the character of said district. Visual relatedness is crucial to the goal of an integrated historic district, and signs play a key role in helping to preserve the historical district's sense of time and place, and to achieve the desired effect of charm and compatibility. No sign shall be erected, altered, restored or moved within the historic district until an application for a certificate of appropriateness as to exterior architectural features and signage has been reviewed and approved by the historic preservation commission and the design review commission. All proposed changes requiring a certificate of appropriateness shall comply with the applicable design standards in the 2005 zoning ordinance.

- (1) *Applicability. This section shall apply only to those structures and uses within the geographical boundaries of the historic districts, the H-1 and H-2 zoning districts.*
- (2) *Compatibility. As to signs, buildings, structures, and uses within the historic districts, when a provision of this section conflicts with any section in the balance of this article, the provision of this section shall control. Otherwise, to the extent reasonably possible, the provisions of this section shall be interpreted consistent with the provisions of the balance of this article.*
- (3) *Signage standards.*
 - a. *General. Signage shall complement the architectural details of the building and shall not violate or otherwise obscure the architecture of the building to which it is attached. Signs, lettering, or boxed graphics shall not cut across columns, cornices, windowsills, arches or balconies, nor extend above the roofline (except for parapets and mansards) of any building to which it is attached.*
 - b. *Lettering, size, and content. Letters can be painted or mounted directly on a signboard, storefront, wall or window, if in proportion to the storefront. Lots in the H-1 and H-2 historic districts are allowed the same amount of signage as lots outside of the H-1 and H-2 historic districts. In the H-1 and H-2 historic districts,*

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date May, 5, 2021	
Signature	City Clerk's Office	

canopy signs and hanging or suspended signs may be utilized. Provided, however, in no case may the signage area exceed ten percent of the building face to which the sign is attached. Acceptable lettering materials include wood, stone, synthetic stone, metal, and acrylic. The overall design of all signage shall be compatible with the turn-of-the-century theme of the historic district.

5.b

- c. Materials. Signs may be constructed of concrete, brick, wood, stone, metal, glass, or synthetic materials that have the same appearance of the aforementioned natural materials due to their finish. All materials shall be compatible with the building's architecture and should be colorfast and resistant to corrosion. Signs shall be professionally finished in accordance with the material selected, whether by sanding, painting, staining and/or sealing, with the edges of the sign framed out and/or sealed. **The panel will be aluminum.**
- d. *Lighting. All signs in the historic district, whether ground signs or wall signs, shall only be illuminated by an external light source, and through craftsmanship and materials, shall reflect the design aesthetics of the historic district.*
- e. Colors. The historic preservation commission and the design review commission shall consider the context of the surrounding area when reviewing the color of a proposed sign in the historic districts; however, the colors and logos of nationally and regionally recognized businesses shall not be prohibited.
- f. Awning and canopy signs. Awnings or canopies over doors, entrances, windows or outside service areas are permitted in the H-1 historic district. Professionally applied forms, graphics, symbols, lettering, or other visual presentation may be incorporated into the awning or canopy valance/drop flap but are restricted to 20 percent of the awning field. Size of the signage shall be computed as for a wall sign. Signage pursuant to this subsection shall be included within the overall amount of signage allowed under section 86-489. Awnings or canopies shall clear sidewalks by seven feet in height, and project no more than six feet from the building. Canvas or synthetic look-alike canvas are the only materials permitted for awnings and canopies. Metal or vinyl may be approved for awnings or canopies if the overall design is consistent with the H-1 historic district's turn-of-the-century theme. Awnings or canopies may not be backlit. Metal awnings and canopies are preferred.
- g. Hanging or suspended signs. Hanging, suspended, or projecting signs are permitted and shall clear sidewalks by seven feet in height, and project or drop no more than 36 inches from the building. Hanging or suspended signs should project or drop from a wall or roof at a 90-degree angle. Hanging or suspending signs over driveways, alleys, or parking areas is prohibited. Hanging, suspended, or projecting signs shall be limited to a maximum size of six square feet, and if double sided, shall be calculated as only one sign. One hanging, suspended, or projecting sign per business is permitted, and shall be calculated as part of the total signage area allowed under section 86-489. Attractive hardware for hanging is encouraged.
- h. Window signs. Interior window signs shall not exceed 25 percent of the total window area exposed to public view. Window signs shall not be included within the overall amount of signage allowed under section 86-489.
- i. Special events. Additional signage is permitted in the historic district under section 86-494, provided that all such additional signage conforms to the aesthetic standards of the historic district.
- j. *Ground signs. Ground signs may hang or suspend from a horizontal support that is affixed to the ground by vertical post.*
- k. A-frame signs. A-frame or "sandwich" signs are allowed at the rate of one per business or parcel. A-frame signs shall not obstruct pedestrian or vehicular routes.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Existing Sign
- New Sign
- Acceptance Letter

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval

Google Maps N Main St



Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia

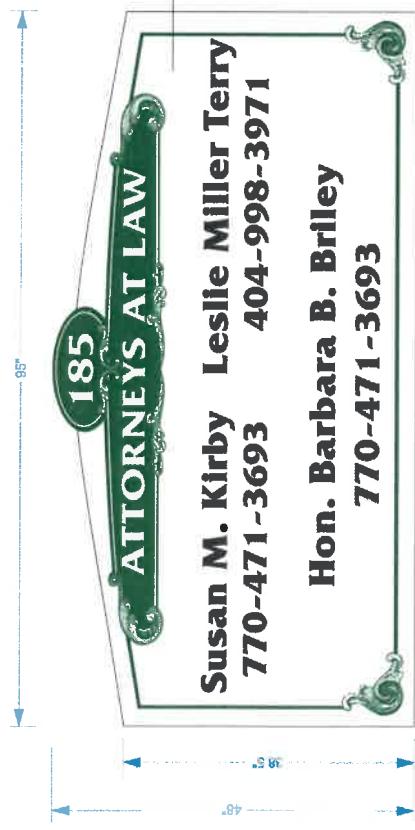


Street View



Attachment: Existing Sign (1878 : 185 North Main Street)

SIGN TYPE: ACM PANEL
DOUBLE-SIDED
QTY: 1



3mm WHITE ROUTED ACM
PANEL w/ DIGITALLY PRINTED
VINYL GRAPHICS (D1)
APPLIED ON BOTH SIDES

FRONT VIEW
Scale: 3/4" = 1'
N

EXISTING CONDITIONS



SIGN PANEL MOUNTS
TO EXISTING POSTS

PROPOSED



DRAWING
STATUS:
NF
2015 AASHTO

SCALE: AS INDICATED
DRAWING FILE NAME
DA_Nathan_Diffe_185_North_Main_Street
SUSAN_M_KIRBY_LAW_ACN_PANEL_03_17_21.CDR

DESIGNER: Nathan Diffe
ACCOUNT REP NAME: _____
REVISION #: DATE: _____

CLIENT: SUSAN M. KIRBY LAW

DATE: 03/17/2021
SIGN TYPE: ACM PANEL

DIGITAL PRINT
CLAYTON SIGNS
5108 NORTH LAKE DRIVE
LAKE CITY GA 30140
404-361-3800
FAX 404-361-2735
WWW.CLAYTONSIGNS.COM
SINCE 1985



MEMORANDUM

To: Susan M. Kirby, Attorney
185 North Main Street
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 29, 2021

Re: Notification of Request for Design Review Commission – Sign Panel; 185 North Main Street; Parcel No. 13240D C007

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a replacement sign panel for the property located at 185 North Main Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, May 5, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Allen".

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

5.c

-c

COUNCIL MEETING DATE

May 5, 2021

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.) Commission to make a recommendation for Tran Realty – 181 North Main Street; Parcel No. 13240D C005; New wall sign for business in Historic District.	
Requirement for Board Action (Cite specific Council policy, statute or code requirement) City Code Section 86-489 and 86-490 – Sign Standards' Sec. 86-495 Historic District Sign Standards	
Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal) Yes Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation	

Summary & Background (First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of hanging sign design; 181 North Main Street has been a commercial building in the Historic District for many years. Recently, Tran Realty applied for a ground sign permit at the property, requiring Design Review Commission and Historic Preservation Commission review. Because the location of the ground sign was not grandfathered, it had to meet modern setback standards and could not. **The current alternative is a hanging or suspended sign near the entrance.**

Hanging sign means a sign suspended downward from a portion of a building or other structure, usually by a chain, rope, or other device.

Sec. 86-487. - Prohibited signs.

The following signs are prohibited in all zoning districts of the city:

(19) Hanging or suspended signs, except as authorized in sections 86-489(c) and 86-495 (Historic District);

Sec. 86-495. - Historic districts.

The purpose of this section is to ensure that signage in the historic district is harmonious in proportion, form, color, and materials to the character of said district. Visual relatedness is crucial to the goal of an integrated historic district, and signs play a key role in helping to preserve the historical district's sense of time and place, and to achieve the desired effect of charm and compatibility. No sign shall be erected, altered, restored or moved within the historic district until an application for a certificate of appropriateness as to exterior architectural features and signage has been reviewed and approved by the historic preservation commission and the design review commission. All proposed changes requiring a certificate of appropriateness shall comply with the applicable design standards in the 2005 zoning ordinance.

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- (2) *Compatibility. As to signs, buildings, structures, and uses within the historic districts, when a provision of this section conflicts with any section in the balance of this article, the provision of this section shall control. Otherwise, to the extent reasonably possible, the provisions of this section shall be interpreted consistent with the provisions of the balance of this article.*
- (3) *Signage standards.*

a. *General. Signage shall complement the architectural details of the building and shall not violate or otherwise*

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date May, 5, 2021	
Signature	City Clerk's Office	

obscure the architecture of the building to which it is attached. Signs, lettering, or boxed graphics shall cut across columns, cornices, windowsills, arches or balconies, nor extend above the roofline (except for parapets and mansards) of any building to which it is attached.

