



DESIGN REVIEW COMMISSION

July 7, 2021

MEETING AGENDA:

I. CALL TO ORDER

II. APPROVAL OF AGENDA

III. APPROVAL OF MINUTES

IV. OLD BUSINESS - NONE

V. NEW BUSINESS - ACTION ITEMS

- a. Commission to make a recommendation on Truist Bank – 223 North Main Street; Parcel No. 13240B A003; Replacement signs for commercial property in the Historic Residential Overlay.
- b. Commission to make a recommendation on Nouveau Bar & Grill – 103 West Mill Street; Parcel No. 13241D B005; New signs for new restaurant in Historic District.
- c. Commission to make a recommendation for Liquor Store – Hwy. 138; Parcel No. 13210B D006; Exterior of proposed business.
- d. Commission to make a recommendation for Clayton County Public Schools Office Complex – 1098 Fifth Avenue; Parcel No. 13209D I001; Renovations to existing school facility.
- e. Commission to make a recommendation for Specialty Salon – 112 Stockbridge Road; Parcel No. 13241B D002; Renovations and new signage for existing commercial building in Historic District.
- f. Commission to make a recommendation for Extra Space Storage – 8500 Tara Blvd.; Parcel No. 05240B A004; New ground sign and wall signs for new commercial building.

VI. ADJOURNMENT



**CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary**

Agenda Item #

5.a

-a

COUNCIL MEETING DATE

July 7, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (*Identify appropriate Action or Motion, purpose, cost, timeframe, etc.*)

Commission to make a recommendation on Truist Bank – 223 North Main Street; Parcel No. 13240B A003; Replacement signs for commercial property in the Historic Residential Overlay.

Requirement for Board Action (*Cite specific Council policy, statute or code requirement*)

City Code Section 86-489 and 86-490 – Sign Standards; Sec. 86-495 – Historic District Sign Standards

Is this Item Goal Related? (*If yes, describe how this action meets the specific Board Focus Area or Goal*)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation

Summary & Background

(*First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.*)

Agency recommendation – Approval of sign designs; BB&T Bank has been located at 223 North Main Street for many years. Recently, BB&T Bank and Suntrust Bank merged to become Truist Bank. The signs at the bank at 223 North Main need to reflect the name change.

There is a replacement ground sign panel proposed within the existing pylon sign framework at the corner of the property, a replacement wall sign panel on the southern wall, various small directional signs scattered throughout the property, and refurbishment of the outside ATM machine. The property is zoned C-2 (Highway Commercial) but is also in the Historic Residential Overlay and thus, the proposed signs require Certificate of Appropriateness approval from the Historic Preservation Commission in addition to the review by the Design Review Commission. The City Code does not regulate specific colors, and the blue and white color scheme of all the proposed signs are the recognized “brand” colors for Truist, a national banking company.

The replacement panel in the existing, pylon sign at the road will not exceed the panel framework already there. The panel (50 square feet each side) is above the maximum 35 square feet allowed (each side) in Code Section 86-490(a) but will not exceed the framework already provided. The panel will have no changeable copy, no electronics, but will be internally illuminated, as the previous BB&T sign was. This existing ground sign framework is not a monument sign.

The wall sign replacement panel will be 8.77 square feet (one side), which is well below the maximum 150 square feet allowed in Code Section 86-490(b). The wall sign panel is approximately 1% of the total side building façade, well below the 7.5% allowed in Code Section 86-489(c)(3). The panel will have no changeable copy, no electronics but will be internally illuminated.

The various small directional signs (“Enter”, etc.) scattered throughout the property simply replace same-sized signs used for BB&T. The electronic ATM signs on the canopy above the ATM drive-thru lanes will remain as is but cannot be seen from the road. The graphics on the outside ATM / live banking machine will change to Truist colors. The existing banner frameworks at the drive-thru lanes will be supplied with Truist banners.

The property is in the Historic Residential Overlay, not the actual Historic District, but the proposed designs seem to comply with all other Historic District sign standards:

Sec. 86-495. - Historic districts.

The purpose of this section is to ensure that signage in the historic district is harmonious in proportion, form, color, and

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

July, 7, 2021

Signature

City Clerk's Office

materials to the character of said district. Visual relatedness is crucial to the goal of an integrated historic district, and signs play a key role in helping to preserve the historical district's sense of time and place, and to achieve the desired effect of charm and compatibility. No sign shall be erected, altered, restored or moved within the historic district until an application for a certificate of appropriateness as to exterior architectural features and signage has been reviewed and approved by the historic preservation commission and the design review commission. All proposed changes requiring a certificate of appropriateness shall comply with the applicable design standards in the 2005 zoning ordinance.

