



**Jonesboro Historic Preservation Commission  
124 NORTH AVENUE  
May 17, 2021 – 5:30 PM**

## **Agenda**

***NOTE: As set forth in the Americans with Disabilities Act of 1990, the City of Jonesboro will assist citizens with special needs given proper notice to participate in any open meetings of the City of Jonesboro. Please contact the City Clerk's Office via telephone (770-478-3800) or email at [rclark@jonesboroga.com](mailto:rclark@jonesboroga.com) should you need assistance.***

**I. CALL TO ORDER – Chairperson Betsy Wester**

**II. APPROVAL OF AGENDA**

**III. APPROVAL OF MINUTES**

**IV. OLD BUSINESS - NONE**

**V. NEW BUSINESS - ACTION ITEMS**

1. Historic Preservation Commission to consider a Certificate of Appropriateness for Susan Kirby Law Office – 185 North Main Street; Parcel 13240D C007; Replacement sign panel for business in Historic District.
2. Historic Preservation Commission to consider a Certificate of Appropriateness for Tran Realty – 181 North Main Street; Parcel No. 13240D C005; New wall sign for business in Historic District.
3. Historic Preservation Commission to consider a Certificate of Appropriateness for Willie Middleton II – 120 North McDonough Street; Parcel No. 13241B F004; New deck for rear of commercial building in Historic District.
4. Historic Preservation Commission to consider a Certificate of Appropriateness for Roger and Kathy Swint – 186 North McDonough Street; Parcel No. 13240D A029; Replacement metal roof for building in Historic District.

**VI. ADJOURNMENT**



# CITY OF JONESBORO, GEORGIA COUNCIL

## Agenda Item Summary

Agenda Item #

5.1

-1

COUNCIL MEETING DATE

May 17, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider a Certificate of Appropriateness for Susan Kirby Law Office – 185 North Main Street; Parcel 13240D C007; Replacement sign panel for business in Historic District.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-489 and 86-490 – Sign Standards' Sec. 86-495 Historic District Sign Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes      Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation

Summary &amp; Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

**Agency recommendation – Approval of replacement panel;** 185 North Main Street has been a commercial building in the Historic District for many years, currently hosting an attorney's office. Recently, the attorney's office applied for a replacement ground sign panel at the property, requiring Design Review Commission and Historic Preservation Commission review. The existing panel framework (wood posts) will remain in place, being in a grandfathered position. The sign panel will now reflect three attorneys in the same office.

**The proposed sign is a double-sided panel, nearly 32 square feet each side, mounted between the existing wooden posts. The sign height (around 8 feet tall) will remain the same. No electronics or illumination are proposed. The 32 square-foot panel is allowable per Section 86-490.**

Sec. 86-495. - Historic districts.

The purpose of this section is to ensure that signage in the historic district is harmonious in proportion, form, color, and materials to the character of said district. Visual relatedness is crucial to the goal of an integrated historic district, and signs play a key role in helping to preserve the historical district's sense of time and place, and to achieve the desired effect of charm and compatibility. No sign shall be erected, altered, restored or moved within the historic district until an application for a certificate of appropriateness as to exterior architectural features and signage has been reviewed and approved by the historic preservation commission and the design review commission. All proposed changes requiring a certificate of appropriateness shall comply with the applicable design standards in the 2005 zoning ordinance.

- (1) **Applicability.** This section shall apply only to those structures and uses within the geographical boundaries of the historic districts, the H-1 and H-2 zoning districts.
- (2) **Compatibility.** As to signs, buildings, structures, and uses within the historic districts, when a provision of this section conflicts with any section in the balance of this article, the provision of this section shall control. Otherwise, to the extent reasonably possible, the provisions of this section shall be interpreted consistent with the provisions of the balance of this article.
- (3) **Signage standards.**
  - a. **General.** Signage shall complement the architectural details of the building and shall not violate or otherwise obscure the architecture of the building to which it is attached. Signs, lettering, or boxed graphics shall not cut across columns, cornices, windowsills, arches or balconies, nor extend above the roofline (except for parapets and mansards) of any building to which it is attached.
  - b. **Lettering, size, and content.** Letters can be painted or mounted directly on a signboard, storefront, wall or window, if in proportion to the storefront. Lots in the H-1 and H-2 historic districts are allowed the same amount of signage as lots outside of the H-1 and H-2 historic districts. In the H-1 and H-2 historic districts, canopy signs and hanging or suspended signs may be utilized. Provided, however, in no case may the total signage area exceed ten percent of the building face to which the sign is attached. Acceptable lettering materials include wood, stone, synthetic stone, metal, and acrylic. The overall design of all signage shall be compatible with the turn-of-the-century theme of the historic district.

### FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

May, 17, 2021

Signature

City Clerk's Office

c. *Materials. Signs may be constructed of concrete, brick, wood, stone, metal, glass, or synthetic materials that have the same appearance of the aforementioned natural materials due to their finish. All materials shall be compatible with the building's architecture and should be colorfast and resistant to corrosion. Signs shall be professionally finished in accordance with the material selected, whether by sanding, painting, staining and/or sealing, with the edges of the sign framed out and/or sealed. The panel will be aluminum.*

d. *Lighting. All signs in the historic district, whether ground signs or wall signs, shall only be illuminated by an external light source, and through craftsmanship and materials, shall reflect the design aesthetics of the historic district.*

e. *Colors. The historic preservation commission and the design review commission shall consider the context of the surrounding area when reviewing the color of a proposed sign in the historic districts; however, the colors and logos of nationally and regionally recognized businesses shall not be prohibited.*

f. *Awning and canopy signs. Awnings or canopies over doors, entrances, windows or outside service areas are permitted in the H-1 historic district. Professionally applied forms, graphics, symbols, lettering, or other visual presentation may be incorporated into the awning or canopy valance/drop flap but are restricted to 20 percent of the awning field. Size of the signage shall be computed as for a wall sign. Signage pursuant to this subsection shall be included within the overall amount of signage allowed under section 86-489. Awnings or canopies shall clear sidewalks by seven feet in height, and project no more than six feet from the building. Canvas or synthetic look-alike canvas are the only materials permitted for awnings and canopies. Metal or vinyl may be approved for awnings or canopies if the overall design is consistent with the H-1 historic district's turn-of-the-century theme. Awnings or canopies may not be backlit. Metal awnings and canopies are preferred.*

g. *Hanging or suspended signs. Hanging, suspended, or projecting signs are permitted and shall clear sidewalks by seven feet in height, and project or drop no more than 36 inches from the building. Hanging or suspended signs should project or drop from a wall or roof at a 90-degree angle. Hanging or suspending signs over driveways, alleys, or parking areas is prohibited. Hanging, suspended, or projecting signs shall be limited to a maximum size of six square feet, and if double sided, shall be calculated as only one sign. One hanging, suspended, or projecting sign per business is permitted, and shall be calculated as part of the total signage area allowed under section 86-489. Attractive hardware for hanging is encouraged.*

h. *Window signs. Interior window signs shall not exceed 25 percent of the total window area exposed to public view. Window signs shall not be included within the overall amount of signage allowed under section 86-489.*

i. *Special events. Additional signage is permitted in the historic district under section 86-494, provided that all such additional signage conforms to the aesthetic standards of the historic district.*

j. *Ground signs. Ground signs may hang or suspend from a horizontal support that is affixed to the ground by vertical post.*

k. *A-frame signs. A-frame or "sandwich" signs are allowed at the rate of one per business or parcel. A-frame signs shall not obstruct pedestrian or vehicular routes.*

**Design Review Commission recommendation, 5.5.21: Approval, with additional recommendation of adding landscaping around base of sign.**

**Fiscal Impact**

*(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)*

Private Owner

**Exhibits Attached** (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Permit Application
- Existing Sign
- New Sign
- Acceptance Letter

**Staff Recommendation** (Type Name, Title, Agency and Phone)

**Approval**

## CITY OF JONESBORO



124 North Avenue  
Jonesboro, Georgia  
30236  
770-478-3800

**SIGN PERMIT** N<sup>o</sup> 0845

**GOOD FOR SIX MONTHS ONLY**

**Business** Susan Kirby Law Office

**Location** 185 N Main St

**Owner** Susan Kirby

**Sign Description** See Attached

**Estimated Cost** \_\_\_\_\_

**Fee** 6000

**Received Payment** at 06/21

**Date** \_\_\_\_\_



**CITY OF JONESBORO**  
 124 North Avenue  
 Jonesboro, Georgia 30236  
 City Hall: (770) 478-3800  
 Fax: (770) 478-3775  
[www.jonesboroga.com](http://www.jonesboroga.com)

## SIGN PERMIT APPLICATION

ATTACH ADDITIONAL PAGES IF NECESSARY. ALL ATTACHMENTS MUST BE NUMBERED. INDICATE THE PAGE NUMBER OF ATTACHMENT IN THE SPACES PROVIDED FOR EACH RELEVANT ANSWER. USE A SEPARATE PAGE FOR EACH NECESSARY QUESTION/ANSWER ATTACHMENT.

ANY MISSTATEMENT OR CONCEALMENT OF FACT IN THIS APPLICATION SHALL BE GROUNDS FOR REVOCATION OF THE LICENSE ISSUED AND SHALL MAKE THE APPLICANT LIABLE TO PROSECUTION FOR PERJURY. PLEASE DO NOT LEAVE ANY AREAS UNANSWERED.

**APPLICATION FEE: \$60.00** (Non-Refundable). The Sign Permit fee is an additional cost. The City of Jonesboro will calculate and advise fees due.