5.c

- b. Lettering, size, and content. Letters can be painted or mounted directly on a signboard, storefront, wall or window, if in proportion to the storefront. Lots in the H-1 and H-2 historic districts are allowed the same amount of signage as lots outside of the H-1 and H-2 historic districts. In the H-1 and H-2 historic districts, canopy signs and hanging or suspended signs may be utilized. Provided, however, in no case may the total signage area exceed ten percent of the building face to which the sign is attached. Acceptable lettering materials include wood, stone, synthetic stone, metal, and acrylic. The overall design of all signage shall be compatible with the turn-of-the-century theme of the historic district.
- c. Materials. Signs may be constructed of concrete, brick, wood, stone, metal, glass, or synthetic materials that have the same appearance of the aforementioned natural materials due to their finish. All materials shall be compatible with the building's architecture and should be colorfast and resistant to corrosion. Signs shall be professionally finished in accordance with the material selected, whether by sanding, painting, staining and/or sealing, with the edges of the sign framed out and/or sealed.
- d. Lighting. All signs in the historic district, whether ground signs or wall signs, shall only be illuminated by an external light source, and through craftsmanship and materials, shall reflect the design aesthetics of the historic district.
- e. Colors. The historic preservation commission and the design review commission shall consider the context of the surrounding area when reviewing the color of a proposed sign in the historic districts; however, the colors and logos of nationally and regionally recognized businesses shall not be prohibited.
- f. Awning and canopy signs. Awnings or canopies over doors, entrances, windows or outside service areas are permitted in the H-1 historic district. Professionally applied forms, graphics, symbols, lettering, or other visual presentation may be incorporated into the awning or canopy valance/drop flap but are restricted to 20 percent of the awning field. Size of the signage shall be computed as for a wall sign. Signage pursuant to this subsection shall be included within the overall amount of signage allowed under section 86-489. Awnings or canopies shall clear sidewalks by seven feet in height, and project no more than six feet from the building. Canvas or synthetic look-alike canvas are the only materials permitted for awnings and canopies. Metal or vinyl may be approved for awnings or canopies if the overall design is consistent with the H-1 historic district's turn-of-the-century theme. Awnings or canopies may not be backlit. Metal awnings and canopies are preferred.
- g. **Hanging or suspended signs.** Hanging, suspended, or projecting signs are permitted and shall clear sidewalks by seven feet in height, and project or drop no more than 36 inches from the building. Hanging or suspended signs should project or drop from a wall or roof at a 90-degree angle. Hanging or suspending signs over driveways, alleys, or parking areas is prohibited. Hanging, suspended, or projecting signs shall be limited to a maximum size of six square feet, and if double sided, shall be calculated as only one sign. One hanging, suspended, or projecting sign per business is permitted, and shall be calculated as part of the total signage area allowed under section 86-489. Attractive hardware for hanging is encouraged.
- h. Window signs. Interior window signs shall not exceed 25 percent of the total window area exposed to public view. Window signs shall not be included within the overall amount of signage allowed under section 86-489.
- i. Special events. Additional signage is permitted in the historic district under section 86-494, provided that all such additional signage conforms to the aesthetic standards of the historic district.
- j. Ground signs. Ground signs may hang or suspend from a horizontal support that is affixed to the ground by vertical post.
- k. A-frame signs. A-frame or "sandwich" signs are allowed at the rate of one per business or parcel. A-frame signs shall not obstruct pedestrian or vehicular routes.

g. Hanging or suspended signs.

- Hanging, suspended, or projecting signs are permitted and shall clear sidewalks by seven feet in height, and project or drop no more than 36 inches from the building. **The proposed sign would not actually be over the sidewalk (just to the side of it). The sign would project 26 inches from the building.**
- Hanging or suspended signs should project or drop from a wall or roof at a 90-degree angle. **The proposed sign would drop at a 90-degree angle.**
- Hanging or suspending signs over driveways, alleys, or parking areas is prohibited. Hanging, suspended, or projecting signs shall be limited to a maximum size of six square feet, and if double sided, shall be calculated as only one sign. **The proposed sign would just be over the ledge of a concrete stair. The sign would be 4 square feet (each side).**
- One hanging, suspended, or projecting sign per business is permitted, and shall be calculated as part of the total signage area allowed under section 86-489. Attractive hardware for hanging is encouraged. **Only one new**

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Property Picture
- Property Picture2
- TRAN REALTY BLADE SIGN - 03_15_21
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

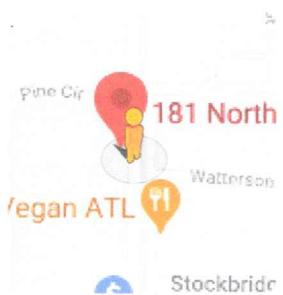


Image capture: Jun 2019 © 2021

Jonesboro, Georgia



Street View



Google Maps N Main St



Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



SIGN TYPE: BLADE SIGN

DOUBLE-SIDED

QTY: 1



P1 PAINT - BLACK

D1 DIGITAL PRINT



5198 NORTH LAKE DRIVE
LAKE CITY, GA 30260
404-361-3800
FAX 404-361-7038
WWW.CLAYTONSIGNS.COM

DATE - 3 / 01 / 2021
SIGN TYPE
BLADE SIGN

CLIENT
TRAN REALTY

REVISIONS:
REVISION # - DATE

DESIGNER Nathan Diffee
ACCOUNT REP. SF

SCALE: AS INDICATED
DRAWING FILE NAME
0:\ Nathan Diffee\ TRAN REALTY \ TRAN
REALTY BLADE SIGN - 03_15_21.CDR

DRAWING STATUS:



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PAGE
1



MEMORANDUM

To: Thanh Tran
181 North Main Street
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 29, 2021

Re: Notification of Request for Design Review Commission – Sign Panel; 181 North Main Street; Parcel No. 13240D C005

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a new sign panel for the property located at 181 North Main Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, May 5, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Allen".

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

5.d

-d

COUNCIL MEETING DATE

May 5, 2021

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.) Commission to make a recommendation for Event Center – 127 Jonesboro Road; Parcel No. 13240B E001; New ground sign for business.	
Requirement for Board Action (Cite specific Council policy, statute or code requirement) City Code Section 86-488, 86-489 and 86-490 – Sign Standards	
Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal) Yes Beautification, Community Planning, Neighborhood and Business Revitalization	

Summary & Background (First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Denial of current LED sign design; Last year, the applicant sought approval of a ground sign alteration, window signs, and a change in the building's exterior color. The property is not located in any Overlays or in the Historic District. It is zoned O&I.

With the coming hearing on the event center (May), the applicant has formalized a site plan and landscape plan for the property, including the addition of an LED sign panel on top of the ground sign in the front yard.

Sec. 86-490. - Regulated signs.

- (a) *Ground signs, which are permanent, shall be permitted in non-residential zoning districts. No ground sign shall have a height greater than six feet above normal grade, or a sign face area greater than 35 square feet (each side) for lots with a single building and 45 square feet (each side) for planned centers. No portion of a ground sign shall not be located within ten feet of a street right-of-way or within 50 feet of any other permanent sign, major structure or building. Changeable copy shall not exceed 33 percent of the area of the sign face. Ground signs are allowed only on lots upon which there is a building which is currently occupied pursuant to a current and valid certificate of occupancy issued by the city or which is currently being developed under an active building permit issued by the city.*
- (b) *Wall signs shall be permitted in non-residential zoning districts. Permitted area of wall signs shall not exceed 150 square feet. No single building or unit shall be permitted more than one wall sign except for multiple frontage lots as provided in section 86-489(b)(1). Wall signs are allowed only upon a building which is currently occupied pursuant to a current and valid certificate of occupancy issued by the city or which is currently being developed under an active building permit issued by the city.*
- (c) *Electronic message center signs are permitted freestanding signs in a non-residential zoning district subject to the following:*
 - (1) *A maximum of one electronic message center sign is allowed per lot;*
 - (2) *An electronic message center sign shall not exceed 33 percent of the total sign face area of the freestanding sign on which the electronic message center sign is located;*
 - (3) *Each message (electronic changeable copy) displayed on an electronic message center sign shall remain static for at least ten seconds following the completion of its transition from the previous message. As used in this subsection, "static" shall mean a display that is fixed in one position with no portion of the display being in motion or changing in color or intensity. An exception will be made to this restriction for electronic, real-time displays of time and temperature.*
 - (4) *Electronic message center signs shall have automatic dimming capability that adjusts the brightness to the ambient light at all times of the day and night so as to comply with the provisions stated in sections 86-493(j) and (k); and*
 - (5) *No display of flashing or moving graphics or animation shall be allowed;*
 - (6) *Electronic message center signs are only permitted in the following zoning districts:*

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date May, 5, 2021	
Signature	City Clerk's Office	

C-1 neighborhood commercial district.

C-2 highway commercial district.

O&I office and institutional district.

MX mixed use district.

M-1 light industrial district.

While the approximate 7-foot height of the pre-existing sign framework is grandfathered, adding a new sign panel to the top of the framework will put the total height at about 8 feet, 2 feet above what is allowed by Code (without a variance). The LED sign would be about 20% of the total sign face, which complies with Code. Without an approved variance for height, however, the current design cannot be recommended for approval. Or change the location.