5.a

- (1) **Applicability.** This section shall apply only to those structures and uses within the geographical boundaries of the historic districts, the H-1 and H-2 zoning districts.
- (2) **Compatibility.** As to signs, buildings, structures, and uses within the historic districts, when a provision of this section conflicts with any section in the balance of this article, the provision of this section shall control. Otherwise, to the extent reasonably possible, the provisions of this section shall be interpreted consistent with the provisions of the balance of this article.
- (3) **Signage standards.**
 - a. **General.** Signage shall complement the architectural details of the building and shall not violate or otherwise obscure the architecture of the building to which it is attached. Signs, lettering, or boxed graphics shall not cut across columns, cornices, windowsills, arches or balconies, nor extend above the roofline (except for parapets and mansards) of any building to which it is attached.
 - b. **Lettering, size, and content.** Letters can be painted or mounted directly on a signboard, storefront, wall or window, if in proportion to the storefront. Lots in the H-1 and H-2 historic districts are allowed the same amount of signage as lots outside of the H-1 and H-2 historic districts. In the H-1 and H-2 historic districts, canopy signs and hanging or suspended signs may be utilized. Provided, however, in no case may the total signage area exceed ten percent of the building face to which the sign is attached. Acceptable lettering materials include wood, stone, synthetic stone, metal, and acrylic. The overall design of all signage shall be compatible with the turn-of-the-century theme of the historic district.
 - c. **Materials.** Signs may be constructed of concrete, brick, wood, stone, metal, glass, or synthetic materials that have the same appearance of the aforementioned natural materials due to their finish. All materials shall be compatible with the building's architecture and should be colorfast and resistant to corrosion. Signs shall be professionally finished in accordance with the material selected, whether by sanding, painting, staining and/or sealing, with the edges of the sign framed out and/or sealed. **Panels are aluminum.**
 - d. **Lighting.** All signs in the historic district, whether ground signs or wall signs, shall only be illuminated by an external light source, and through craftsmanship and materials, shall reflect the design aesthetics of the historic district. **Already internally illuminated for many years.**
 - e. **Colors.** The historic preservation commission and the design review commission shall consider the context of the surrounding area when reviewing the color of a proposed sign in the historic districts; **however, the colors and logos of nationally and regionally recognized businesses shall not be prohibited.**
 - f. **Awnings and canopy signs.** Awnings or canopies over doors, entrances, windows or outside service areas are permitted in the H-1 historic district. Professionally applied forms, graphics, symbols, lettering, or other visual presentation may be incorporated into the awning or canopy valance/drop flap but are restricted to 20 percent of the awning field. Size of the signage shall be computed as for a wall sign. Signage pursuant to this subsection shall be included within the overall amount of signage allowed under section 86-489. Awnings or canopies shall clear sidewalks by seven feet in height, and project no more than six feet from the building. Canvas or synthetic look-alike canvas are the only materials permitted for awnings and canopies. Metal or vinyl may be approved for awnings or canopies if the overall design is consistent with the H-1 historic district's turn-of-the-century theme. Awnings or canopies may not be backlit. Metal awnings and canopies are preferred.
 - g. **Hanging or suspended signs.** Hanging, suspended, or projecting signs are permitted and shall clear sidewalks by seven feet in height, and project or drop no more than 36 inches from the building. Hanging or suspended signs should project or drop from a wall or roof at a 90-degree angle. Hanging or suspending signs over driveways, alleys, or parking areas is prohibited. Hanging, suspended, or projecting signs shall be limited to a maximum size of six square feet, and if double sided, shall be calculated as only one sign. One hanging, suspended, or projecting sign per business is permitted, and shall be calculated as part of the total signage area allowed under section 86-489. Attractive hardware for hanging is encouraged.
 - h. **Window signs.** Interior window signs shall not exceed 25 percent of the total window area exposed to public view. Window signs shall not be included within the overall amount of signage allowed under section 86-489.
 - i. **Special events.** Additional signage is permitted in the historic district under section 86-494, provided that all such additional signage conforms to the aesthetic standards of the historic district.
 - j. **Ground signs.** Ground signs may hang or suspend from a horizontal support that is affixed to the ground by vertical post. **A pylon sign for many years.**
 - k. **A-frame signs.** A-frame or "sandwich" signs are allowed at the rate of one per business or parcel. A-frame signs shall not obstruct pedestrian or vehicular routes.

Fiscal Impact *(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)*

Private owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Property Pictures
- 152038_Truist_Jonesboro_Exterior BB_RE_B_030921
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

Google Maps 223 N Main St



Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



Google Maps Jonesboro, Georgia



Image capture: Sep 2018 © 2021 Google

Google

Street View



Attachment: Property Pictures (915 : Truist Bank Signs)

Google Maps 226 N Main St



Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



TRUIST


LOB

Retail Branch Traditional - Tier 2

Document Type

Recommendation Book - Exterior

Building Type

Branch - Traditional

Property ID

152038

Property Name

Jonesboro

Property Address

223 North Main Street, Jonesboro, GA 30236

Project Manager

Jodi Moody

Bi-Lingual

Yes

Entry Control

N/A

Drawn By

Shy A.

Date

03-09-2021

Revision

B

Signature of (Owner/Lessor/Mortgage or security Interest holder)

Print Name

Date



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• E09	14		



Site ID:	152038	Drawn By:	Shy A.
Client:	Truist	Checked By:	RS
Project:	Re-brand	Scale:	N/A
Title:	223 North Main Street	Revision:	B
Date:	03-09-2021	Page:	2

REVISION LOG



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2035 Lakeside Centre Dr. Suite 250
Knoxville, TN 37922
T +865 692 4058 **F** +865 692 4104



Site ID:	152038	Drawn By:	Shy A.
Client:	Truist	Checked By:	RS
Project:	Re-brand	Scale:	N/A
Title:	223 North Main Street	Revision:	B
Date:	03-09-2021	Page:	3

CODE

GROUND SIGNS		ALLOWED BY CODE	CURRENTLY INSTALLED	PROPOSED	COMMENTS
HEIGHT (ft):		6ft	5'	5'	
NUMBER:		1	1	1	
SQ. FOOTAGE:		35sq ft	50sq ft	50sq ft	
WALL SIGNS		ALLOWED BY CODE	CURRENTLY INSTALLED	PROPOSED	COMMENTS
HEIGHT (ft):		NTE roofline	2.04'	2'-2.25"	
NUMBER:		1 per frontage	1	1	
SQ. FOOTAGE:		10% of wall	12.76sq ft	20.3sq ft	10% of wall is 24.5sq ft
DIRECTIONAL SIGNS		ALLOWED BY CODE	CURRENTLY INSTALLED	PROPOSED	COMMENTS
HEIGHT (ft):		N/A	1.25'	2'	
NUMBER:		As needed	3	3	
SQ. FOOTAGE:		N/A	3.13sq ft	12sq ft	
ATMS		ALLOWED BY CODE	CURRENTLY INSTALLED	PROPOSED	COMMENTS
HEIGHT (ft):		N/A	4'-7.625"	7'-5.625"	Proposed Includes ATM Topper - 1'-8"
NUMBER:		N/A	1	1	
SQ. FOOTAGE:		N/A	15.91sq ft	24.27sq ft	
TOTAL SIGNS		ALLOWED BY CODE	CURRENTLY INSTALLED	PROPOSED	COMMENTS
NUMBER:		4	6	6	
SQ. FOOTAGE:		35sq ft	81.8sq ft	106.57sq ft	

ADDITIONAL INFORMATION

WINDOW SIGN COUNT AGAINST SQ FT:	YES/NO:	N/A	% OF WINDOW ALLOWED TO BE USED:	N/A		
SETBACK RESTRICTIONS:	PYLON:	10ft from property line	DIRECTIONAL:	N/A		
PERMIT INFORMATION:	CONTACT:	David Allen, 770-470	AVERAGE PERMIT LEAD TIME:	30+		
TEMPORARY SIGNAGE PERMIT INFORMATION:	PERMIT REQUIRED?	Yes	AVERAGE PERMIT LEAD TIME:	N/A	LENGTH OF TIME TEMPORARY SIGNAGE CAN BE INSTALLED	90 days
OTHER	Historic District. Historic Residential.					