Administrative fee	(flat fee) \$60.00
Area of Sign 1-10ft <sup>2</sup>	(flat fee) \$35.00
Area of Sign 11-25ft <sup>2</sup>	(flat fee) \$60.00
Area of Sign 26-50ft <sup>2</sup>	(flat fee) \$90.00
Area of Sign 51ft <sup>2</sup> and greater	(flat fee) \$125.00
Temporary Signs	(flat fee for second permit) \$30.00
Two permits allowed per property per year. First is free and a flat fee is required for 2nd permit.	

Date of Application: 04/06/2021

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ 60.00 will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

#### Description of Permit

**Please check:**

- New Sign
- Change to Existing Sign
- Ground Sign
- Window Sign
- Subdivision Sign
- Projecting Sign Wall Sign
- Entrance Sign
- Special Event Sign
- Other (describe below)

*susanm.kirby @ bellsouth.net*

#### Property Owner or Applicant Information

Name: Susan M. Kirby, Attorney

Mailing Address: 185 Main Street

City: Jonesboro State: Georgia Zip: 30236

Phone: (Day) 770-471-3693 (Evening) 770-471-3693

\*Signature: Susan M. Kirby

\*By signing the above line, Property Owner gives permission for appropriate actions.

## Jonesboro Property Information

Existing Uses and Structures: \_\_\_\_\_

Surrounding Uses and Structures: (See Official Zoning Map): \_\_\_\_\_

Surrounding Zoning:

North: \_\_\_\_\_ South: \_\_\_\_\_ East: \_\_\_\_\_ West: \_\_\_\_\_

Property Address of Sign: 185 North Main Street, Jonesboro, GA 30236

Complete dimensions and total area of the sign: 4' x 6.5'

What is the position of the sign in relation to nearby buildings/structures and other signs?

\_\_\_\_\_

What is the position of the sign in relation to nearby buildings/structures and other signs?

\_\_\_\_\_

What are the setbacks from right-of-ways, property lines and easements?

\_\_\_\_\_

Name of person, firm, corporation or association erecting the sign is:

Susan M. Kirby-

\_\_\_\_\_

Name of business/activity at the address where the sign is to be erected:

Susan M. Kirby, Attorney at Law

\_\_\_\_\_

Is this in a planned development?

\_\_\_\_\_

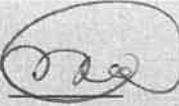
Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

**NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-3800**

FOR OFFICE USE ONLY:

Date Received: 04/09/21 Received By: 

Fee Amount Enclosed: \$ 60.00

Date Approved:       /      /20      

Date Denied       /      /20      

Permit Issued       /      /20      

Comment:

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ATTACHMENT -1-

## PROPERTY OWNER'S AUTHORIZATION

The undersigned below, or as attached, is the owner of the property which is subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of an amendment to the property.

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Clayton County, Georgia.

I hereby depose and say that all above statements and attached statements and/or exhibits submitted are true and correct, to the best of knowledge and belief.

PROPERTY OWNER:

Barbra Briley

PRINT NAME

4/6/21


  
Barbra Briley

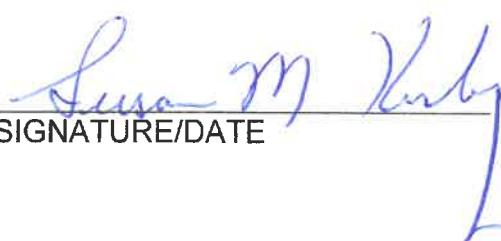
SIGNATURE/DATE

APPLICANT:

Susan M. Kirby

PRINT NAME

4/6/21


  
Susan M. Kirby

SIGNATURE/DATE

NOTARY:


  
Mike Dobbs 4/6/21

SIGNATURE/DATE

SEAL

Mike Dobbs  
 NOTARY PUBLIC  
 Clayton County, GEORGIA  
 My Comm. Expires 04/09/2021

## Google Maps N Main St



Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



SIGN TYPE: ACM PANEL  
DOUBLE-SIDED  
QTY: 1



3mm WHITE ROUTED ACM  
PANEL w/ DIGITALLY PRINTED  
VINYL GRAPHICS (D1)  
APPLIED ON BOTH SIDES

FRONT VIEW  
Scale: 3/4" = 1'

EXISTING CONDITIONS



SIGN PANEL MOUNTS  
TO EXISTING POSTS

PROPOSED



CLIENT  
SUSAN M. KIRBY LAW

DATE - 03/17/2021  
SIGN TYPE  
ACM PANEL

REVISIONS:  
REVISION # - DATE

DESIGNER: Nathan Diffee  
ACCOUNT REP NAME: \_\_\_\_\_  
DRAWING FILE NAME: \_\_\_\_\_  
O/A: Nathan Diffee; SUSAN M. KIRBY LAW /  
SUSAN M. KIRBY LAW ACM PANEL -  
03\_17\_21.CDR

5108 NORTH LAKE DRIVE  
LAKE CITY GA 30140  
404-361-3800  
FAX: 404-361-2735  
WWW.CLAYTONSIGNS.COM

DIGITAL PRINT



Packet Pg. 12



DRAWING  
STATUS:  
1

PAGE  
1



## MEMORANDUM

**To:** Susan M. Kirby, Attorney  
185 North Main Street  
Jonesboro, Ga. 30236

**From:** David D. Allen  
City of Jonesboro  
124 North Avenue  
Jonesboro, GA 30236

**Date:** May 10, 2021

**Re:** Notification of Request for Historic Preservation Commission – Sign Panel; 185 North Main Street; Parcel No. 13240D C007

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Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a replacement sign panel for the property located at 185 North Main Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Monday, May 17, 2021 at 5:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Allen".

David D. Allen  
Community Development Director / Zoning Administrator



# CITY OF JONESBORO, GEORGIA COUNCIL

## Agenda Item Summary

Agenda Item #

5.2

-2

COUNCIL MEETING DATE

May 17, 2021

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
<b>Requested Action</b> (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.) Historic Preservation Commission to consider a Certificate of Appropriateness for Tran Realty – 181 North Main Street; Parcel No. 13240D C005; New wall sign for business in Historic District.	
<b>Requirement for Board Action</b> (Cite specific Council policy, statute or code requirement) City Code Section 86-489 and 86-490 – Sign Standards' Sec. 86-495 Historic District Sign Standards	
<b>Is this Item Goal Related?</b> (If yes, describe how this action meets the specific Board Focus Area or Goal) Yes Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation	

**Summary & Background** (First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

**Agency recommendation – Approval of hanging sign design;** 181 North Main Street has been a commercial building in the Historic District for many years. Recently, Tran Realty applied for a ground sign permit at the property, requiring Design Review Commission and Historic Preservation Commission review. Because the location of the ground sign was not grandfathered, it had to meet modern setback standards and could not. **The current alternative is a hanging or suspended sign near the entrance.**

*Hanging sign means a sign suspended downward from a portion of a building or other structure, usually by a chain, rope, or other device.*

Sec. 86-487. - Prohibited signs.

*The following signs are prohibited in all zoning districts of the city:*

*(19) Hanging or suspended signs, except as authorized in sections 86-489(c) and 86-495 (Historic District);*

Sec. 86-495. - Historic districts.

*The purpose of this section is to ensure that signage in the historic district is harmonious in proportion, form, color, and materials to the character of said district. Visual relatedness is crucial to the goal of an integrated historic district, and signs play a key role in helping to preserve the historical district's sense of time and place, and to achieve the desired effect of charm and compatibility. No sign shall be erected, altered, restored or moved within the historic district until an application for a certificate of appropriateness as to exterior architectural features and signage has been reviewed and approved by the historic preservation commission and the design review commission. All proposed changes requiring a certificate of appropriateness shall comply with the applicable design standards in the 2005 zoning ordinance.*

- (1) *Applicability. This section shall apply only to those structures and uses within the geographical boundaries of the historic districts, the H-1 and H-2 zoning districts.*
- (2) *Compatibility. As to signs, buildings, structures, and uses within the historic districts, when a provision of this section conflicts with any section in the balance of this article, the provision of this section shall control. Otherwise, to the extent reasonably possible, the provisions of this section shall be interpreted consistent with the provisions of the balance of this article.*
- (3) *Signage standards.*

a. *General. Signage shall complement the architectural details of the building and shall not violate or otherwise*

### FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date May, 17, 2021	
Signature	City Clerk's Office	

obscure the architecture of the building to which it is attached. Signs, lettering, or boxed graphics shall cut across columns, cornices, windowsills, arches or balconies, nor extend above the roofline (except for parapets and mansards) of any building to which it is attached.