Fiscal Impact	(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)
Private Owner	
Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)	
<ul style="list-style-type: none">• LED Signs• Site Plan• Landscape Plan• Acceptance Letter 5.5.21• Ground Sign May 2021	

Staff Recommendation (Type Name, Title, Agency and Phone)

Denial



()

FREE SHIPPING USA & CANADA



CALL TO ORDER 888-885-7740 (TEL:888-885-7740)
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About Us (/#we-are-the-best) • News (<https://www.tvliquidator.com/blog>) •

Email info@tvliquidator.com (mailto:info@tvliquidator.com) • Zillion Happy Customers  (our-customers)

MULTICOLOR LED SIGNS

THE BEST QUALITY AT THE LOWEST PRICES
 ALL SIZES IN STOCK NOW WITH FREE SHIPPING



Call David Ext 105

for Order

Size
(Custom Size)

88" x 13"

3 color Led (Yellow/Red/Green)

Two Rows

\$1385 each

\$2770 for two w/shipping & Tax included

PARKING @
FUNFLATABLEZ
EVENT CENTER

2 CAR GARAGE
WAREHOUSE
OVERFLOW
PARKING

EXIT

Speed Bump

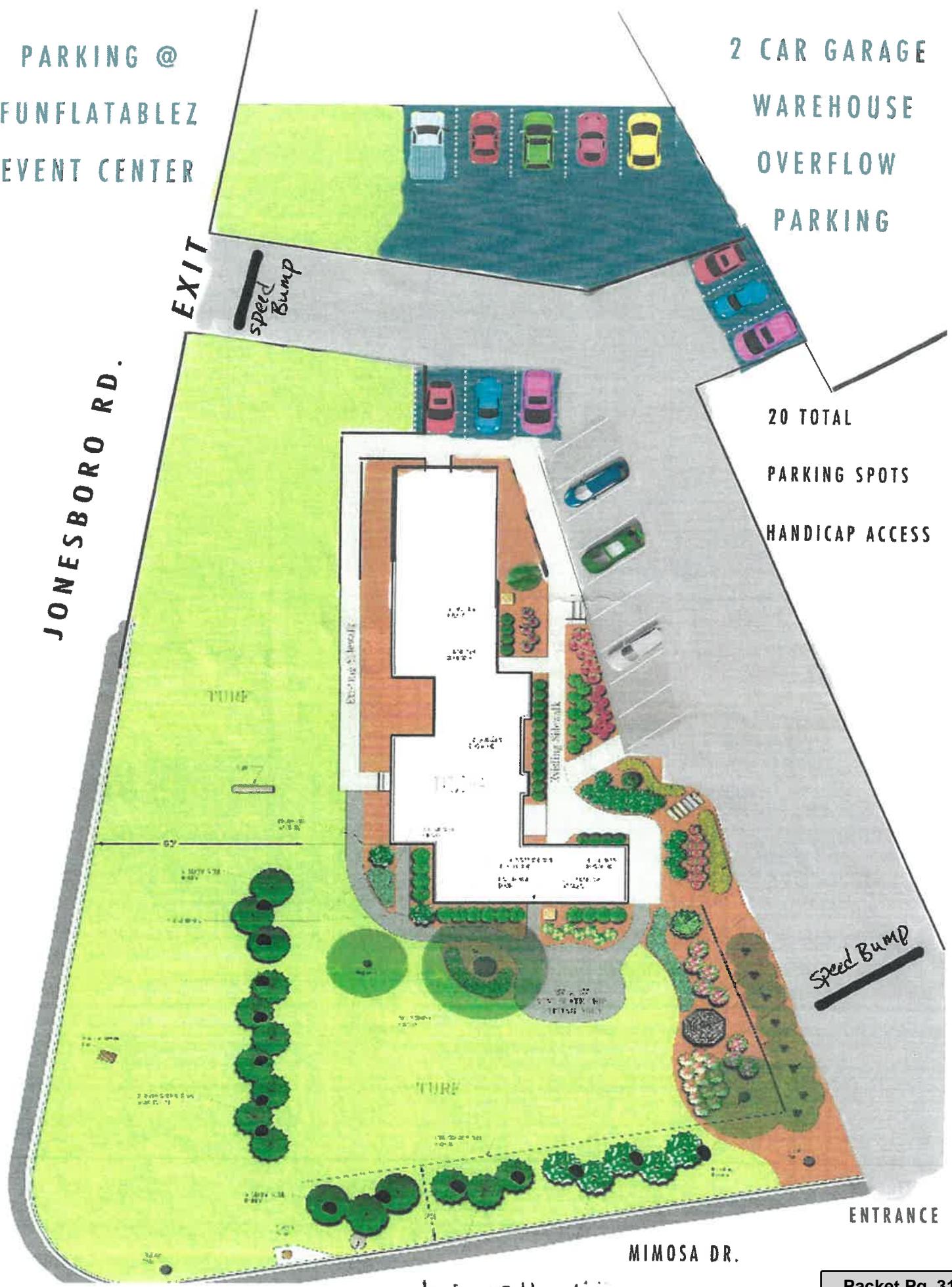
JONESBORO RD.

20 TOTAL
PARKING SPOTS
HANDICAP ACCESS

Speed Bump

MIMOSA DR.

ENTRANCE







MEMORANDUM

To: Cyrel Foote
127 Jonesboro Road
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: May 5, 2021

Re: Notification of Request for Design Review Commission – Sign; 127 Jonesboro Road; Parcel No. 13240B E001

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a new sign panel for the property located at 127 Jonesboro Road, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, May 5, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "David D. Allen".

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary

Agenda Item #

5.e
-e

COUNCIL MEETING DATE
May 5, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action *(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)*

Commission to make a recommendation for Pure Beauty Bar – 244 North Main Street; Parcel No. 13240B E006A; New wall sign and ground sign panel for business in commercial center.

Requirement for Board Action *(Cite specific Council policy, statute or code requirement)*

City Code Section 86-489 and 86-490 – Sign Standards

Is this Item Goal Related? *(If yes, describe how this action meets the specific Board Focus Area or Goal)*

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of sign designs; Pure Beauty Bar has been located in the commercial center at 244 North Main Street for a couple of years. They are proposing to install a double-sided sign panel in the existing ground sign framework at the front of the parking lot (see picture), where several other business signs have been in the past. Also, they are proposing to install a one-sided wall sign panel on the front portion of the building above the entrance. The property is not in any Overlay or Historic District.

The new ground sign panel (metal) will be in the pre-existing sign frame at the front of the parking lot and building sidewalk and will not exceed the panel framework. The size (each side) will be 32 square feet, which is below the 35 square feet maximum allowed in Section 86-490(a) for ground sign panels in planned centers. The white, blue, pink and yellow color scheme of the sign will not conflict with nearby businesses. The framework has been there for many years and has hosted many different businesses. The sign will not be illuminated.

The new wall sign panel (metal) will be located on the red sloped roof portion above the entrance door, as have other business signs. The panel size will be 16 square feet, 6.67% of the total store façade and below the 7.5% maximum allowed in Section 86-489(b). The white, blue, pink and yellow color scheme of the sign will not conflict with nearby businesses. The sign will not be illuminated.

If approved, staff recommends that the blue and white signs in the windows – “Now Open Pure Beauty Bar...” be removed as they would be redundant and take up much of the window space.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Ground Sign Panel Design
- Wall Sign Panel Design
- Ground Sign Panel Design2
- Wall Sign Panel Design2

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

May, 5, 2021

Signature

City Clerk's Office

- Property Pictures
- Acceptance Letter

5.e

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval

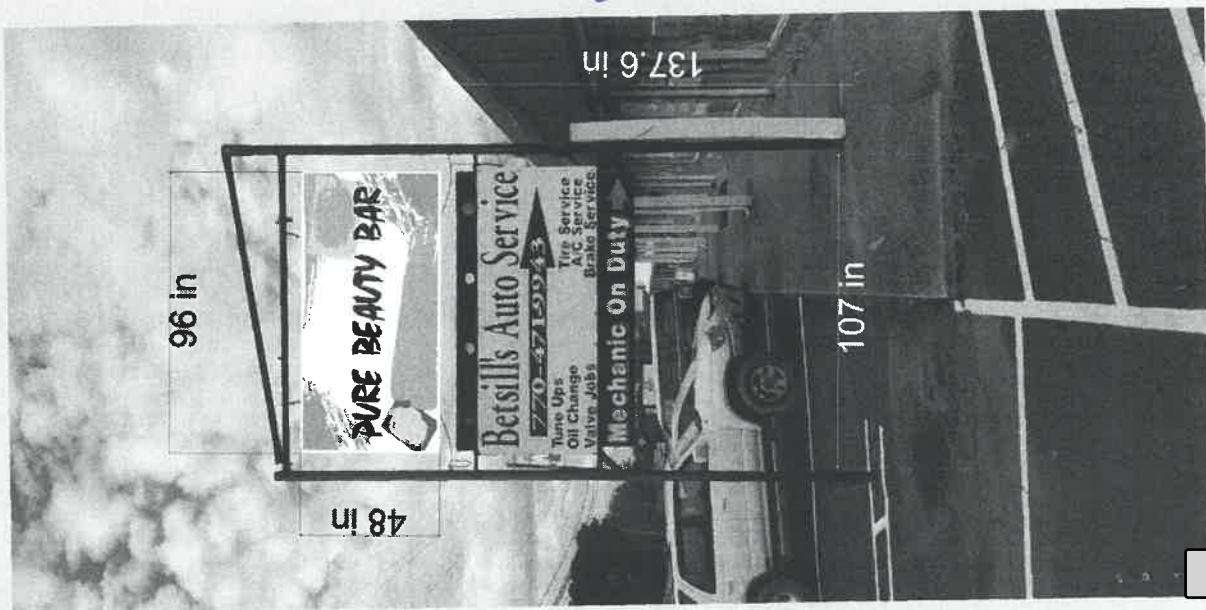
96 in

81 ft



48 in

4 ft





Attachment: Wall Sign Panel Design (1881 : 244 North Main Street Signs)







24 in

96in



Google Maps 242 N Main St

Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View









MEMORANDUM

To: Dorian Zachery
8284 Holly Drive
Jonesboro, Ga. 30238

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 30, 2021

Re: Notification of Request for Design Review Commission – Signs; 244 North Main Street; Parcel No. 13240B E006A

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of new sign panels for the property located at 244 North Main Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, May 5, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "David D. Allen".

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary

Agenda Item #

5.f
-f

COUNCIL MEETING DATE
May 5, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make a recommendation for Willie Middleton II – 120 North McDonough Street; Parcel No. 13241B F004; New deck for rear of commercial building in Historic District.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-102 H1 Historic District Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency Recommendation – Approval of rear deck and patio design; Recently approved for an event center at the subject property, the applicant recently submitted plans to build a long, low deck at the rear of the building. While the deck would not be visible from North McDonough Street, it would be visible from adjacent King Street, thus requiring Design Review and Historic Preservation review.

The proposed deck is all wood, 10 feet wide and 50 feet long (500 square feet), coming from the rear entrance of 120 North McDonough Street and covering a grassy area between two paved parking areas. The deck floor is drawn at 12" with one step on each end and the beams resting on the footings. The railings on the north side are 36" high, for a total height of 4 feet. On the south side, there is a wood wall/screen railing, which is 75" (6.25 feet) tall. There will also be a covered patio between the deck and the actual exterior wall of the building.