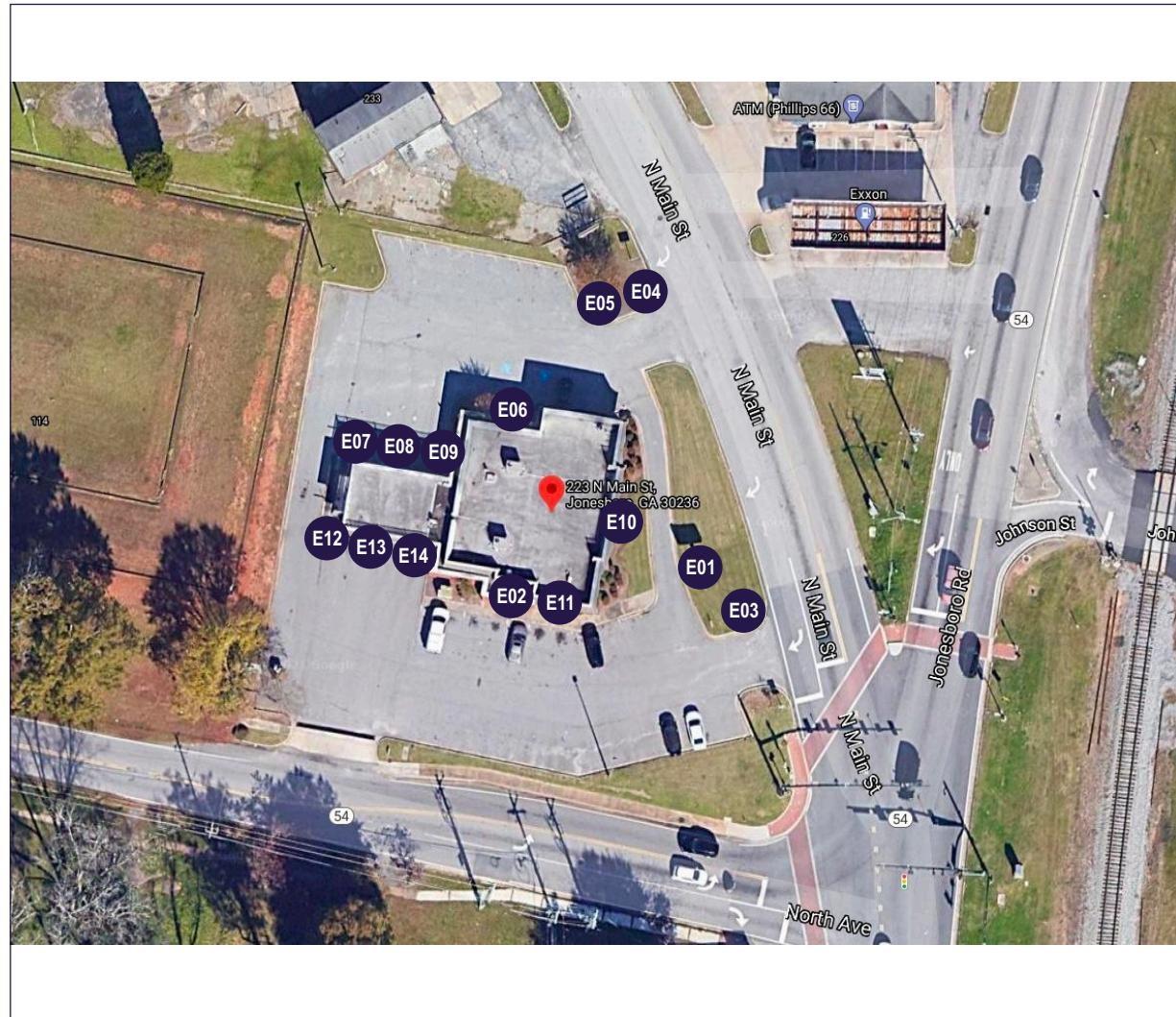
*Please see additional code check information available on PrincipleConnect.



Site ID:	152038	Drawn By:	Shy A.
Client:	Truist	Checked By:	RS
Project:	Re-brand	Scale:	N/A
Title:	223 North Main Street	Revision:	B
Date:	03-09-2021	Page:	4

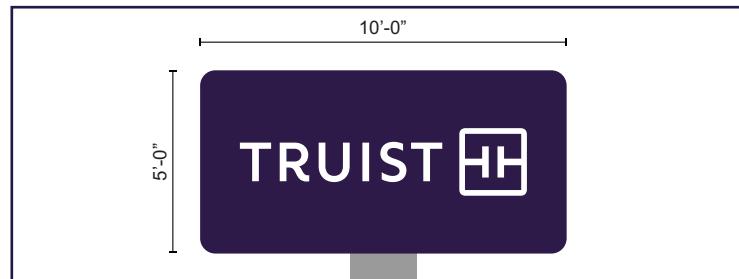
SITE PLAN

Key	Existing Sign	Recommended Sign
E01	Pylon Sign	PH50
E02	Channel Letters	LILWFTL12
E03	Directional Sign	D4
E04	Directional Sign	D4
E05	Directional Sign	D4
E06	Handicap Parking	Leave as is
E07	Lane Readers	Leave as is
E08	ATM Light	LD1
E09	Clearance Sign	C2
E10	Door Vinyl	V-1b,V-1d,V-7,V-10
E11	Door Vinyl	V-1b,V-1d,V-7,V-10
E12	ATM	ATM-3-Topper-DT-NCR 6688 DU
E13	Bollards	BC460
E14	Drive Up Banner	Replace Graphics Banner



Site ID:	152038	Drawn By:	Shy A.
Client:	Truist	Checked By:	RS
Project:	Re-brand	Scale:	N/A
Title:	223 North Main Street	Revision:	B
Date:	03-09-2021	Page:	5

LOCATION - E01
PROPOSED



Action:	Remove and replace with new pylon head	
Sign Type:	PH50	
Description:	Replace new illuminated head onto existing cladding	
Repair Action:	Check post cladding. Repair if necessary	
Signage Text:	Truist with monogram logo	
Comments:	N/A	