5.2

- b. Lettering, size, and content. Letters can be painted or mounted directly on a signboard, storefront, wall or window, if in proportion to the storefront. Lots in the H-1 and H-2 historic districts are allowed the same amount of signage as lots outside of the H-1 and H-2 historic districts. In the H-1 and H-2 historic districts, canopy signs and hanging or suspended signs may be utilized. Provided, however, in no case may the total signage area exceed ten percent of the building face to which the sign is attached. Acceptable lettering materials include wood, stone, synthetic stone, metal, and acrylic. The overall design of all signage shall be compatible with the turn-of-the-century theme of the historic district.
- c. Materials. Signs may be constructed of concrete, brick, wood, stone, metal, glass, or synthetic materials that have the same appearance of the aforementioned natural materials due to their finish. All materials shall be compatible with the building's architecture and should be colorfast and resistant to corrosion. Signs shall be professionally finished in accordance with the material selected, whether by sanding, painting, staining and/or sealing, with the edges of the sign framed out and/or sealed.
- d. Lighting. All signs in the historic district, whether ground signs or wall signs, shall only be illuminated by an external light source, and through craftsmanship and materials, shall reflect the design aesthetics of the historic district.
- e. Colors. The historic preservation commission and the design review commission shall consider the context of the surrounding area when reviewing the color of a proposed sign in the historic districts; however, the colors and logos of nationally and regionally recognized businesses shall not be prohibited.
- f. Awning and canopy signs. Awnings or canopies over doors, entrances, windows or outside service areas are permitted in the H-1 historic district. Professionally applied forms, graphics, symbols, lettering, or other visual presentation may be incorporated into the awning or canopy valance/drop flap but are restricted to 20 percent of the awning field. Size of the signage shall be computed as for a wall sign. Signage pursuant to this subsection shall be included within the overall amount of signage allowed under section 86-489. Awnings or canopies shall clear sidewalks by seven feet in height, and project no more than six feet from the building. Canvas or synthetic look-alike canvas are the only materials permitted for awnings and canopies. Metal or vinyl may be approved for awnings or canopies if the overall design is consistent with the H-1 historic district's turn-of-the-century theme. Awnings or canopies may not be backlit. Metal awnings and canopies are preferred.
- g. **Hanging or suspended signs.** Hanging, suspended, or projecting signs are permitted and shall clear sidewalks by seven feet in height, and project or drop no more than 36 inches from the building. Hanging or suspended signs should project or drop from a wall or roof at a 90-degree angle. Hanging or suspending signs over driveways, alleys, or parking areas is prohibited. Hanging, suspended, or projecting signs shall be limited to a maximum size of six square feet, and if double sided, shall be calculated as only one sign. One hanging, suspended, or projecting sign per business is permitted, and shall be calculated as part of the total signage area allowed under section 86-489. Attractive hardware for hanging is encouraged.
- h. Window signs. Interior window signs shall not exceed 25 percent of the total window area exposed to public view. Window signs shall not be included within the overall amount of signage allowed under section 86-489.
- i. Special events. Additional signage is permitted in the historic district under section 86-494, provided that all such additional signage conforms to the aesthetic standards of the historic district.
- j. Ground signs. Ground signs may hang or suspend from a horizontal support that is affixed to the ground by vertical post.
- k. A-frame signs. A-frame or "sandwich" signs are allowed at the rate of one per business or parcel. A-frame signs shall not obstruct pedestrian or vehicular routes.

g. Hanging or suspended signs.

- Hanging, suspended, or projecting signs are permitted and shall clear sidewalks by seven feet in height, and project or drop no more than 36 inches from the building. **The proposed sign would not actually be over the sidewalk (just to the side of it). The sign would project 26 inches from the building.**
- Hanging or suspended signs should project or drop from a wall or roof at a 90-degree angle. **The proposed sign would drop at a 90-degree angle.**
- Hanging or suspending signs over driveways, alleys, or parking areas is prohibited. Hanging, suspended, or projecting signs shall be limited to a maximum size of six square feet, and if double sided, shall be calculated as only one sign. **The proposed sign would just be over the ledge of a concrete stair. The sign would be 4 square feet (each side).**
- One hanging, suspended, or projecting sign per business is permitted, and shall be calculated as part of the total signage area allowed under section 86-489. Attractive hardware for hanging is encouraged. **Only one new**

**Design Review Commission recommendation, 5.5.21: Approval, with the recommendation that the hanging sign be moved from near the door to the front building corner nearest the driveway.**

**Fiscal Impact**

*(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)*

Private Owner

**Exhibits Attached** (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Property Picture
- Property Picture2
- TRAN REALTY BLADE SIGN - 03\_15\_21
- Acceptance Letter 5.17.21

**Staff Recommendation** *(Type Name, Title, Agency and Phone)*

**Approval, with Conditions**

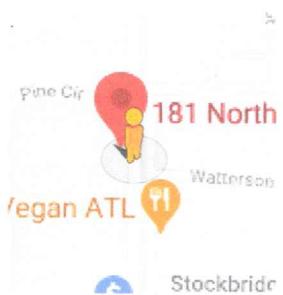


Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia

 Google

Street View



**Google Maps N Main St**

Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



SIGN TYPE: BLADE SIGN

DOUBLE-SIDED

QTY: 1



P1 PAINT - BLACK

D1 DIGITAL PRINT



5198 NORTH LAKE DRIVE  
LAKE CITY, GA 30260  
404-361-3800  
FAX 404-361-7038  
WWW.CLAYTONSIGNS.COM

DATE - 3 / 01 / 2021  
SIGN TYPE  
BLADE SIGN

CLIENT  
TRAN REALTY

REVISIONS:  
REVISION # - DATE

DESIGNER Nathan Diffee  
ACCOUNT REP. SF

SCALE: AS INDICATED  
DRAWING FILE NAME  
O:\ Nathan Diffee\ TRAN REALTY \ TRAN  
REALTY BLADE SIGN - 03\_15\_21.CDR

DRAWING STATUS:



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## MEMORANDUM

**To:** Thanh Tran  
181 North Main Street  
Jonesboro, Ga. 30236

**From:** David D. Allen  
City of Jonesboro  
124 North Avenue  
Jonesboro, GA 30236

**Date:** May 10, 2021

**Re:** Notification of Request for Historic Preservation Commission – Sign Panel; 181 North Main Street; Parcel No. 13240D C005

---

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a new sign panel for the property located at 181 North Main Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Monday, May 17, 2021 at 5:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Allen".

David D. Allen  
Community Development Director / Zoning Administrator



# CITY OF JONESBORO, GEORGIA COUNCIL

## Agenda Item Summary

Agenda Item #

5.3

-3

COUNCIL MEETING DATE

May 17, 2021

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
<b>Requested Action</b> ( <i>Identify appropriate Action or Motion, purpose, cost, timeframe, etc.</i> ) Historic Preservation Commission to consider a Certificate of Appropriateness for Willie Middleton II – 120 North McDonough Street; Parcel No. 13241B F004; New deck for rear of commercial building in Historic District.	
<b>Requirement for Board Action</b> ( <i>Cite specific Council policy, statute or code requirement</i> ) City Code Section 86-102 H1 Historic District Standards	
<b>Is this Item Goal Related?</b> ( <i>If yes, describe how this action meets the specific Board Focus Area or Goal</i> ) Yes Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation	
Summary & Background	(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)  <b>Agency Recommendation – Approval of rear deck and patio design;</b> Recently approved for an event center at the subject property, the applicant recently submitted plans to build a long, low deck at the rear of the building. While the deck would not be visible from North McDonough Street, it would be visible from adjacent King Street, thus requiring Design Review and Historic Preservation review.  The proposed deck is all wood, 10 feet wide and 50 feet long (500 square feet), coming from the rear entrance of 120 North McDonough Street and covering a grassy area between two paved parking areas. The deck floor is drawn at 12" with one step on each end and the beams resting on the footings. The railings on the north side are 36" high, for a total height of 4 feet. On the south side, there is a wood wall/screen railing, which is 75" (6.25 feet) tall. There will also be a covered patio between the deck and the actual exterior wall of the building. The property is also in the Historic District (H-1), which does not have specific accessory standards listed. However, the deck cannot be readily seen from the road and would be a definite improvement to the grass areas that is there now. A gathering deck and patio associated with the event center would bring more vitality to this rear parking area. <b>The color of the paint or stain needs to be discussed. Also, staff recommends that the wall/screen railing be further adorned with ornamental vines and/or decorative lighting.</b>  All new renovations would have to be properly permitted and inspected.  <b>Design Review Commission recommendation, 5.5.21: Approval, with further recommendations that finial lighting fixtures be installed on the wall screen, that the deck be stained and not painted, and that the pickets at the covered patio be removed with the deck railings being continued in this area.</b>
Fiscal Impact	(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)  Private Owner
<b>Exhibits Attached</b> (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)  • Property Pictures • Site Plan	

### FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date May, 17, 2021	
Signature	City Clerk's Office	

- Deck Location
- Construction Plans
- Acceptance Letter

5.3

**Staff Recommendation** (Type Name, Title, Agency and Phone)

**Approval, with Conditions**









Attachment: Property Pictures (1892 : 120 North McDonough Street - Deck)



Attachment: Property Pictures (1892 : 120 North McDonough Street - Deck)

ZONING: H1

SETBACK  
FRONT: 00'  
SIDE: 00'  
REAR: 00'MIN. LOT FRONTAGE: 00'  
MAX LOT COVERAGE: 00%

## BOUNDARY REFERENCES:

1. SUBJECT DEED BOOK 11109, PAGE 539-545
2. PLAT BOOK 25, PAGE 165
3. SEE ADDONERS

## ADDRESS

120 & 122 N MCDONOUGH STREET  
JONESBORO, GEORGIA, 30236

## FLOOD NOTE

AS PER THE F.I.R.M. FLOOD INSURANCE RATE MAP CITY OF JONESBORO  
COMMUNITY PANEL NO. 13063 C 0088 F DATED JUNE 07, 2017. THIS  
PROPERTY IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.  
THIS SITE DOES LIES WITHIN ZONE "X".

## LEGAL DESCRIPTION

All that tract or parcel of land lying and being in  
Beginning at the intersection formed by the northwesterly

Said Tract or Parcel contains 000,000 square feet or 0.000 acres as.