The property is also in the Historic District (H-1), which does not have specific accessory standards listed. However, the deck cannot be readily seen from the road and would be a definite improvement to the grass areas that is there now. A gathering deck and patio associated with the event center would bring more vitality to this rear parking area. **The color of the paint or stain needs to be discussed. Also, staff recommends that the wall/screen railing be further adorned with ornamental vines and/or decorative lighting.**

All new renovations would have to be properly permitted and inspected.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Construction Plans
- Site Plan
- Deck Location
- Property Pictures
- Acceptance Letter

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

May, 5, 2021

Signature

City Clerk's Office

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

5.f

BASEMENT RENOVATION and DECK ADDITION

120 N McDonough St
Jonesboro, GA 30236

SCOPE OF WORK:

Renovate Basement adding two bathrooms and a kitchen.

Occupancy Load Calculation:

Assembly without fixed seats

Concentrated (chairs only – not fixed)	7 Net
Standing Space	5 Net
Unconcentrated (tables and chairs)	15 Net

1287 sf/7 net = 180 Max Occupancy

SQUARE FOOTAGE:

Existing Basement 3112 sf

Existing Patio 158 sf

Proposed Basement 3112 sf

Proposed Patio 158 sf

Proposed Deck 500 sf

EXISTING TOTAL: 3270 sf

PROPOSED TOTAL: 3770 sf

Layout Page Table	
Label	Title
A0	Cover Sheet
A1.1	Existing Floor Plan
A1.2	Proposed Floor Plan
A2.1	Proposed Deck Elevations
A4.1	Life Safety Plan
D1	Deck Framing
D2	Deck Framing

APPLICABLE CODES:

International Building Code, 2018 Edition, with Georgia Amendments (2020)

International Residential Code for One- and Two-Family Dwellings, 2018 Edition, with Georgia Amendments (2020)

International Existing Building Code, 2018 Edition, with Georgia Amendments (2020)

International Fire Code, 2018 Edition, with Georgia Amendments (2020)

International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)

International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)

International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)

National Electrical Code, 2020 Edition, with no Georgia Amendments

International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)

2018 NFPA 101 - Life Safety Code with State Amendments (2020)

5.f.b

NUMBER	DATE	REVISION	TABLE	DESCRIPTION

RELEASED FOR CONSTRUCTION

Basement Renovation
120 N McDonough St

Attachment: Construction Plans (1882 : 120 North McDonough Street - Deck)

Ascendant

DATE:
3/31/20
SCALE:
SHEET:
A0

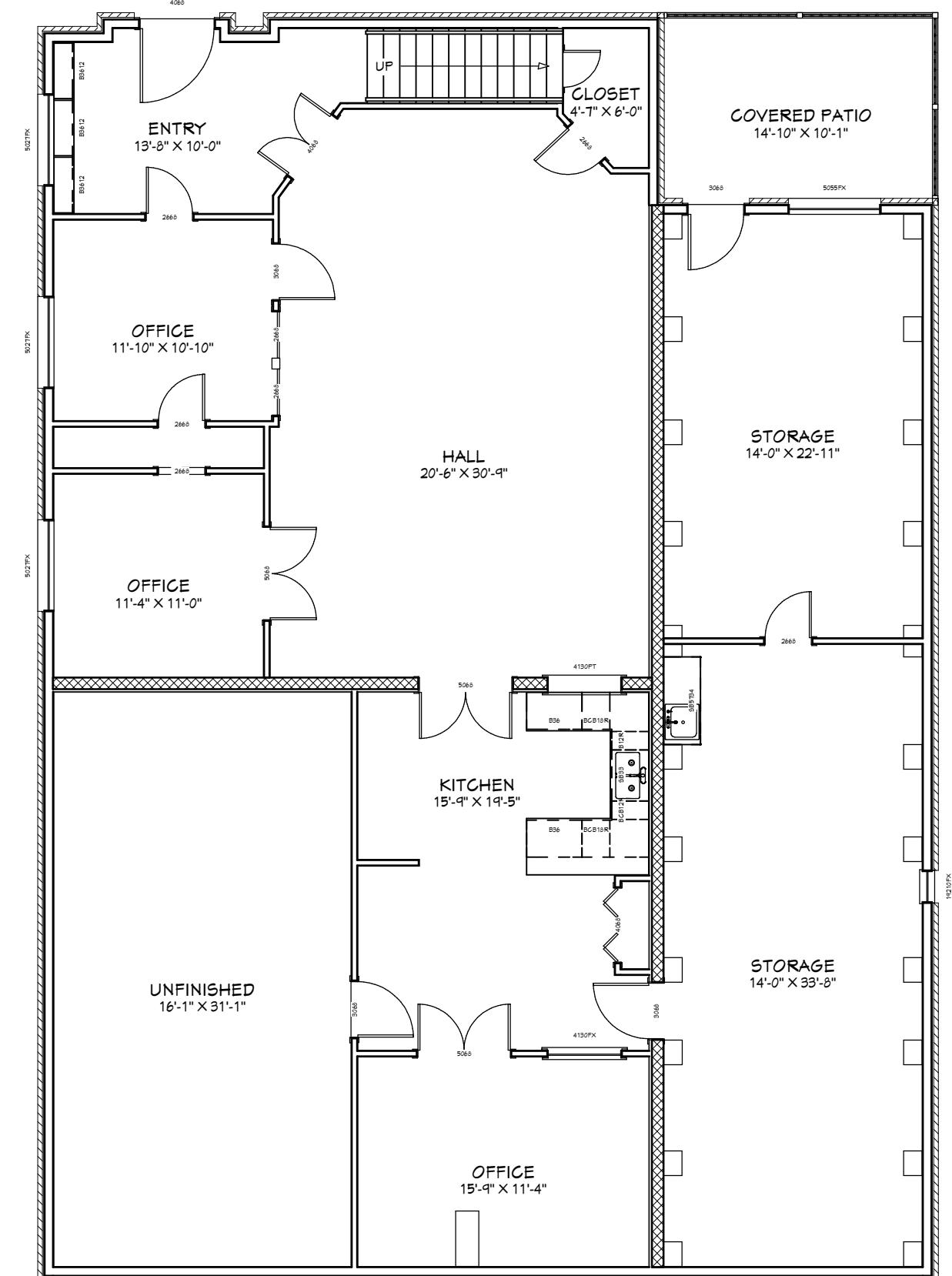
5.f.b

RELEASED FOR CONSTRUCTION

120 N McDonough St
Basement Renovation

ATE:
31/20
CALE:
HEET:

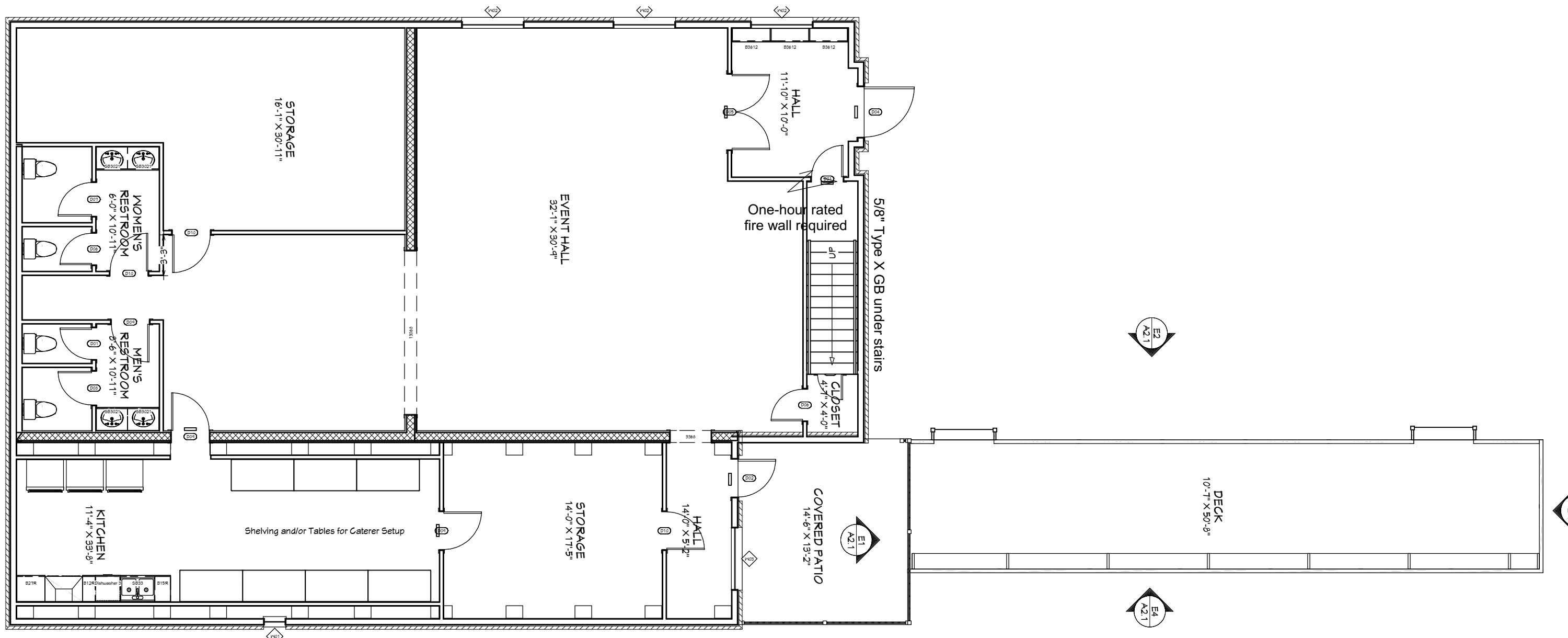
A1.