EXISTING	Quantity:	1 D/F
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Height:	4'-11 1/2"	Available Height:	15'-0 OAH
Width:	10'-0 1/2"	Available Width:	N/A

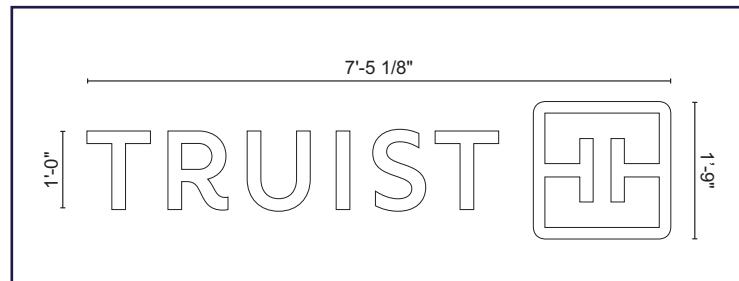
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2035 Lakeside Centre Dr. Suite 250	NOTE:	
Knoxville, TN 37922	All measurements and required electrical details to be verified by supplier for proper fit and illumination prior to install.	

NOTE:
All measurements and required electrical details to be verified by supplier for proper fit and illumination prior to install.

TRUIST

Site ID:	152038	Drawn By:	Shy A.
Client:	Truist	Checked By:	RS
Project:	Re-brand	Scale:	N/A
Title:	223 North Main Street	Revision:	B
Date:	03-09-2021	Page:	6

LOCATION - E02
PROPOSED



Action:	Remove and replace with new letter set	
Sign Type:	LILWFTL12	
Description:	Letters - Illuminated - Flush Mount - White Face - Trimless	
Repair Action:	Patch and repair wall if necessary	
Signage Text:	Truist with monogram logo	
Comments:	Since originally not illuminated an additional Survey, quote, permitting, and installation cost will need to be approved to proceed with the request to provide an illuminated signage	

EXISTING	Quantity:	1
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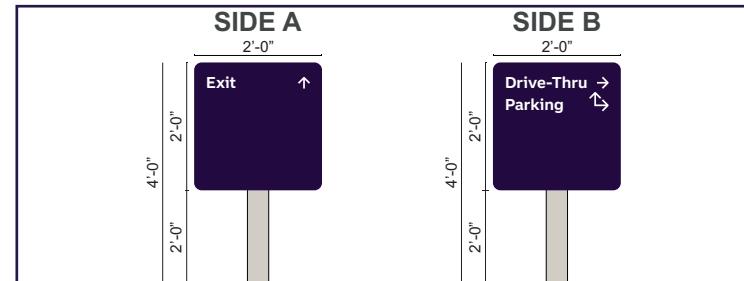
Height:	2'-0 1/2"	Available Height:	N/A
Width:	6'-3"	Available Width:	N/A

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Knoxville, TN 37922		



Site ID:	152038	Drawn By:	Shy A.
Client:	Truist	Checked By:	RS
Project:	Re-brand	Scale:	N/A
Title:	223 North Main Street	Revision:	B
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LOCATION - E03
PROPOSED



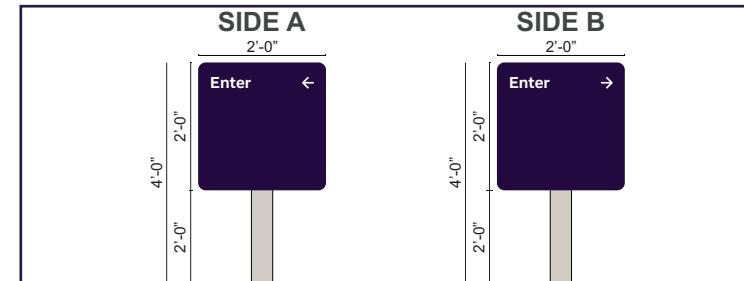
Action:	Remove and replace with new directional sign	
Sign Type:	D4	
Description:	Purple panel with white copy	
Repair Action:	Fill in ground after install	
Signage Text:	Exit, Drive-Thru, Client Parking with directional arrow	
Comments:	Verify Parking and arrow placement for clearance.	

EXISTING	Quantity:	1 D/S
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Height:	1'-3"	Available Height:	2'-10"
Width:	2'-6"	Available Width:	N/A

LOCATION - E04
PROPOSED



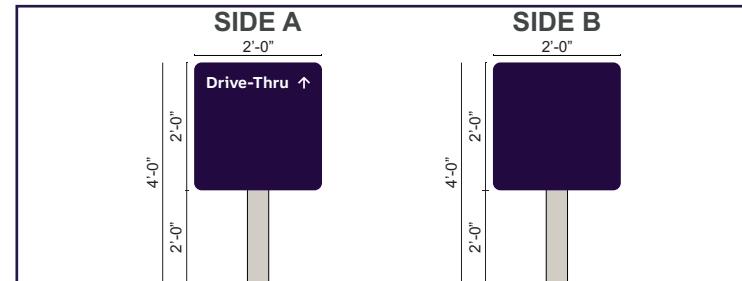
Action:	Remove and replace with new directional sign	
Sign Type:	D4	
Description:	Purple panel with white copy	
Repair Action:	Fill in ground after install	
Signage Text:	Enter with directional arrow	
Comments:	Technical survey required to validate flow of directional signs	

EXISTING	Quantity:	1 D/S
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Height:	0'-10"	Available Height:	3'-6"
Width:	2'-6"	Available Width:	N/A