BUILDING OWNER: MCKENZIE BROTHERS REALTY GROUP

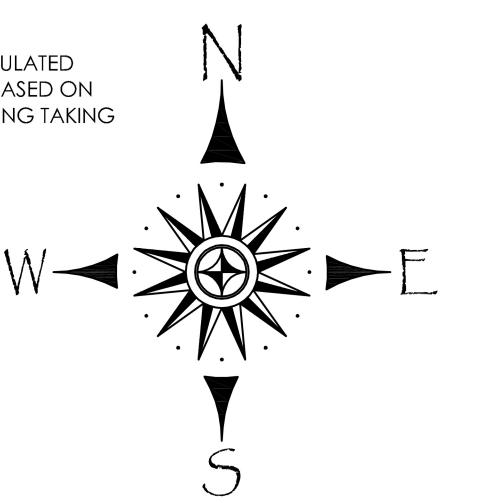
EVENT SPACE APPLICANT: JONSEY'S (WILLIE MIDDLETON II)

PID 13241B F003A  
TOTAL SITE AREA  
15,236 SQ. FT.  
0.350 ACRES

122 N MCDONOUGH STREET  
TOTAL SITE AREA  
8,559 SQ. FT.  
0.196 ACRES

120 N MCDONOUGH STREET  
TOTAL SITE AREA  
5,408 SQ. FT.  
0.124 ACRES

TOTAL SITE AREA  
106,555 SQ. FT.  
2.446 ACRES

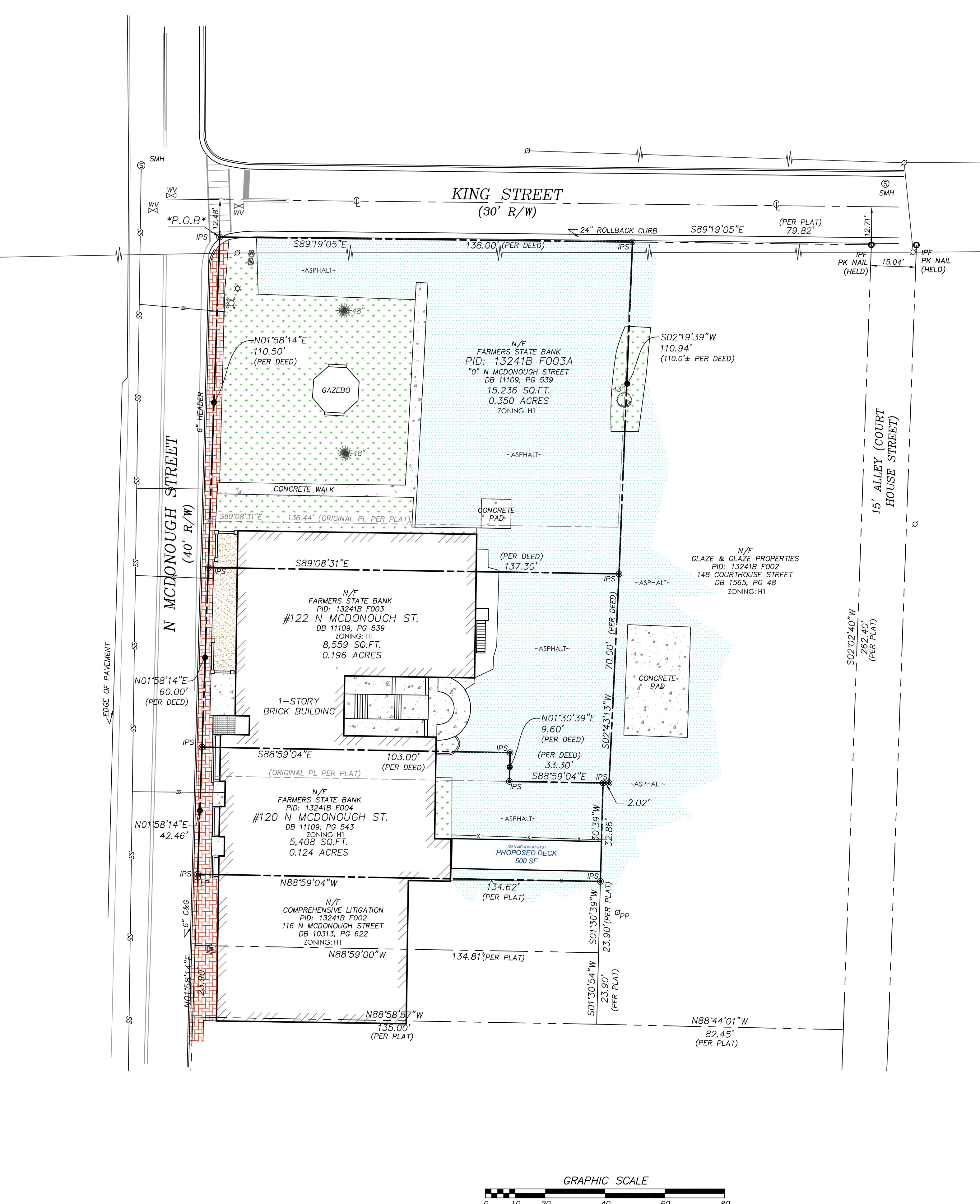
ALL BEARINGS ARE CALCULATED  
FROM ANGLES TURNED, BASED ON  
SINGLE MAGNETIC READING TAKING  
IN FIELD.

TITLE COMMITMENT  
COMMITMENT NO. XXXX

EFFECTIVE DATE: DATE

SCHEDULE B - SECTION II

12. DEED BOOK PAGE

(AS SHOWN, N/A, NOT PLOTTABLE)  
(TEXT)

## SURVEYOR'S CERTIFICATE

To NAME, NAME, NAME:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and include items 1 thru 4, 6(b), 7(a) and (b)(1), 8 thru 10, 11(a), 13, 16, 18 thru 20(a) of Table A of said requirements.

The field work was completed on JUNE 18, 2020.

This \_\_\_\_ day of \_\_\_\_\_, 2018.

X \_\_\_\_\_



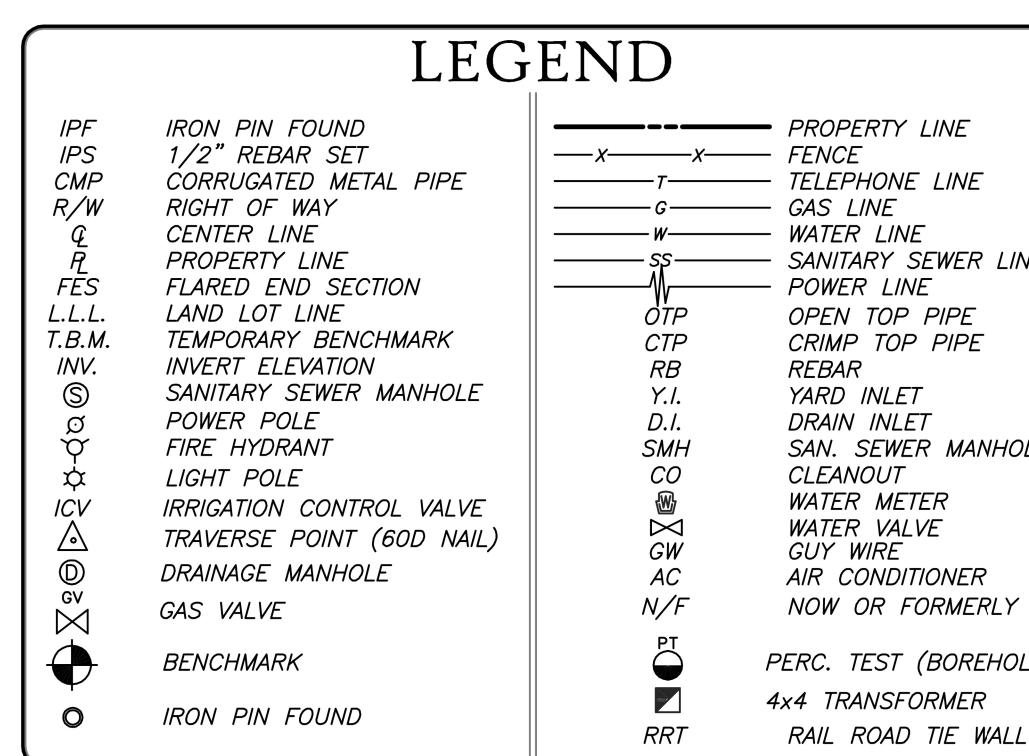
THIS SURVEY ONLY INCLUDES OBJECTS THAT ARE VISIBLE  
AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES  
OR OTHER OBJECTS THAT ARE NOT APPARENT BY  
VISUAL OBSERVATION, I.E. UNDERGROUND GAS TANKS,  
GAS LINES, WATERLINES, SEWER LINES, ETC.

## FIELD DATA STATEMENT:

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED  
HAS A CLOSURE PRECISION EXCEEDING ONE FOOT IN 43,535  
FEET AND AN ANGULAR ERROR OF 2.25 SECONDS PER ANGLE  
POINT AND WAS ADJUSTED USING COMPASS RULE.

A TOPCON ES-150 INSTRUMENT WAS USED TO OBTAIN THE  
LINEAR AND ANGULAR MEASUREMENTS FOR THE PREPARATION  
OF THIS PLAT.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS  
FOUND TO EXCEED 1 IN 250,000+



ALTA/NSPS LAND TITLE SURVEY FOR  
MCKENZIE BROTHERS REALTY GROUP  
120 N MCDONOUGH STREET, JONESBORO, GEORGIA 30236

REVISIONS:

DEED BOOK 11109, PAGE 539-545  
LAND LOT 241 of the 13th DISTRICT  
CLAYTON COUNTY, GEORGIA  
DATE: 06/25/2020

MERIDIAN GEOMATICS, LLC  
Land Surveying ~ Residential, Commercial & Municipal

216 Powers Ferry Road  
Marietta, Georgia 30067  
phone: (770) 675-6197  
surveyingatlanta@gmail.com

DRWN BY  
S.C.D.  
JOB NO.  
2020-133

120 N McDonough - Existing Location for Proposed Deck



Attachment: Deck Location (1892 : 120 North McDonough Street - Deck)

# BASEMENT RENOVATION and DECK ADDITION

120 N McDonough St  
Jonesboro, GA 30236

## SCOPE OF WORK:

Renovate Basement adding two bathrooms and a kitchen.