Existing Floor Plan

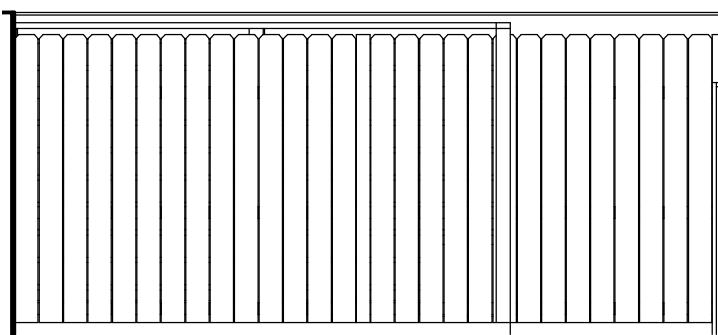
Packet Pg. 48

NUMBER	DESCRIPTION	REVISED BY	REVISION TABLE

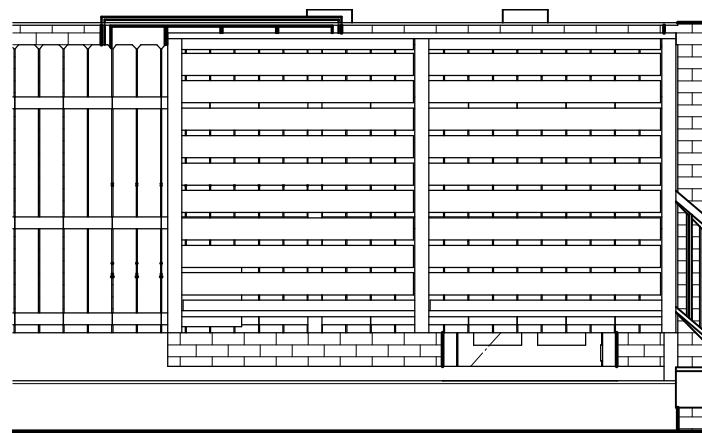


WINDOW SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	EGRESS	DESCRIPTION
W01	19210FX	1	1	19210FX	22"X34 1/2"		FIXED GLASS
W02	5027FX	3	1	5027FX	60 1/2"X32"		FIXED GLASS
W03	5055FX	1	1	5055FX	61"X66"	YES	FIXED GLASS

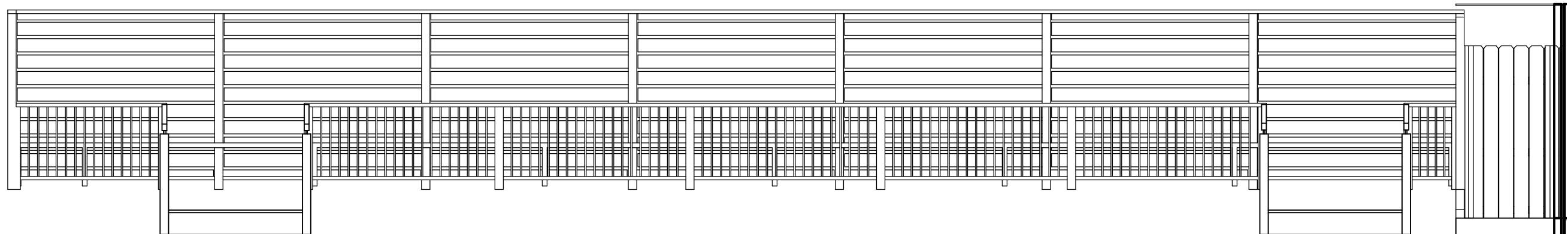
DOOR SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER
D01	2668	2	1	2668 R IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)
D02	3068	1	1	3068 L EX	38"X83"	EXT. HINGED-DOOR E21	2X6X41" (2)
D03	2068	1	1	2068 L IN	26"X82 1/2"	HINGED-DOOR P04	2X6X26" (2)
D04	4068	1	1	4068 L EX	50"X83"	EXT. HINGED-DOOR E21	2X8X53" (2)
D05	6068	1	1	6068 L/R IN	74"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X77" (2)
D06	2668	2	1	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)
D07	2868	1	1	2868 L IN	34"X82 1/2"	HINGED-DOOR P04	2X6X37" (2)
D08	2868	1	1	2868 R IN	34"X82 1/2"	HINGED-DOOR P04	2X6X37" (2)
D09	3068	3	1	3068 L IN	38"X82 1/2"	HINGED-DOOR P04	2X6X41" (2)
D10	3068	3	1	3068 R IN	38"X82 1/2"	HINGED-DOOR P04	2X6X41" (2)



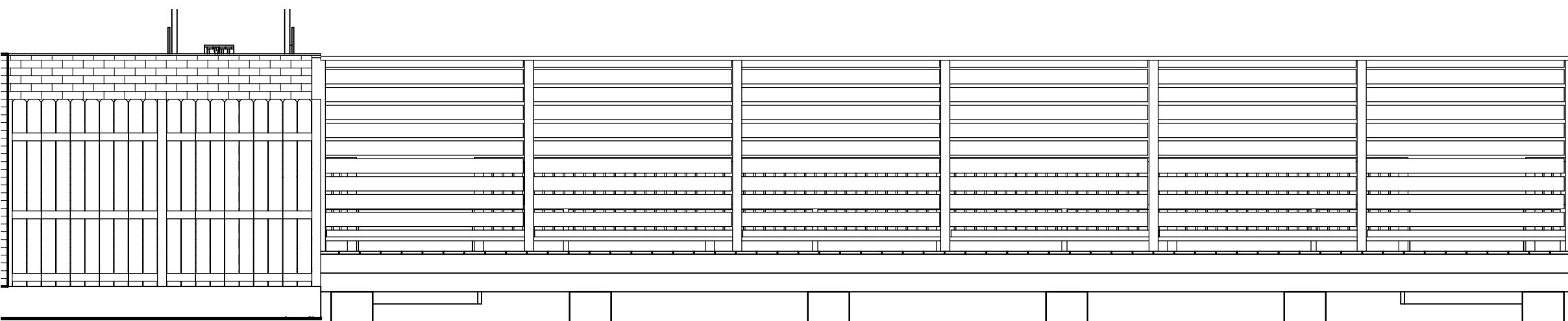
Deck Elevation Front
Scale: 1/4" = 1'



Deck Elevation Back
Scale: 1/4" = 1'



Deck Elevation Left
Scale: 1/4" = 1'



Deck Elevation Right
Scale: 1/4" = 1'

DATE:
3/31/20
SCALE:
SHEET:

A2.1

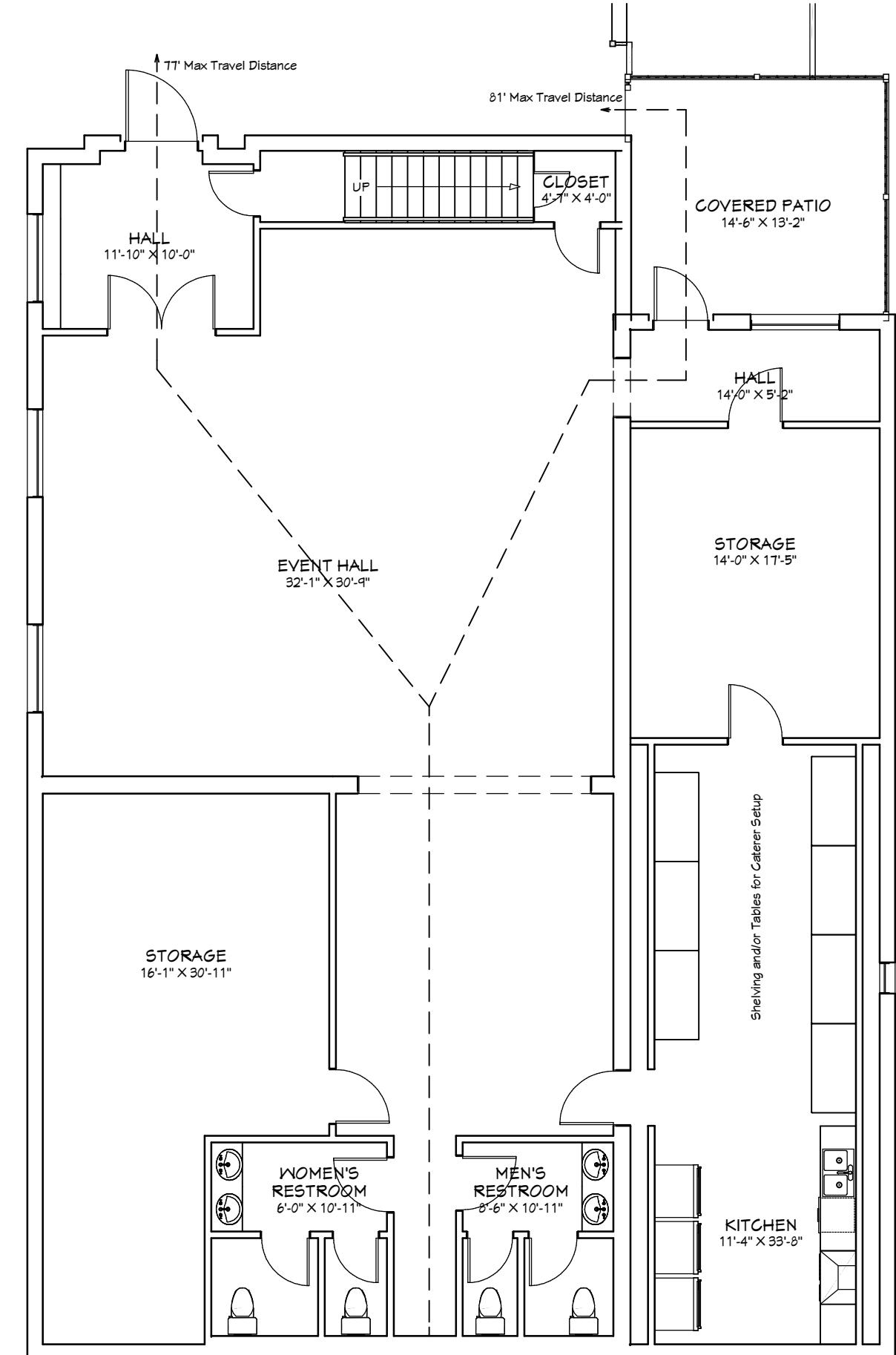
Packet Pg. 50

NUMBER	REVISION	DATE	REvised BY	DESCRIPTION

RELEASED FOR CONSTRUCTION

Basement Renovation
120 N McDonough St

Attachment: Construction Plans (1882 : 120 North McDonough Street - Deck)



Proposed Life Safety Plan
Scale: 1/8" = 1'

5.f.b

NUMBER	DESCRIPTION	REVISED BY	REVISION TABLE

RELEASED FOR CONSTRUCTION

Basement Renovation
120 N McDonough St

Attachment: Construction Plans (1882 : 120 North McDonough Street - Deck)

DATE:
3/31/20;
SCALE:
SHEET:

A4.1

NUMBER	REVISION	DATE	REvised BY	DESCRIPTION

DATE: 3/31/20
SCALE:
SHEET: D2
Packet Pg. 53

Figure 8A. Post-to-Beam Attachment Requirements.