LOCATION - E05
PROPOSED



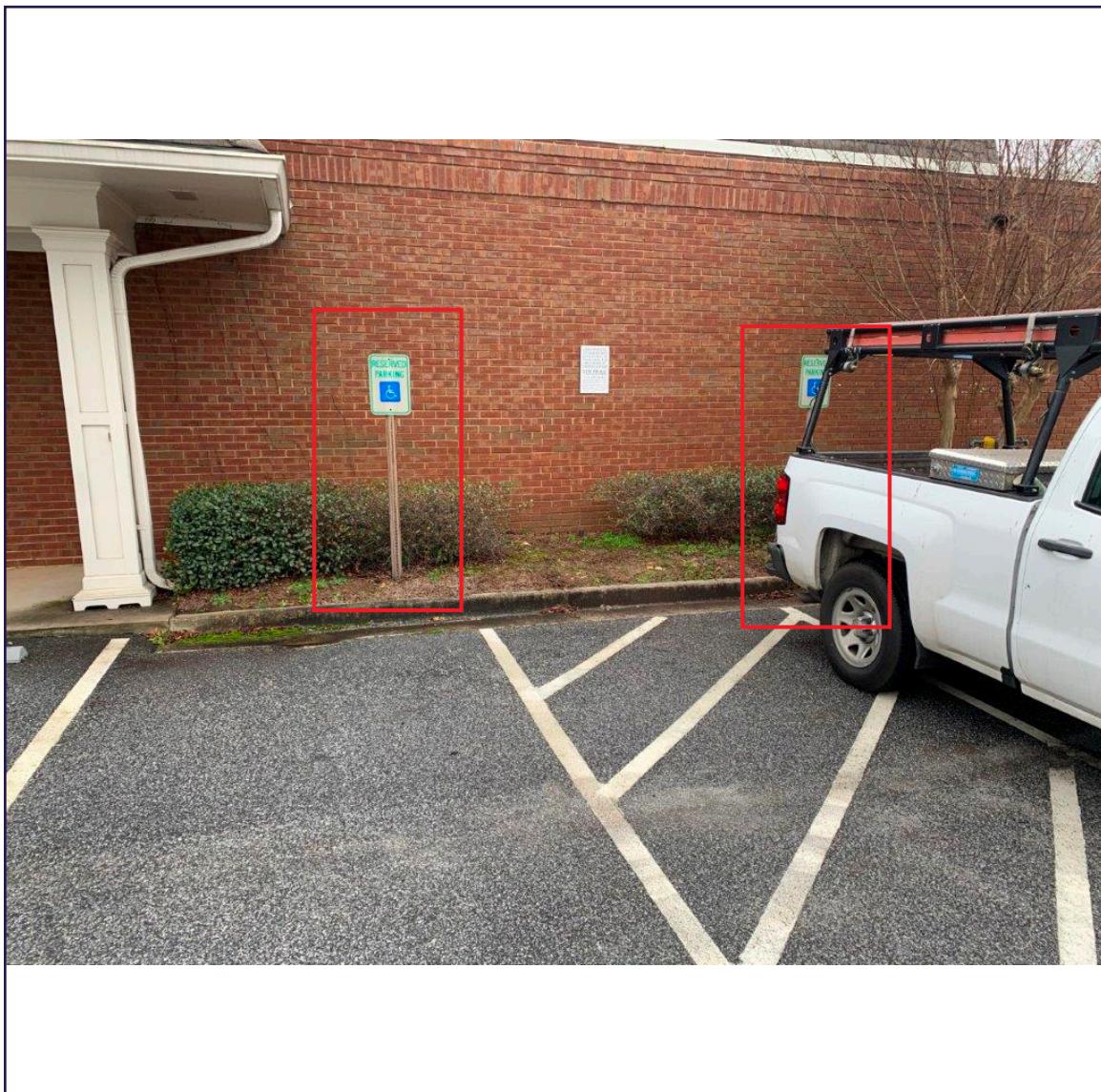
Action:	Remove and replace with new directional sign		
Sign Type:	D4		
Description:	Purple panel with white copy		
Repair Action:	Fill in ground after install		
Signage Text:	Drive-Thru with directional arrow		
Comments:	Technical survey required to validate flow of directional signs		

EXISTING	Quantity:	1 S/S
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Height:	0'-10"	Available Height:	3'-6"
Width:	2'-6"	Available Width:	N/A

LOCATION - E06
PROPOSED



LEAVE AS IS

Action:	Leave as is		
Sign Type:	Handicap Parking		
Description:	N/A		
Repair Action:	N/A		
Signage Text:	N/A		
Comments:	N/A		

EXISTING

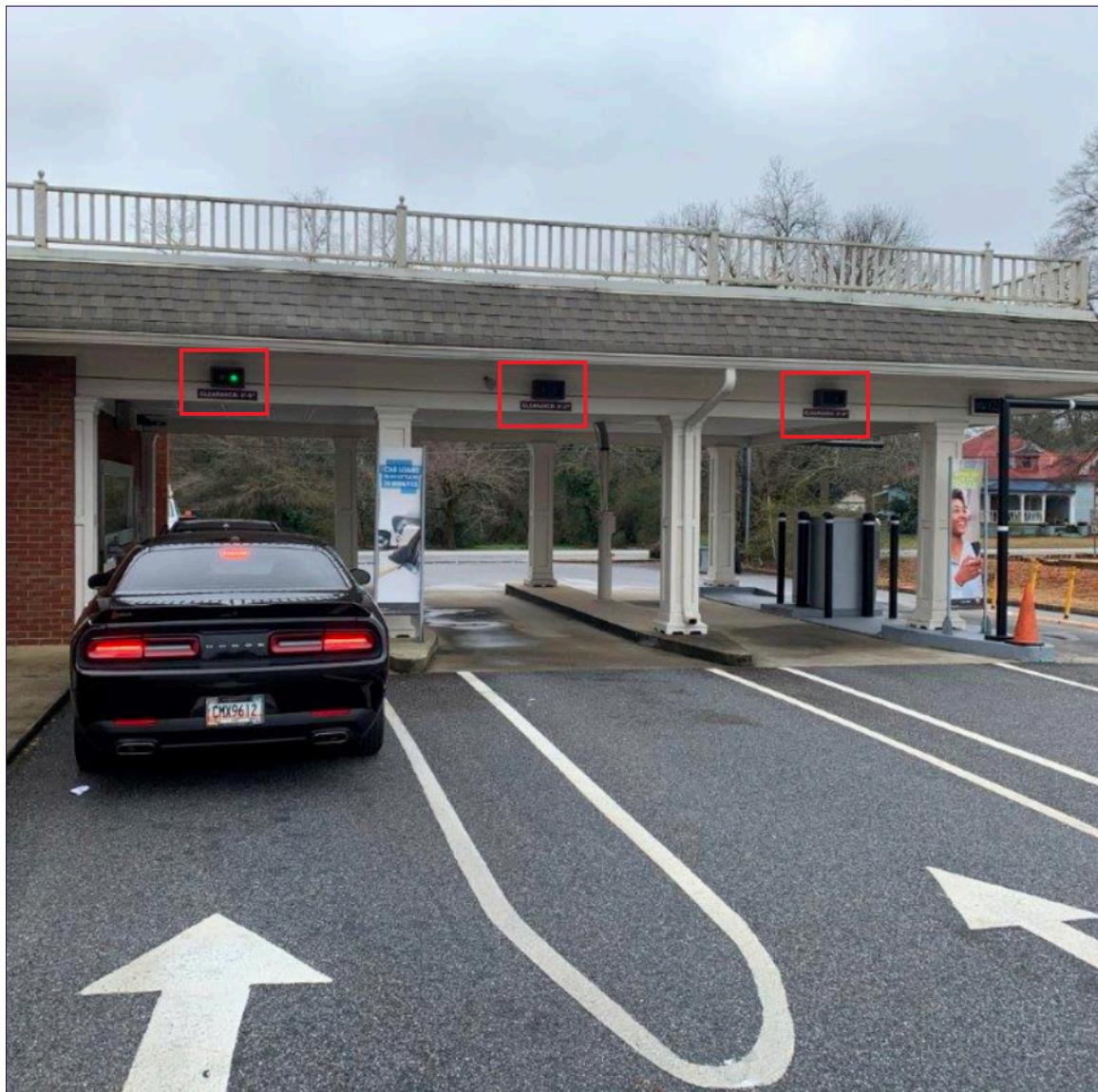
Quantity:

2



Height:	1'-6"	Available Height:	5'-11"
Width:	1'-0"	Available Width:	N/A

LOCATION - E07
PROPOSED



LEAVE AS IS

Action:	Leave as is	
Sign Type:	Lane Readers	
Description:	N/A	
Repair Action:	N/A	
Signage Text:	N/A	
Comments:	N/A	

EXISTING

Quantity: 3



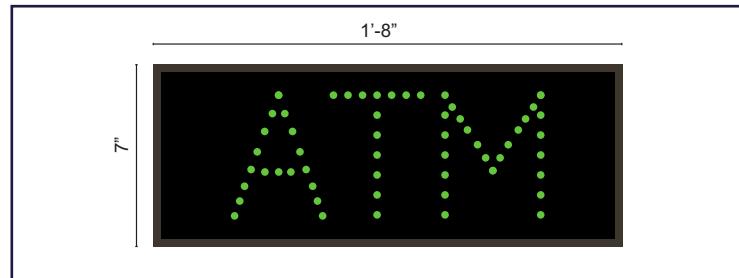
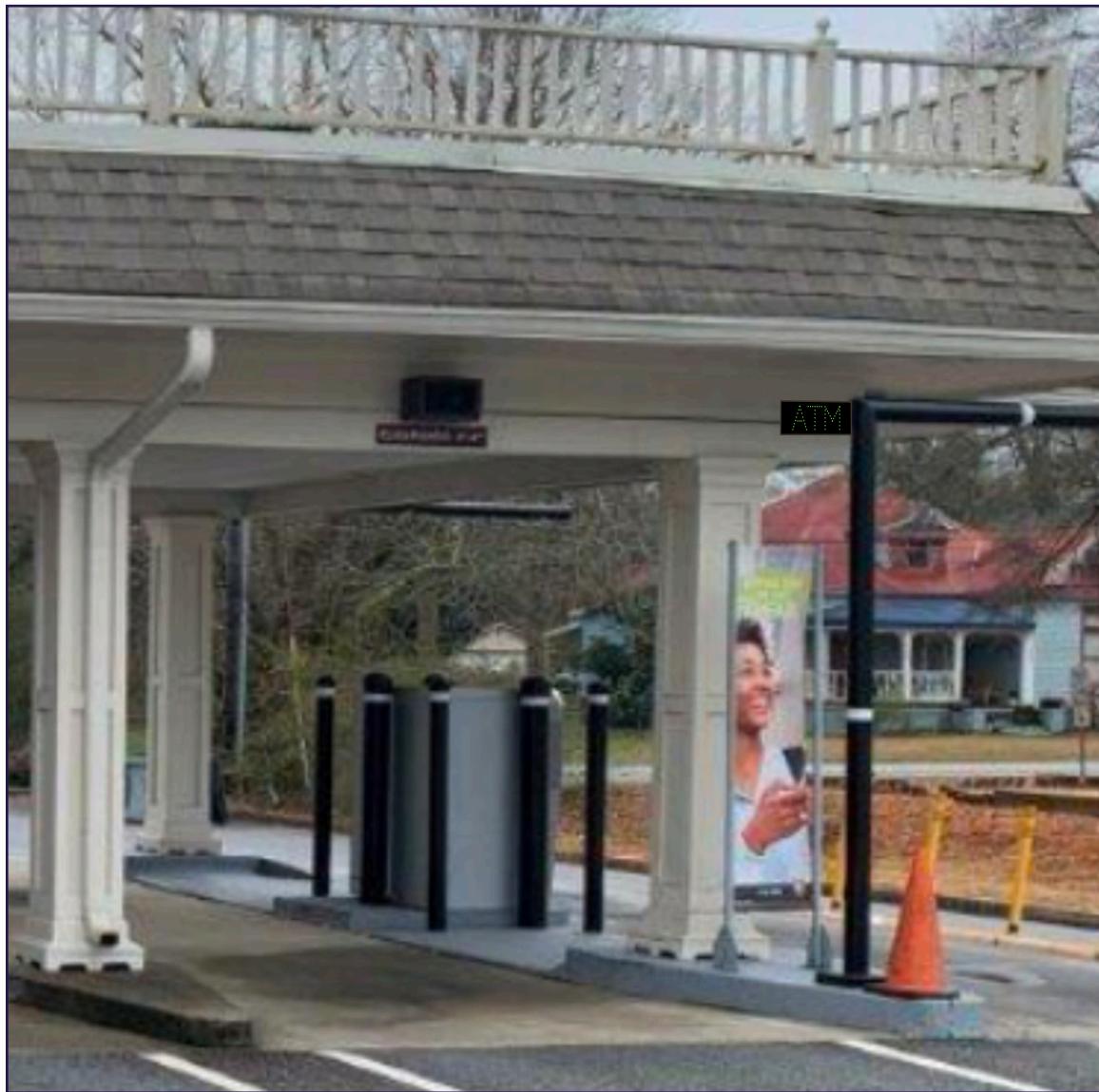
Height:	N/A	Available Height:	N/A
Width:	N/A	Available Width:	N/A