Occupancy Load Calculation:

Assembly without fixed seats

Concentrated (chairs only – not fixed)	7 Net
Standing Space	5 Net
Unconcentrated (tables and chairs)	15 Net

1287 sf/7 net = 180 Max Occupancy

## SQUARE FOOTAGE:

Existing Basement 3112 sf

Existing Patio 158 sf

Proposed Basement 3112 sf

Proposed Patio 158 sf

Proposed Deck 500 sf

**EXISTING TOTAL: 3270 sf**

**PROPOSED TOTAL: 3770 sf**

Layout Page Table	
Label	Title
A0	Cover Sheet
A1.1	Existing Floor Plan
A1.2	Proposed Floor Plan
A2.1	Proposed Deck Elevations
A4.1	Life Safety Plan
D1	Deck Framing
D2	Deck Framing

## APPLICABLE CODES:

International Building Code, 2018 Edition, with Georgia Amendments (2020)

International Residential Code for One- and Two-Family Dwellings, 2018 Edition, with Georgia Amendments (2020)

International Existing Building Code, 2018 Edition, with Georgia Amendments (2020)

International Fire Code, 2018 Edition, with Georgia Amendments (2020)

International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)

International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)

International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)

National Electrical Code, 2020 Edition, with no Georgia Amendments

International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)

2018 NFPA 101 - Life Safety Code with State Amendments (2020)

5.3.e

NUMBER	DATE	REVISION	TABLE	DESCRIPTION

RELEASED FOR CONSTRUCTION

Basement Renovation  
120 N McDonough St

Attachment: Construction Plans (1892 : 120 North McDonough Street - Deck)

Ascendant

DATE:  
3/31/20  
SCALE:  
SHEET:  
A0



NUMBER	DATE	REVISION	DESCRIPTION

## Attachment: Construction Plans (1892 : 120 North McDonough Street - Deck)

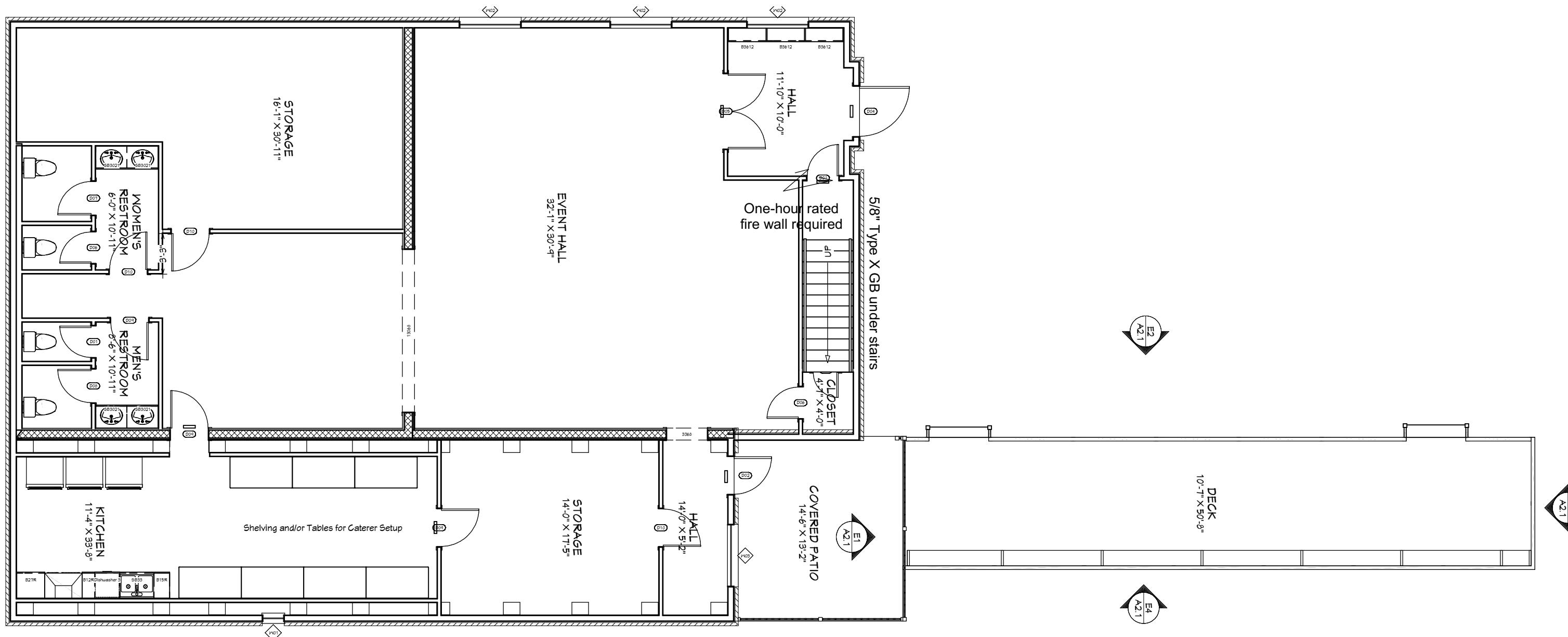
Basement Renovation  
120 N McDonough St

Ascendant

DATE:  
3/31/20;  
SCALE:  
1/8" = 1'

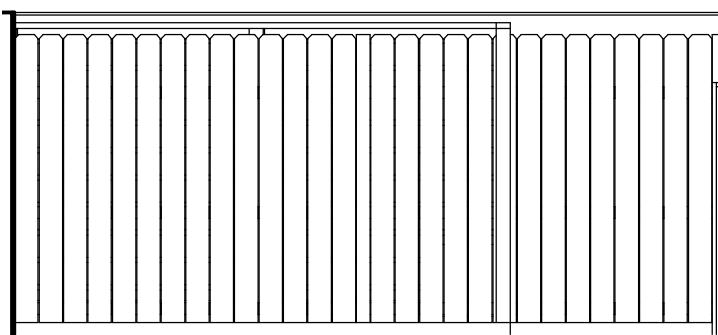
SHEET:

A1.2

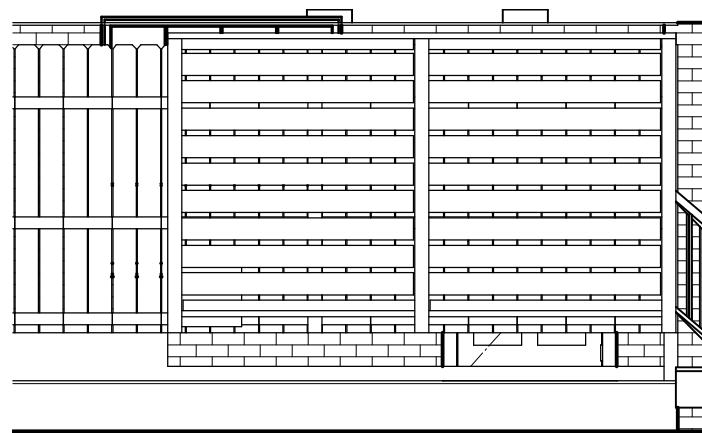


WINDOW SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	EGRESS	DESCRIPTION
W01	19210FX	1	1	19210FX	22"X34 1/2"		FIXED GLASS
W02	5027FX	3	1	5027FX	60 1/2"X32"		FIXED GLASS
W03	5055FX	1	1	5055FX	61"X66"	YES	FIXED GLASS

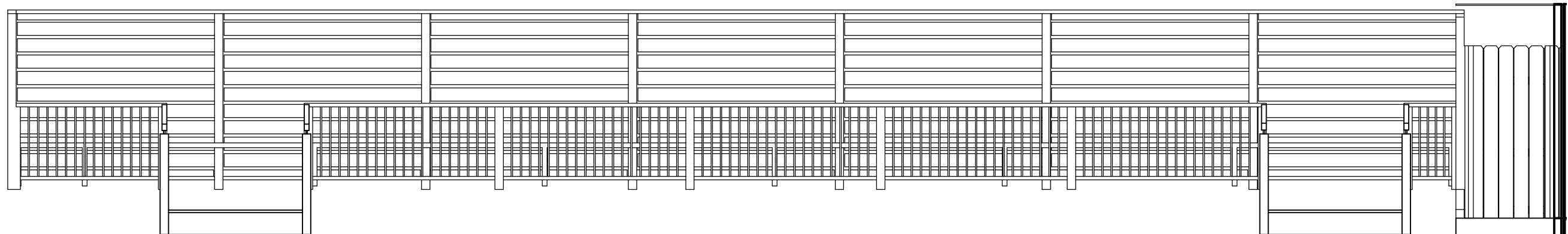
DOOR SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER
D01	2668	2	1	2668 R IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)
D02	3068	1	1	3068 L EX	38"X83"	EXT. HINGED-DOOR E21	2X6X41" (2)
D03	2068	1	1	2068 L IN	26"X82 1/2"	HINGED-DOOR P04	2X6X26" (2)
D04	4068	1	1	4068 L EX	50"X83"	EXT. HINGED-DOOR E21	2X8X53" (2)
D05	6068	1	1	6068 L/R IN	74"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X77" (2)
D06	2668	2	1	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)
D07	2868	1	1	2868 L IN	34"X82 1/2"	HINGED-DOOR P04	2X6X37" (2)
D08	2868	1	1	2868 R IN	34"X82 1/2"	HINGED-DOOR P04	2X6X37" (2)
D09	3068	3	1	3068 L IN	38"X82 1/2"	HINGED-DOOR P04	2X6X41" (2)
D10	3068	3	1	3068 R IN	38"X82 1/2"	HINGED-DOOR P04	2X6X41" (2)