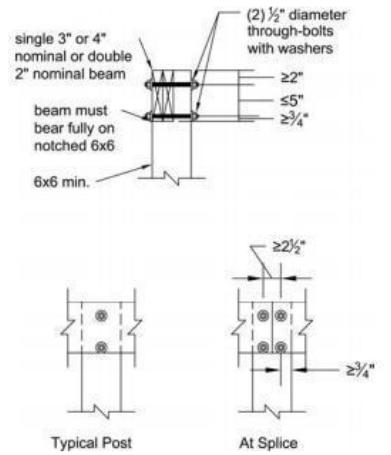


Figure 11. Rim Joist Connection Details.

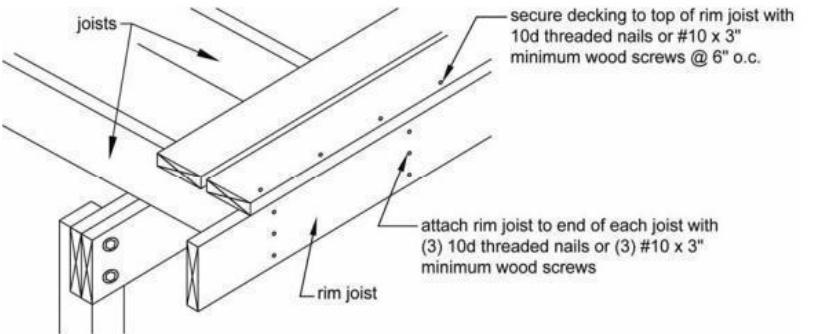


Figure 34. Stair Footing Detail.

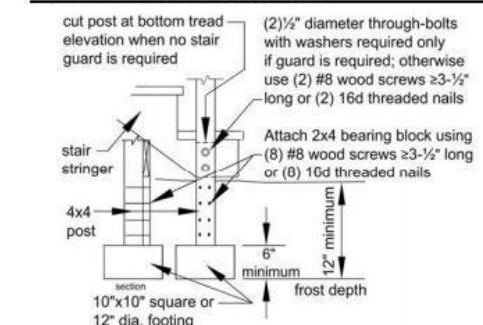


Figure 24. Example Guard Detail.

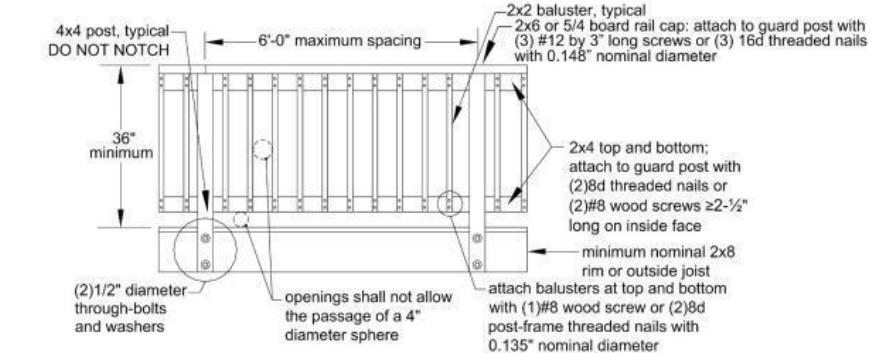


Figure 26. Guard Post to Rim Joist Example.

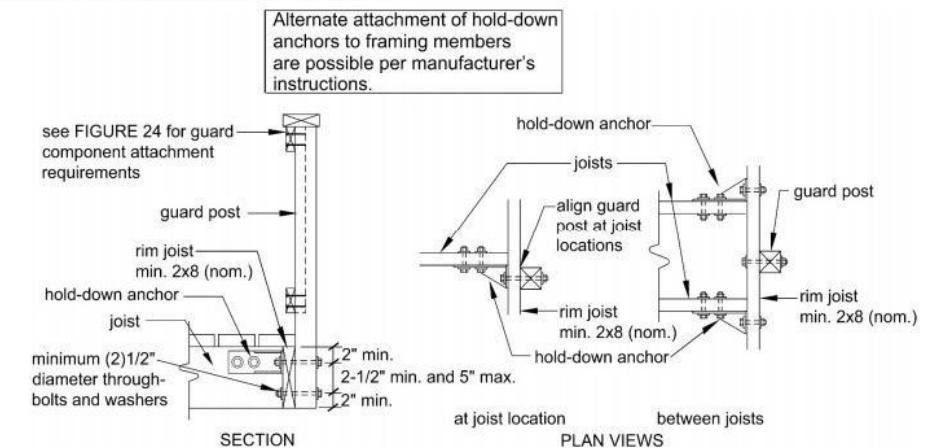


Figure 25. Guard Post to Outside-Joist Example.

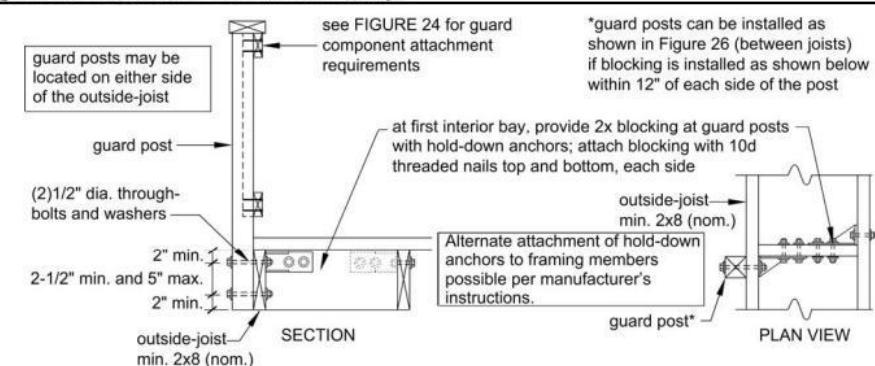


Figure 27. Tread and Riser Detail.

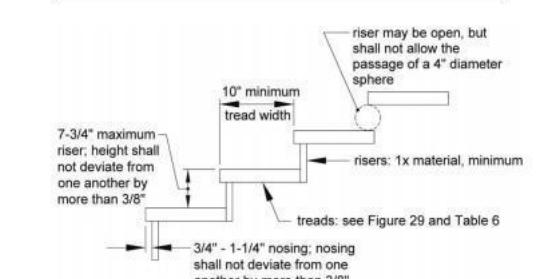
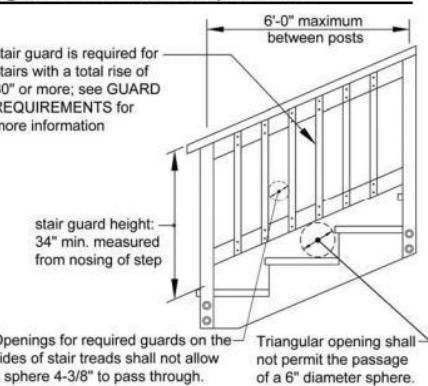


Figure 30. Stair Guard Requirements.



ZONING: H1

SETBACK

FRONT: 00'

SIDE: 00'

REAR: 00'

MIN. LOT FRONTAGE: 00'

MAX LOT COVERAGE: 00%

BOUNDARY REFERENCES:

1. SUBJECT DEED BOOK 11109, PAGE 539-545

2. PLAT BOOK 25, PAGE 165

3. SEE ADDONERS

ADDRESS

120 & 122 N MCDONOUGH STREET

JONESBORO, GEORGIA, 30236

FLOOD NOTE

AS PER THE F.I.R.M. FLOOD INSURANCE RATE MAP CITY OF JONESBORO

COMMUNITY PANEL NO. 13063 C 0088 F DATED JUNE 07, 2017. THIS

PROPERTY IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

THIS SITE DOES LIES WITHIN ZONE "X".

LEGAL DESCRIPTION

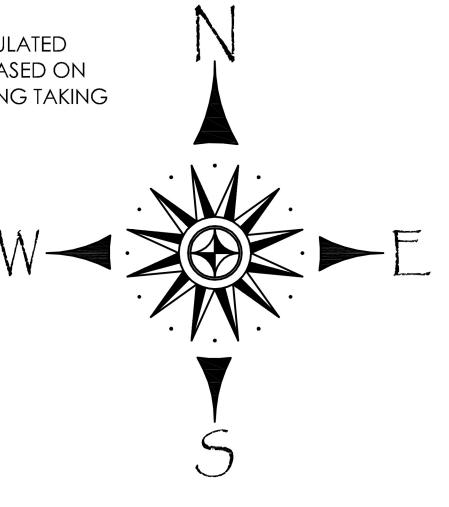
All that tract or parcel of land lying and being in

Beginning at the intersection formed by the northwesterly

Said Tract or Parcel contains 000,000 square feet or 0.000 acres as.