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Knoxville, TN 37922	

TRUIST

Site ID:	152038	Drawn By:	Shy A.
Client:	Truist	Checked By:	RS
Project:	Re-brand	Scale:	N/A
Title:	223 North Main Street	Revision:	B
Date:	03-09-2021	Page:	12

LOCATION - E08
PROPOSED



Action:	Remove and Replace with new Traffic Controller		
Sign Type:	LD1		
Description:	Illuminated Panel		
Repair Action:	Patch, and repaint wall if necessary		
Signage Text:	ATM		
Comments:	NA		

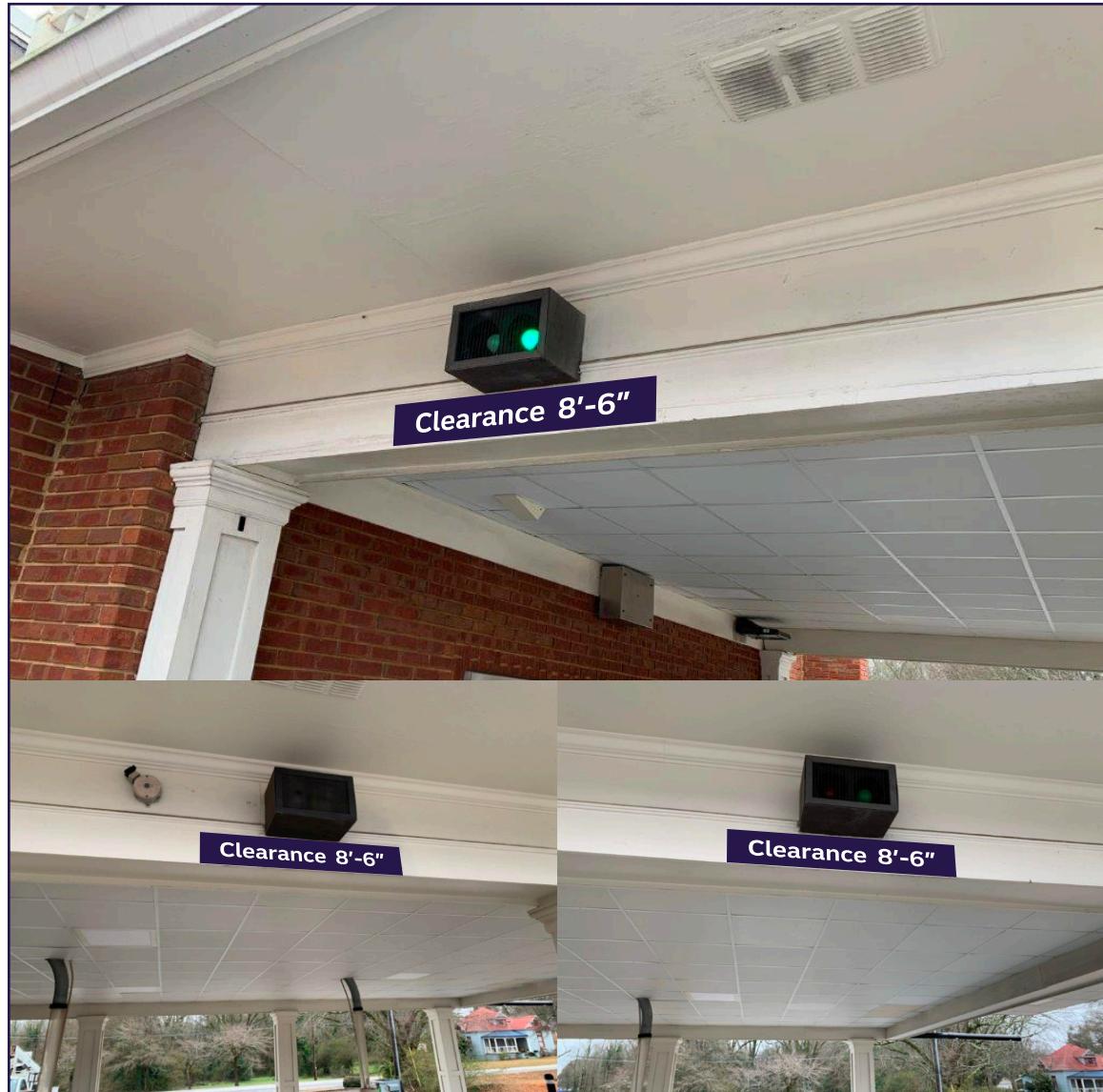
EXISTING	Quantity:	1
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Height:	N/A	Available Height:	N/A
Width:	N/A	Available Width:	N/A

LOCATION - E09

PROPOSED



Clearance 8'-6"

Action:	Remove and Replace with new	
Sign Type:	C2	
Description:	Clearance Plaque	
Repair Action:	Patch, and repaint wall if necessary	
Signage Text:	Clearance 8'-6"	
Comments:	NA	

EXISTING

Quantity:

3



Height:	0'-4"	Available Height:	N/A
Width:	2'-0"	Available Width:	N/A

LOCATION - E10
PROPOSED



Action:	New vinyls and plaques	
Sign Type:	V-1b, V-1d, V-7, V-10	
Description:	Wall plaque and vinyls	
Repair Action:	Clean windows.	
Signage Text:	N/A	
Comments:	All vinyl and 'clutter' removed. Firearm decal will vary by state basis.	

EXISTING

Quantity:

4



Height:	N/A	Available Height:	N/A
Width:	N/A	Available Width:	N/A

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Knoxville, TN 37922	

NOTE:
Supplier must validate via technical survey that the proposed sign fits the existing space, is depicted properly, and can be installed as shown in the rendering.



Site ID:	152038	Drawn By:	Shy A.
Client:	Truist	Checked By:	RS
Project:	Re-brand	Scale:	N/A
Title:	223 North Main Street	Revision:	B
Date:	03-09-2021	Page:	15

LOCATION - E11
PROPOSED



Action:	New vinyls and plaques	
Sign Type:	V-1b, V-1d, V-7, V-10	
Description:	Wall plaque and vinyls	
Repair Action:	Clean windows.	
Signage Text:	N/A	
Comments:	All vinyl and 'clutter' removed. Firearm decal will vary by state basis.	