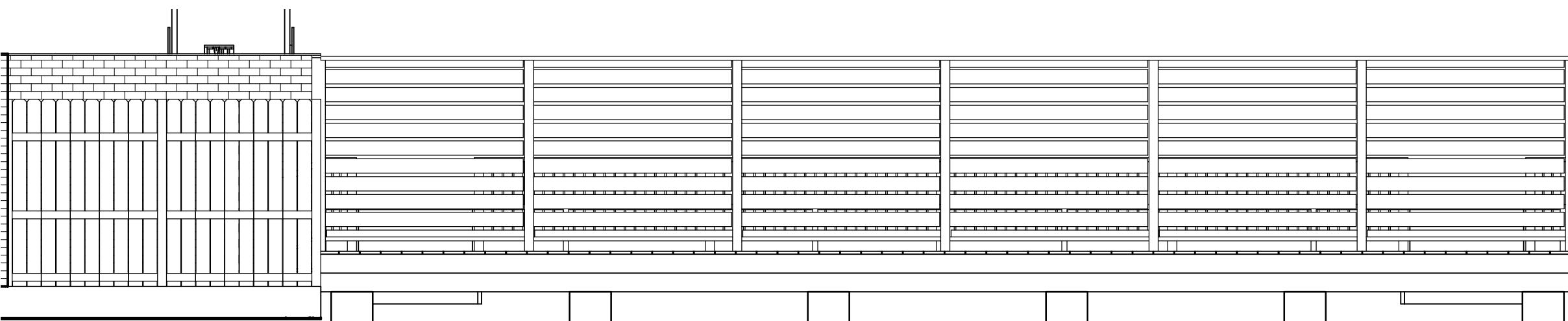
Deck Elevation Front  
Scale: 1/4" = 1'



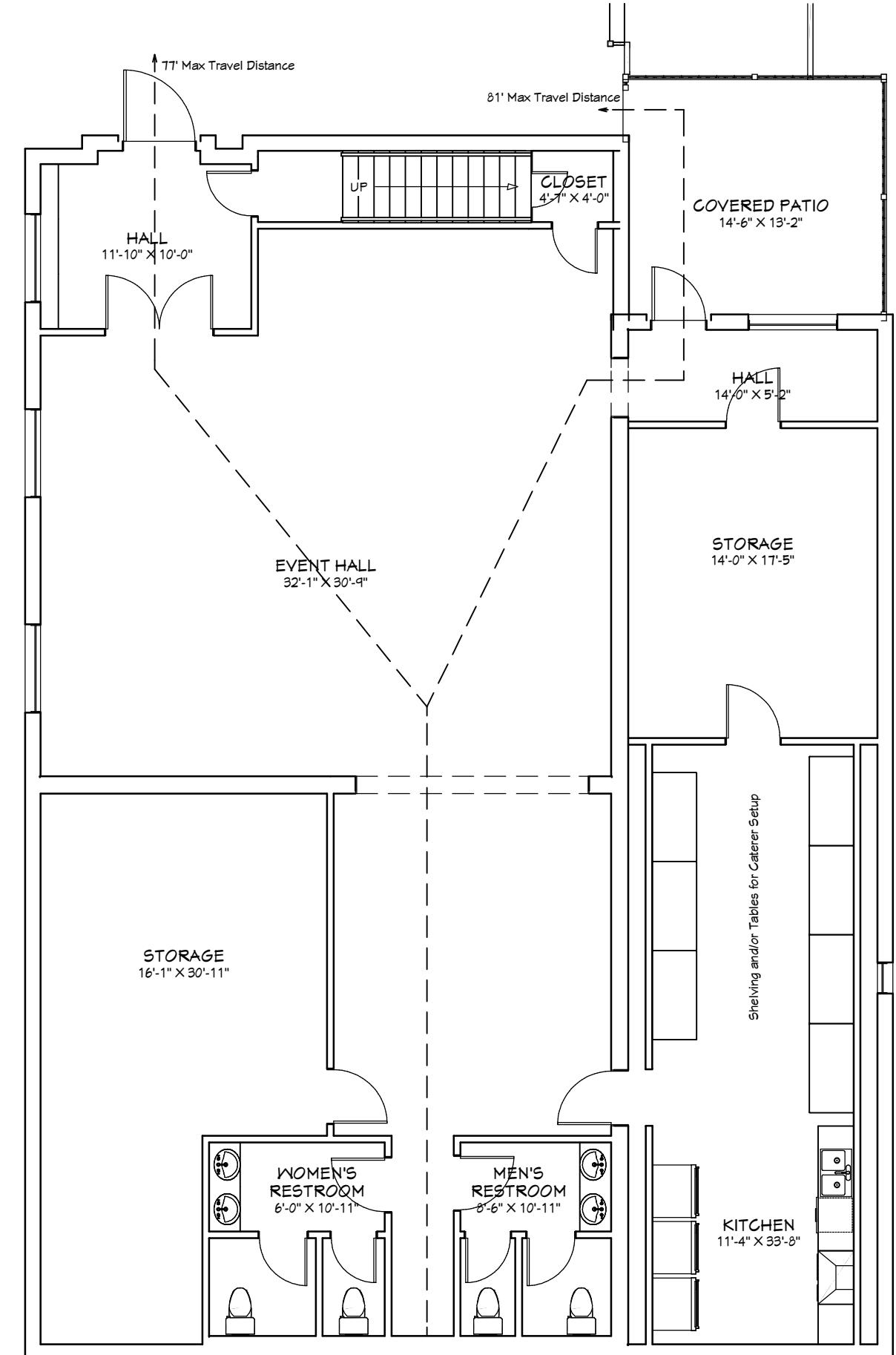
Deck Elevation Back  
Scale: 1/4" = 1'



Deck Elevation Left  
Scale: 1/4" = 1'



Deck Elevation Right  
Scale: 1/4" = 1'



5.3.e

NUMBER	REVISION	DATE	REvised	BY	DESCRIPTION

RELEASED FOR CONSTRUCTION

Basement Renovation  
120 N McDonough St

Attachment: Construction Plans (1892 : 120 North McDonough Street - Deck)

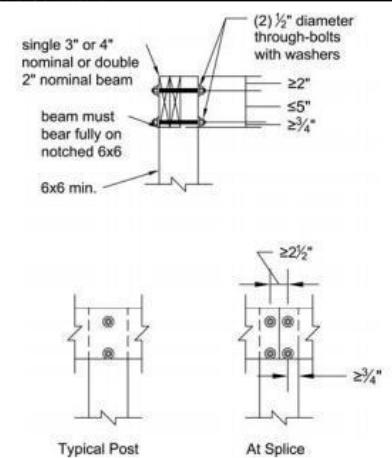
DATE:  
3/31/20;  
SCALE:  
SHEET:  
A4.1



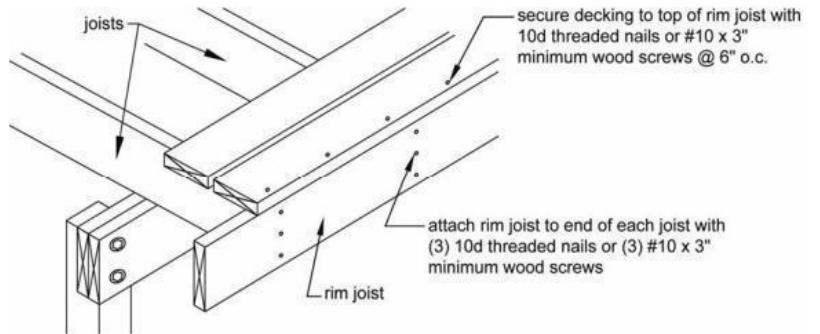
NUMBER	REVISION	DATE	DESCRIPTION

DATE: 3/31/20  
SCALE:  
SHEET: D2  
Packet Pg. 36

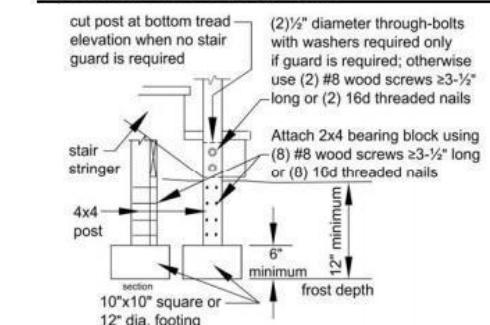
**Figure 8A. Post-to-Beam Attachment Requirements.**



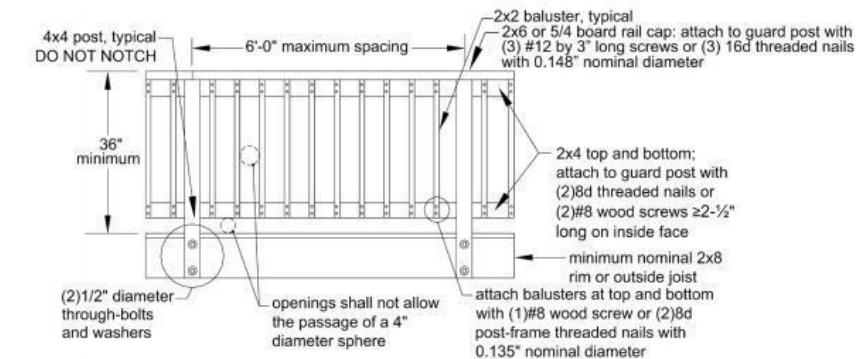
**Figure 11. Rim Joist Connection Details.**