BUILDING OWNER: MCKENZIE BROTHERS REALTY GROUP

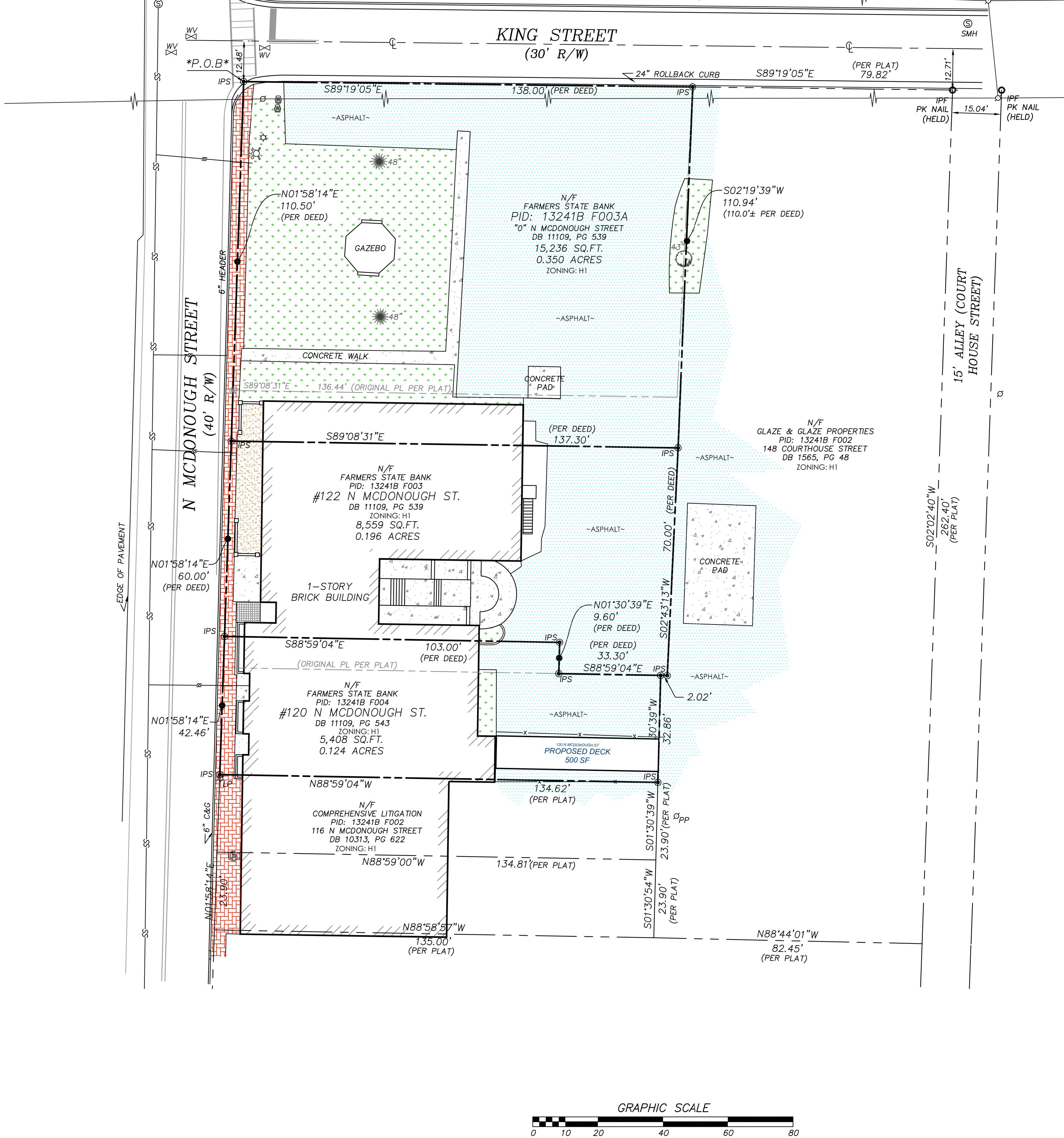
EVENT SPACE APPLICANT: JONSEY'S (WILLIE MIDDLETON II)

PID 13241B F003A
TOTAL SITE AREA
15,236 SQ. FT.
0.350 ACRES122 N MCDONOUGH STREET
TOTAL SITE AREA
8,559 SQ. FT.
0.196 ACRES120 N MCDONOUGH STREET
TOTAL SITE AREA
5,408 SQ. FT.
0.124 ACRESTOTAL SITE AREA
106,555 SQ. FT.
2.446 ACRESALL BEARINGS ARE CALCULATED
FROM ANGLES TURNED, BASED ON
SINGLE MAGNETIC READING TAKING
IN FIELD.TITLE COMMITMENT
COMMITMENT NO. XXXX

EFFECTIVE DATE: DATE

SCHEDULE B - SECTION II

12. DEED BOOK PAGE

(AS SHOWN, N/A, NOT PLOTTABLE)
(TEXT)

SURVEYOR'S CERTIFICATE

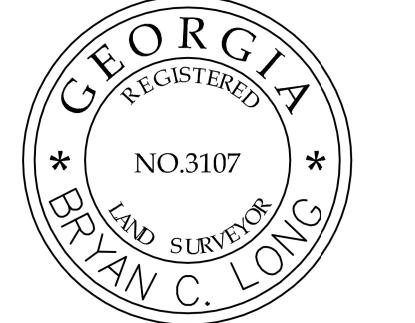
To NAME, NAME, NAME:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and include items 1 thru 4, 6(b), 7(a) and (b)(1), 8 thru 10, 11(a), 13, 16, 18 thru 20(a) of Table A of said requirements.

The field work was completed on JUNE 18, 2020.

This ____ day of _____, 2018.

X _____



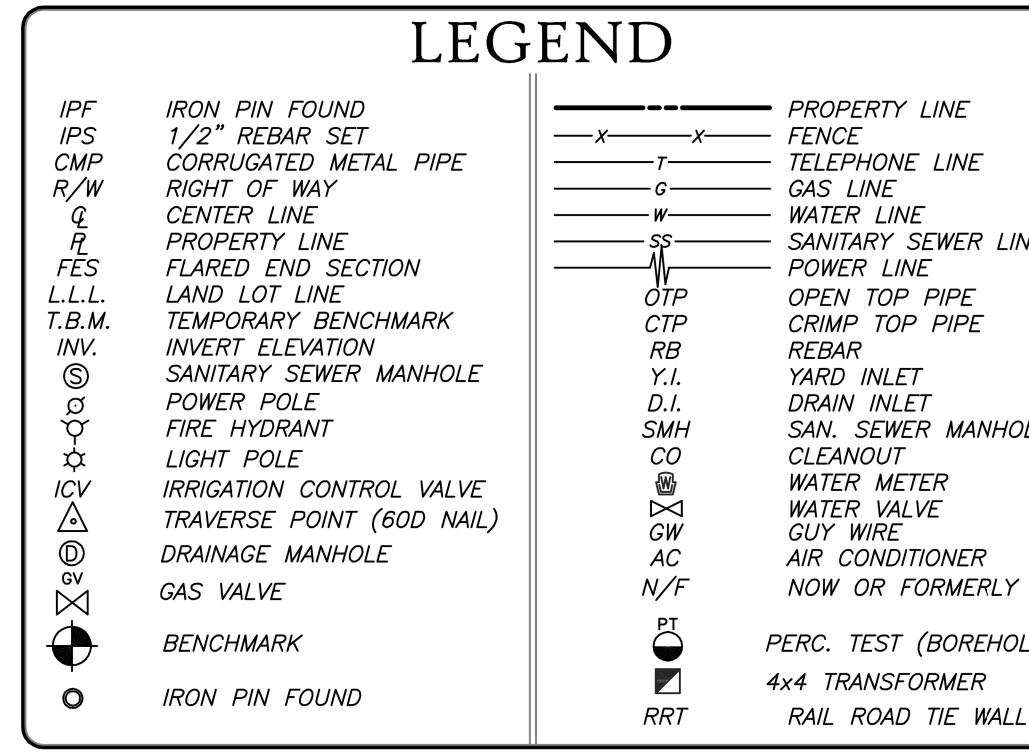
THIS SURVEY ONLY INCLUDES OBJECTS THAT ARE VISIBLE
AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES
OR OTHER OBJECTS THAT ARE NOT APPARENT BY
VISUAL OBSERVATION, I.E. UNDERGROUND GAS TANKS,
GAS LINES, WATERLINES, SEWER LINES, ETC.

FIELD DATA STATEMENT:

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED
HAS A CLOSURE PRECISION EXCEEDING ONE FOOT IN 43,535
FEET AND AN ANGULAR ERROR OF 2.25 SECONDS PER ANGLE
POINT AND WAS ADJUSTED USING COMPASS RULE.

A TOPCON ES-150 INSTRUMENT WAS USED TO OBTAIN THE
LINEAR AND ANGULAR MEASUREMENTS FOR THE PREPARATION
OF THIS PLAT.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS
FOUND TO EXCEED 1 IN 250,000+



ALTA/NSPS LAND TITLE SURVEY FOR
MCKENZIE BROTHERS REALTY GROUP
120 N MCDONOUGH STREET, JONESBORO, GEORGIA 30236

REVISIONS:

DEED BOOK 11109, PAGE 539-545

LAND LOT 241 of the 13th DISTRICT

CLAYTON COUNTY, GEORGIA

DATE: 06/25/2020

MERIDIAN GEOMATICS, LLC
Land Surveying ~ Residential, Commercial & Municipal

216 Powers Ferry Road
Marietta, Georgia 30067
phone: (770) 675-6197
surveyingatlanta@gmail.com

DRWN BY
S.C.D.
JOB NO.
2020-133

120 N McDonough - Existing Location for Proposed Deck





Attachment: Property Pictures (1882 : 120 North McDonough Street - Deck)



Attachment: Property Pictures (1882 : 120 North McDonough Street - Deck)



MEMORANDUM

To: Willie Middleton II
3162 Dogwood Drive
Hapeville, Ga. 30354

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 30, 2021

Re: Notification of Request for Design Review Commission – Deck; 120 North McDonough Street; Parcel No. 13241B F004

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a deck for the property located at 120 North McDonough Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, May 5, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Allen".

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

5.g

-g

COUNCIL MEETING DATE

May 5, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action *(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)*

Commission to make a recommendation for Roger and Kathy Swint – 186 North McDonough Street; Parcel No. 13240D A029; Replacement metal roof for building in Historic District.

Requirement for Board Action *(Cite specific Council policy, statute or code requirement)*

City Code Section 86-103 H-2 Historic District Standards; Secretary of Interior Historic Design Standards

Is this Item Goal Related? *(If yes, describe how this action meets the specific Board Focus Area or Goal)*

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of replacement roof; The Swint family has owned the residence located at 186 North McDonough Street for many years. The property is zoned H-2 and is in the Historic District. Recently, the applicant applied for a Certificate of Appropriateness to replace the worn metal roof on the front of the dwelling, as well as the asphalt shingle roof on the attached garage at the back. The existing roof at the front is already silver / white colored metal shingles, which have deteriorated over the years. **The owner and contractor are proposing a low-rib, 29-gauge, Galvalume, metal panel as a replacement for the entire roof (including the garage at back). The new panels would have a different rib line than the existing metal roof and would be a grayish white color.**

Per Section 86-103:

(I) Design standards. In order to preserve the physical character of existing historic structures in the H-2 historic district, every effort shall be made to adapt the property in a manner that complements the historic character of the area when making exterior alterations to the existing building, site, or environment. New construction shall also be appropriate for the district in design, placement, and scale.