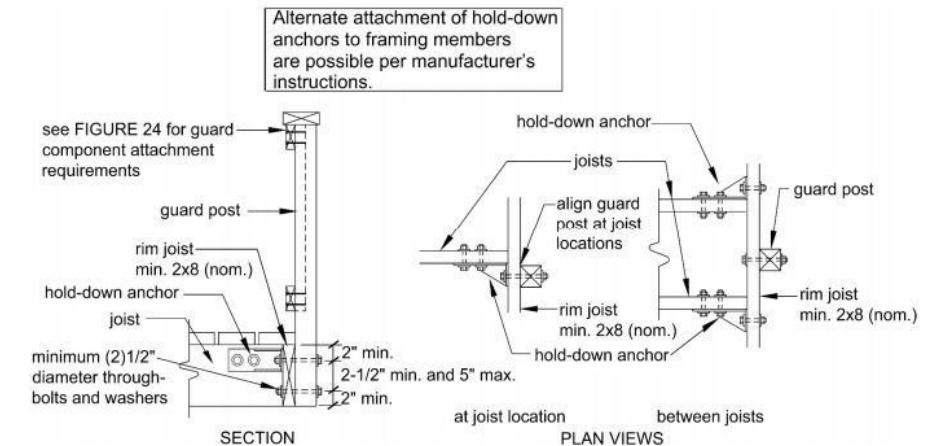
**Figure 34. Stair Footing Detail.**



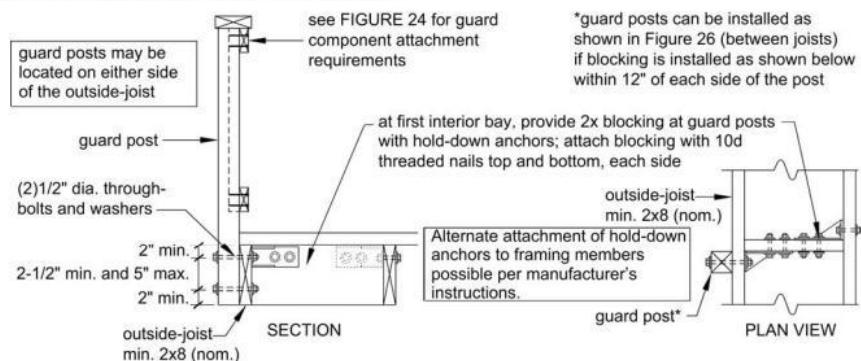
**Figure 24. Example Guard Detail.**



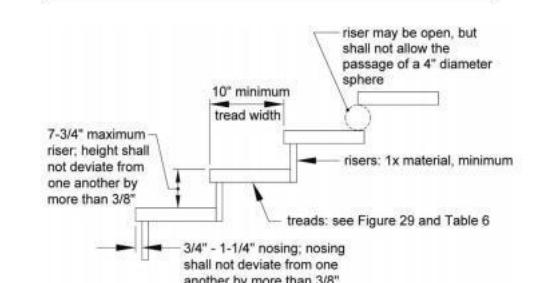
**Figure 26. Guard Post to Rim Joist Example.**



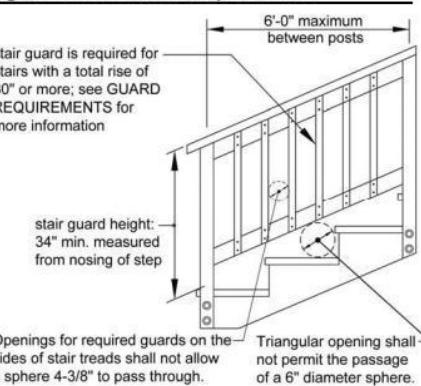
**Figure 25. Guard Post to Outside-Joist Example.**



**Figure 27. Tread and Riser Detail.**



**Figure 30. Stair Guard Requirements.**





## MEMORANDUM

**To:** Willie Middleton II  
3162 Dogwood Drive  
Hapeville, Ga. 30354

**From:** David D. Allen  
City of Jonesboro  
124 North Avenue  
Jonesboro, GA 30236

**Date:** May 10, 2021

**Re:** Notification of Request for Historic Preservation Commission – Deck; 120 North McDonough Street; Parcel No. 13241B F004

---

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a deck for the property located at 120 North McDonough Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Monday, May 17, 2021 at 5:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Allen".

David D. Allen  
Community Development Director / Zoning Administrator



**CITY OF JONESBORO, GEORGIA COUNCIL  
Agenda Item Summary**

**Agenda Item #**

**- 4**

**5.4**

**COUNCIL MEETING DATE**

May 17, 2021

**Requesting Agency (Initiator)**

Office of the City Manager

**Sponsor(s)**

Community Development Director Allen

**Requested Action** (*Identify appropriate Action or Motion, purpose, cost, timeframe, etc.*)

Historic Preservation Commission to consider a Certificate of Appropriateness for Roger and Kathy Swint – 186 North McDonough Street; Parcel No. 13240D A029; Replacement metal roof for building in Historic District.

**Requirement for Board Action** (*Cite specific Council policy, statute or code requirement*)

City Code Section 86-103 H-2 Historic District Standards; Secretary of Interior Historic Design Standards

**Is this Item Goal Related?** (*If yes, describe how this action meets the specific Board Focus Area or Goal*)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation

**Summary & Background**

*(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)*

**Agency recommendation – Approval of replacement roof:** The Swint family has owned the residence located at 186 North McDonough Street for many years. The property is zoned H-2 and is in the Historic District. Recently, the applicant applied for a Certificate of Appropriateness to replace the worn metal roof on the front of the dwelling, as well as the asphalt shingle roof on the attached garage at the back. The existing roof at the front is already silver / white colored metal shingles, which have deteriorated over the years. **The owner and contractor are proposing a low-rib, 29-gauge, Galvalume, metal panel as a replacement for the entire roof (including the garage at back). The new panels would have a different rib line than the existing metal roof and would be a grayish white color.**

Per Section 86-103:

(1) *Design standards. In order to preserve the physical character of existing historic structures in the H-2 historic district, every effort shall be made to adapt the property in a manner that complements the historic character of the area when making exterior alterations to the existing building, site, or environment. New construction shall also be appropriate for the district in design, placement, and scale.*

(1) *Rehabilitation. Maintaining the existing historic design, materials, and details of structures in the H-2 district is encouraged. Rehabilitative efforts shall include the use of materials that are compatible with the architectural style of the historic building (see article VII, Architectural style and scale, for guidance on specific historic styles and building materials traditionally found in Jonesboro.)*

a. Roofs.

1. The existing pitch and shape of the roof shall be maintained.
2. The shape, style, and placement of historic dormers shall be maintained.
3. The addition of dormers to the front facade where none previously existed is prohibited.
- 4. Existing roof materials shall be replaced with the same type of historic material or with that which closely resembles the existing material.**
5. Decorative brackets, cornices, and eaves shall be maintained.
6. Historic chimneys shall be maintained.
7. New chimneys shall use traditional design and materials, and their placement shall be appropriate for the architectural style of the structure.

Article VII, Architectural Style and Scale, does not specifically address roofing material.

**FOLLOW-UP APPROVAL ACTION (City Clerk)**

**Typed Name and Title**

Ricky L. Clark, City Manager

**Date**

May, 17, 2021

**Signature**

City Clerk's Office

**Roofs**

**Identify, retain, and preserve**



**recommended**



**Identifying, retaining, and preserving roofs--and their functional and decorative features--that are important in defining the overall historic character of the building.**

**This includes the roof's shape, such as hipped, gambrel, and mansard; decorative features, such as cupolas, cresting chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.**

**Copper and wrought iron weathervane.**

**not recommended**

**Radically changing, damaging, or destroying roofs which are important in defining the overall historic character of the building so that, as a result, the character is diminished.**

**Removing a major portion of the roof or roofing material that is repairable, then reconstructing it with new material in order to create a uniform, or "improved" appearance.**

**Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights so that the historic character is diminished.**

**Stripping the roof of sound historic material such as slate, clay tile, wood, and architectural metal.**

**Applying paint or other coatings to roofing material which has been historically uncoated.**

**Roofs**

**Replace**



**recommended**

**Replacing in kind an entire feature of the roof that is too deteriorated to repair--if the overall form and detailing are still evident--using the physical evidence as a model to reproduce the feature.**



**Examples can include a large section of roofing, or a dormer or chimney.**

**If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.**

**Replacement of damaged clay tile roof.**

**not recommended**

Removing a feature of the roof that is unrepairable, such as a chimney or dormer, and not replacing it; or replacing it with a new feature that does not convey the same visual appearance

*"Replacing in kind extensively deteriorated or missing components of roof features when there are surviving prototypes, such as ridge tiles, roof cresting, or dormer trim, slates, or tiles, or when the replacement can be based on documentary or physical evidence. The new work should match the old in material, design, scale, color, and finish."*

*"Replacing an entire roof feature, such as a chimney or dormer, when limited replacement of deteriorated or missing components is appropriate. Using replacement material that does not match the historic roof feature."*

**The roofline and other architectural features (chimney, dormers, etc.) will remain the same. The existing metal and asphalt shingle roof on the residence have deteriorated significantly and are need of an upgrade. The replacement metal roof will be of a similar color palette as what is there now.**

**Design Review Commission recommendation, 5.5.21: Approval**

**Fiscal Impact**

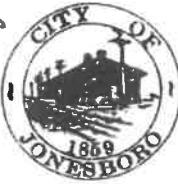
*(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)*

Private Owner

**Exhibits Attached** (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Permit Application
- Existing Roof Pictures
- New Roof Specs.
- Acceptance Letter

**Staff Recommendation** (Type Name, Title, Agency and Phone)**Approval**



# City of Jonesboro

124 North Avenue  
Jonesboro, GA 30236  
(770) 478-3800 • Fax (770) 478-3775

## Building Permit Application

Minimum Fee \$100.00

BL# \_\_\_\_\_ County \_\_\_\_\_

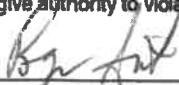
Date \_\_\_\_\_  
Permit No. \_\_\_\_\_

Application is hereby made according to the laws and ordinances of Jonesboro for a permit to erect, alter, and/or use a structure as described herein or shown in accompanying plans and specifications, to be located as shown on plot plan and, if granted, will conform to all laws and ordinances regulating same.

Address 186 N. McDonough St.					Project/Subdivision:		
City Jonesboro		State GA Zip 30236		LL: 240	District: 12th	Zoning: Residential	
Lot Dimensions	F:	D:	R:	Acres: 2.1	Lot:	Block:	Plan#
Purpose of Permit:				Describe Use of Construction Roof			Size of Structure _____ x _____
<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Remodel <input type="checkbox"/> Demolition - Repair <input type="checkbox"/> Demolition - Demolish <input checked="" type="checkbox"/> Other							
Structure Type:				<input checked="" type="checkbox"/> Residential (1, 2, 3, 4) <input type="checkbox"/> Commercial <input type="checkbox"/> Sign-Attached <input type="checkbox"/> Sign-Free <input type="checkbox"/> Industrial <input type="checkbox"/> Swimming Pool <input type="checkbox"/> Apartment <input type="checkbox"/> Fee Simple <input type="checkbox"/> Storage Bldg. <input type="checkbox"/> Other <input type="checkbox"/> Condo			
Foundation: <input checked="" type="checkbox"/> Slab <input checked="" type="checkbox"/> Crawl Space <input type="checkbox"/> Basement	Heated Area:						
	Main	Upper	Lower	Other	Total		
Unfinished Area		Carport		Garage 2		Total Area	
No. Stories 2	Height	No. Units 1	No. Rooms 7	No. Bedrooms 3	No. Baths 3		
Sewage: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Septic Tank	Georgia Power			Cooling: <input type="checkbox"/> Gas <input checked="" type="checkbox"/> Electric	Heating: <input checked="" type="checkbox"/> Gas <input type="checkbox"/> Electric	Fireplace: <input type="checkbox"/> Prefab <input checked="" type="checkbox"/> Masonry	
Exterior Finish Material Wood	Estimated Construction Cost						
Land Owner Roger & Kathy Swift	Contractor TIRADE BROTHERS, LLC DBA AL'S						
Address 129 South Ave	Address 3800 Union Point Hwy Roswell						
City Jonesboro	State GA	Zip 30236	City GREENSBORO	State GA	Zip 30642		
Telephone 404-786-775911	Other Roger	10186229027	Telephone 770-371-6037	2012			

I hereby certify that the above permitted structure shall be built in accordance with the 1992 Georgia State Energy Code for Buildings. This code regulates the design, erection, construction, alteration and renovation of buildings. Compliance is mandatory.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulating construction or the performance of construction.

Date \_\_\_\_\_ Printed Name: Roger Swift Signature: 

NOTICE: Separate permits are required for electrical, plumbing, heating, ventilation, air conditioning or prefab fireplaces. This permit becomes null and void if work authorized is not commenced within six (6) months or if work is suspended or abandoned for a period of six months at anytime after it is begun. Proper permits must be obtained before work is begun or fees shall be doubled.

Do not complete the following - Office Use Only

TEMPORARY POLE (#) \$30.00

Building - Sq. Ft. _____ x .20 = _____	Fireplace (#) _____ x 26.25 = _____
Electrical _____ x .035 = _____	Garbage Disposal (#) _____ x 12.50 = _____
Plumbing _____ x .035 = _____	Low Voltage (Minimum) _____ x 50.00 = _____
HVAC _____ x .035 = _____	
SBCCI \$ _____	Temp # _____ Date _____

F/P: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Approved by: _____	Input by: _____	Permit Cost: _____	C.O. Fee: _____	Total Fee: _____
Issued by: _____	Payment Amt: _____		Payment Type <input type="checkbox"/> Cash <input checked="" type="checkbox"/> Check		



## CITY OF JONESBORO

124 North Avenue

Jonesboro, GA 30236

[www.jonesboroga.com](http://www.jonesboroga.com)

### BUILDING PERMIT APPLICATION SCOPE OF WORK

Name: Roger Swint Date:

Address: 186 N. McDonough St. Jonesboro GA 30236

#### Rooms work is to take place in:

<input type="checkbox"/> Basement	<input type="checkbox"/> Living Room	<input type="checkbox"/> Bedroom 3
<input type="checkbox"/> Kitchen	<input type="checkbox"/> Master Bedroom	<input type="checkbox"/> Bedroom 4
<input type="checkbox"/> Bathroom	<input type="checkbox"/> Bedroom 1	<input type="checkbox"/> Exterior
<input type="checkbox"/> Master Bath	<input type="checkbox"/> Bedroom 2	<input type="checkbox"/> Other _____

#### Electrical and Mechanical

<input type="checkbox"/> New or upgrade of electric service	<input type="checkbox"/> Adding or replacing electric circuits
<input type="checkbox"/> Installing smoke detectors	<input type="checkbox"/> Adding or relocating receptacles or switches
<input type="checkbox"/> Installing new furnace	<input type="checkbox"/> Installing new AC condenser
<input type="checkbox"/> Installing new fireplace or heating stove	<input type="checkbox"/> New chimney or vent
<input type="checkbox"/> Installing new bathroom exhaust fan	<input type="checkbox"/> Installing or replacing range hood
<input type="checkbox"/> Other: _____	

#### Framing

<input type="checkbox"/> New deck, porch, or stairs	<input checked="" type="checkbox"/> Roofing (Replacing decking and shingles)
<input type="checkbox"/> Addition	<input type="checkbox"/> Installing or relocating load bearing walls
<input type="checkbox"/> Detached garage, carport, or storage building	<input type="checkbox"/> Altering or relocating existing window/doors
<input type="checkbox"/> Replacing deck, porch, stairs or railing	<input type="checkbox"/> Sheathing
<input type="checkbox"/> New attached garage or carport	<input type="checkbox"/> Installing new drywall
<input type="checkbox"/> New pool, spa or hot tub	<input type="checkbox"/> Installing sunroom or other pre-manufactured
<input type="checkbox"/> Installing or relocating non-load bearing walls	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Replacing or repairing damaged:	
<input type="checkbox"/> Floor joist <input type="checkbox"/> Stud <input type="checkbox"/> Beam <input type="checkbox"/> Header <input type="checkbox"/> Ceiling Joist <input type="checkbox"/> Rafters or Trusses	

#### Plumbing

<input type="checkbox"/> Installing or replacing water heater	<input type="checkbox"/> Relocating existing plumbing fixtures
<input type="checkbox"/> Installing new water or DWV piping	<input type="checkbox"/> Installing or replacing gas piping
<input type="checkbox"/> Replacing existing water or DWV piping	<input type="checkbox"/> Installing new plumbing fixtures
<input type="checkbox"/> Installing or replacing backflow device	<input type="checkbox"/> Installing new sump pump
<input type="checkbox"/> Other: _____	

#### Additional Information

**Google Maps 186 N McDonough St**

Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View







Attachment: Existing Roof Pictures (1893 : 186 North McDonough Street - Metal Roof)





Attachment: Existing Roof Pictures (1893 : 186 North McDonough Street - Metal Roof)



# Low-Rib

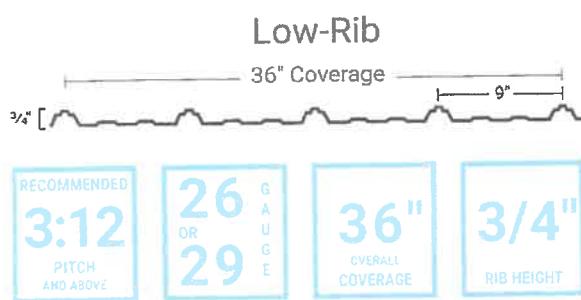
**OUR MOST COST-EFFECTIVE METAL ROOFING**

**Affordable | Popular | Used for Carports | Residential | Post-Frame and More!**

Low-Rib - our most cost-effective metal roofing panel - is visually appealing, durable, and energy efficient.

This product is mostly used for carports, shelter applications, post-frame, and residential roofing.

## PANELS



Galvalume  
(20-Year)



Color  
(10 & 40-Year)



### Specifications:

- > Exposed fastener panel: Roof and wall applications
- > Suitable for solid deck or opening framing

### Substrates and Coatings:

- > 29 and 26 gauge high strength steel.
- > Anti-corrosion AZ-50 Galvalume coating for painted and AZ-55 for unpainted steel.
- > 10 & 40 Year Paint-Warranty [Pg. 5]

## PROJECT AND MATERIALS DESCRIPTION

186 North McDonough Street  
Jonesboro, Georgia

Roof Replacement:

29 Gauge Grand Rib Metal Screw Down Panels

Removal of existing metal roofing  
Install same metal roofing over the asphalt shingled roof  
Install 18" of Ice & Weather Shield  
Install synthetic underlayment  
Reflash chimneys  
Install trim & flashing the same color as metal panels



## MEMORANDUM

**To:** Roger and Kathy Swint  
129 South Avenue  
Jonesboro, Ga. 30236

**From:** David D. Allen  
City of Jonesboro  
124 North Avenue  
Jonesboro, GA 30236

**Date:** May 10, 2021

**Re:** Notification of Request for Historic Preservation Commission – Metal Roof; 186 North McDonough Street; Parcel No. 13240D A029

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Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a metal roof for the property located at 186 North McDonough Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Monday, May 17, 2021 at 5:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "D" followed by a long, thin, horizontal line.

David D. Allen  
Community Development Director / Zoning Administrator