(1) Rehabilitation. Maintaining the existing historic design, materials, and details of structures in the H-2 district is encouraged. Rehabilitative efforts shall include the use of materials that are compatible with the architectural style of the historic building (see article VII, Architectural style and scale, for guidance on specific historic styles and building materials traditionally found in Jonesboro.)

a. Roofs.

1. The existing pitch and shape of the roof shall be maintained.
2. The shape, style, and placement of historic dormers shall be maintained.
3. The addition of dormers to the front facade where none previously existed is prohibited.

4. Existing roof materials shall be replaced with the same type of historic material or with that which closely resembles the existing material.

5. Decorative brackets, cornices, and eaves shall be maintained.
6. Historic chimneys shall be maintained.
7. New chimneys shall use traditional design and materials, and their placement shall be appropriate for the architectural style of the structure.

Article VII, Architectural Style and Scale, does not specifically address roofing material.

The Secretary of Interior Historic National Standards reference the following about preserving historic roofs and roof replacement:

Roofs

Identify, retain, and preserve

A

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

May, 5, 2021

Signature

City Clerk's Office



Identifying, retaining, and preserving roofs--and their functional and decorative features--that are important in defining the overall historic character of the building.

This includes the roof's shape, such as hipped, gambrel, and mansard; decorative features, such as cupolas, cresting chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.

Copper and wrought iron weather vane.

not recommended

Radically changing, damaging, or destroying roofs which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the roof or roofing material that is repairable, then reconstructing it with new material in order to create a uniform, or "improved" appearance.

Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights so that the historic character is diminished.

Stripping the roof of sound historic material such as slate, clay tile, wood, and architectural metal.

Applying paint or other coatings to roofing material which has been historically uncoated.

Roofs

Replace



recommended

Replacing in kind an entire feature of the roof that is too deteriorated to repair--if the overall form and detailing are still evident--using the physical evidence as a model to reproduce the feature.



Examples can include a large section of roofing, or a dormer or chimney.

If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Replacement of damaged clay tile roof.

not recommended

Removing a feature of the roof that is unrepairable, such as a chimney or dormer, and not replacing it; or replacing it with a new feature that does not convey the same visual appearance

"Replacing in kind extensively deteriorated or missing components of roof features when there are surviving prototypes, such as ridge tiles, cresting, or dormer trim, slates, or tiles, or when the replacement can be based on documentary or physical evidence. The new work should match the old in material, design, scale, color, and finish."

"Replacing an entire roof feature, such as a chimney or dormer, when limited replacement of deteriorated or missing components is appropriate. Using replacement material that does not match the historic roof feature."

The roofline and other architectural features (chimney, dormers, etc.) will remain the same. The existing metal and asphalt shingle roof on the residence have deteriorated significantly and are need of an upgrade. The replacement metal roof will be of a similar color palette as what is there now.

5.g

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Existing Roof Pictures
- New Roof Specs.
- Acceptance Letter

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval

Google Maps 186 N McDonough St

Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View







Attachment: Existing Roof Pictures (1883 : 186 North McDonough Street - Metal Roof)





Attachment: Existing Roof Pictures (1883 : 186 North McDonough Street - Metal Roof)



Low-Rib

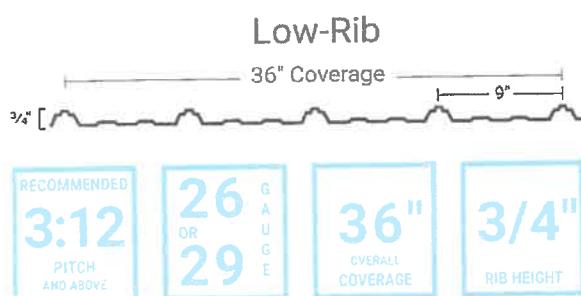
OUR MOST COST-EFFECTIVE METAL ROOFING

Affordable | Popular | Used for Carports | Residential | Post-Frame and More!

Low-Rib - our most cost-effective metal roofing panel - is visually appealing, durable, and energy efficient.

This product is mostly used for carports, shelter applications, post-frame, and residential roofing.

PANELS



Galvalume
(20-Year)



Color
(10 & 40-Year)



Specifications:

- > Exposed fastener panel: Roof and wall applications
- > Suitable for solid deck or opening framing

Substrates and Coatings:

- > 29 and 26 gauge high strength steel.
- > Anti-corrosion AZ-50 Galvalume coating for painted and AZ-55 for unpainted steel.
- > 10 & 40 Year Paint-Warranty [Pg. 5]

PROJECT AND MATERIALS DESCRIPTION

186 North McDonough Street
Jonesboro, Georgia

Roof Replacement:

29 Gauge Grand Rib Metal Screw Down Panels

Removal of existing metal roofing
Install same metal roofing over the asphalt shingled roof
Install 18" of Ice & Weather Shield
Install synthetic underlayment
Reflash chimneys
Install trim & flashing the same color as metal panels



MEMORANDUM

To: Roger and Kathy Swint
129 South Avenue
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: April 30, 2021

Re: Notification of Request for Design Review Commission – Metal Roof; 186 North McDonough Street; Parcel No. 13240D A029

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a metal roof for the property located at 186 North McDonough Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, May 5, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "David D. Allen".

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary

Agenda Item #

5.h

-h

COUNCIL MEETING DATE

May 5, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action *(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)*

Commission to make a recommendation for HT Shop – 194 Jonesboro Road; Parcel No. 12048C A002; Replacement wall sign panel for business in commercial center.

Requirement for Board Action *(Cite specific Council policy, statute or code requirement)*

City Code Section 86-489 and 86-490 – Sign Standards

Is this Item Goal Related? *(If yes, describe how this action meets the specific Board Focus Area or Goal)*

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of panel; Recently, HT Shop (clothing sales) received a business license for suite B3 at 194 Jonesboro Road. The applicant has applied for a wall sign panel within the existing cabinet on the parapet above the entrance to the building. For years, this parapet has been used for a variety of business signs. There are other sign cabinets in use on the same building.

The wall sign panel (one-sided aluminum) above the front entrance to the business will be 16 total square feet, which is below the maximum 150 square feet allowed in Code Section 86-490(b). The panel will be about 4% of the front building façade for that suite, just below the 7.5% allowed in Code Section 86-489. The white and black color scheme will not conflict with adjacent businesses. The sign will be internally illuminated. The sign will completely fill the existing cabinet provided.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Permit Application
- Property Picture
- Sign Design
- Acceptance Letter

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

May, 5, 2021

Signature

City Clerk's Office

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

5.h



CITY OF JONESBORO
 124 North Avenue
 Jonesboro, Georgia 30236
 City Hall: (770) 478-3800
 Fax: (770) 478-3775
www.jonesboroga.com

SIGN PERMIT APPLICATION

ATTACH ADDITIONAL PAGES IF NECESSARY. ALL ATTACHMENTS MUST BE NUMBERED. INDICATE THE PAGE NUMBER OF ATTACHMENT IN THE SPACES PROVIDED FOR EACH RELEVANT ANSWER. USE A SEPARATE PAGE FOR EACH NECESSARY QUESTION/ANSWER ATTACHMENT.

ANY MISSTATEMENT OR CONCEALMENT OF FACT IN THIS APPLICATION SHALL BE GROUNDS FOR REVOCATION OF THE LICENSE ISSUED AND SHALL MAKE THE APPLICANT LIABLE TO PROSECUTION FOR PERJURY. PLEASE DO NOT LEAVE ANY AREAS UNANSWERED.

APPLICATION FEE: \$60.00 (Non-Refundable). The Sign Permit fee is an additional cost. The City of Jonesboro will calculate and advise fees due.

Administrative fee	(flat fee) \$60.00
Area of Sign 1-10ft ²	(flat fee) \$35.00
Area of Sign 11-25ft ²	(flat fee) \$60.00
Area of Sign 26-50ft ²	(flat fee) \$90.00
Area of Sign 51ft ² and greater	(flat fee) \$125.00
Temporary Signs	(flat fee for second permit) \$30.00
Two permits allowed per property per year.	
First is free and a flat fee is required for	
2nd permit.	

Date of Application:

5-4-21

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ _____ will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

Description of Permit

Please check:

- New Sign
- Change to Existing Sign
- Ground Sign
- Window Sign
- Subdivision Sign
- Projecting Sign Wall Sign
- Entrance Sign
- Special Event Sign
- Other (describe below)

Face Change

Property Owner or Applicant Information

Name: Marcus Tompkins

63

Mailing Address: 194 Jonesboro Rd Jonesboro G.A. 3023

City: Jonesboro State: G.A. Zip: 30236

Phone: (Day) 470-487-2262 (Evening) 470-487-2262

*Signature: Marcus Tompkins

*By signing the above line, Property Owner gives permission for appropriate actions.

Jonesboro Property Information

Existing Uses and Structures: Vacant

Surrounding Uses and Structures: (See Official Zoning Map): _____

Surrounding Zoning:

North: _____ South: _____ East: _____ West: _____

Property Address of Sign: 194 Jonesboro Rd Jonesboro Ga.

Complete dimensions and total area of the sign: 2 Ft. x 8 Ft. = 16 Sq. Ft.

What is the position of the sign in relation to nearby buildings/structures and other signs?

What is the position of the sign in relation to nearby buildings/structures and other signs?

What are the setbacks from right-of-ways, property lines and easements?

Name of person, firm, corporation or association erecting the sign is:

Kimco Properties - Speedy Signs (770) 991-0847

Name of business/activity at the address where the sign is to be erected:

H/T Shop

Is this in a planned development?

\

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-3800

FOR OFFICE USE ONLY:

Date Received: ____/____/20____ Received By: _____

Fee Amount Enclosed: \$ _____

Date Approved: ____/____/20____

Date Denied ____/____/20____

Permit Issued ____/____/20____

Comment:



HT SHOP
770.892.1039



Attachment: Sign Design (1886 : 194 Jonesboro Road - Sign)



MEMORANDUM

To: Marcus Tompkins
194 Jonesboro Road, Suite B3
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: May 5, 2021

Re: Notification of Request for Design Review Commission – Sign Panel; 194
Jonesboro Road; Parcel No. 12048C A002

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a replacement sign panel for the property located at 194 Jonesboro Road, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, May 5, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "David D. Allen".

David D. Allen
Community Development Director / Zoning Administrator