EXISTING

Quantity:

4



Height:	N/A	Available Height:	N/A
Width:	N/A	Available Width:	N/A

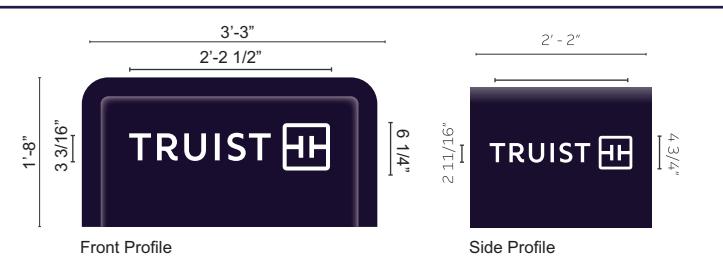
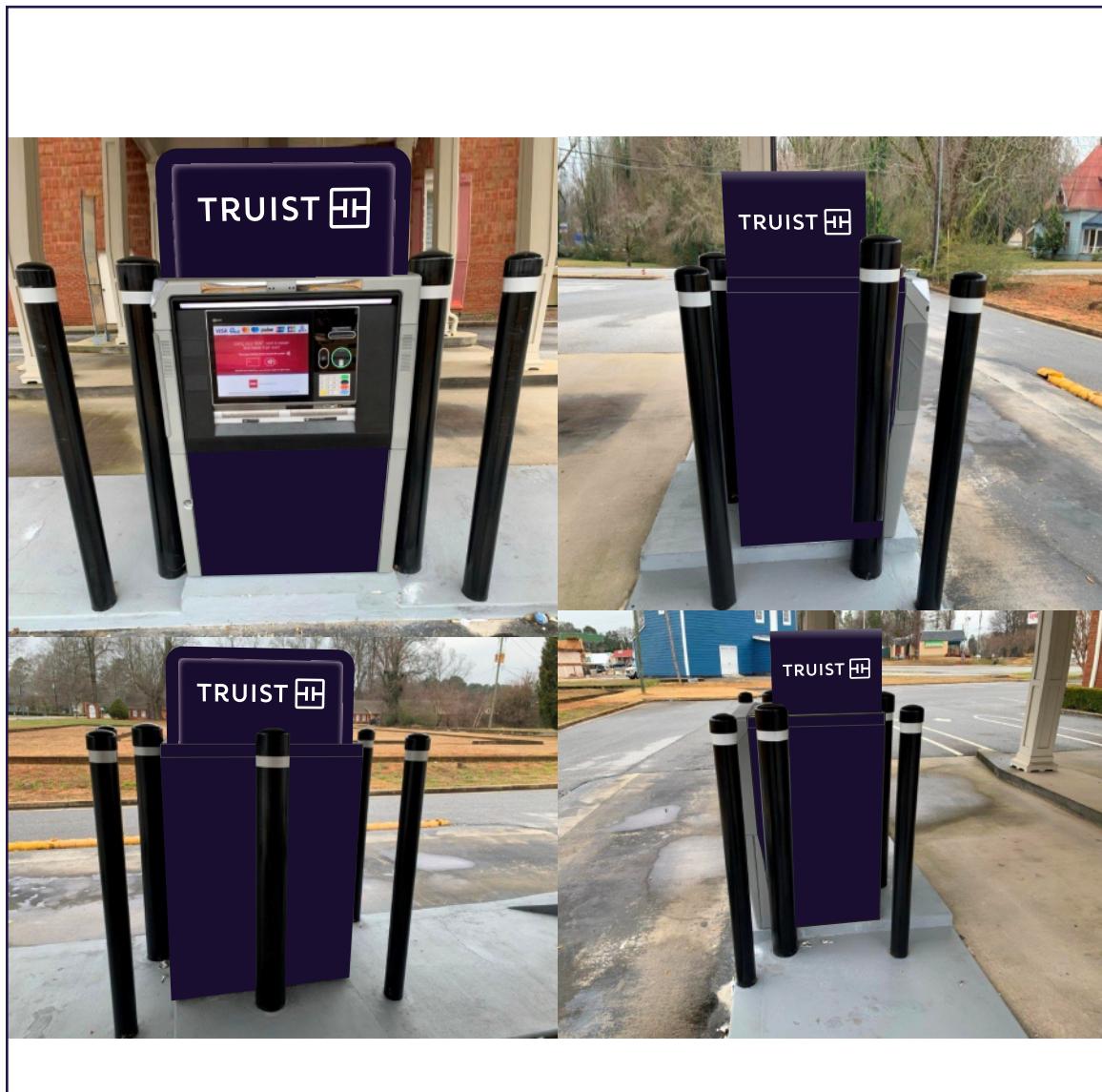
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2035 Lakeside Centre Dr. Suite 250	NOTE:	
Knoxville, TN 37922	Supplier must validate via technical survey that the proposed sign fits the existing space, is depicted properly, and can be installed as shown in the rendering.	

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TRUIST

Site ID:	152038	Drawn By:	Shy A.
Client:	Truist	Checked By:	RS
Project:	Re-brand	Scale:	N/A
Title:	223 North Main Street	Revision:	B
Date:	03-09-2021	Page:	16

LOCATION - E12
PROPOSED



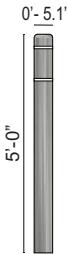
Action:	Add new topper and wrap	
Sign Type:	Topper DT, ATM 3 -NCR 6688 DU	
Description:	Aluminum topper painted Truist purple internally illuminated purple. Truist purple wrapped to existing ATM as shown.	
Repair Action:	Repair wall, dispose of old branding, clean area	
Signage Text:	Truist	
Comments:	N/A	

EXISTING	Quantity:	1
----------	-----------	---



Height:	N/A	Available Height:	N/A
Width:	N/A	Available Width:	N/A

LOCATION - E13
PROPOSED



Action:	Cover bollards with new sleeve		
Sign Type:	BC460		
Description:	Bollards to have new sleeves applied		
Repair Action:	N/A		
Signage Text:	N/A		
Comments:	N/A		

EXISTING	Quantity:	7
----------	-----------	---



Height:	5'-0"	Available Height:	N/A
Width:	0'-5.1'	Available Width:	N/A

LOCATION - E14
PROPOSED



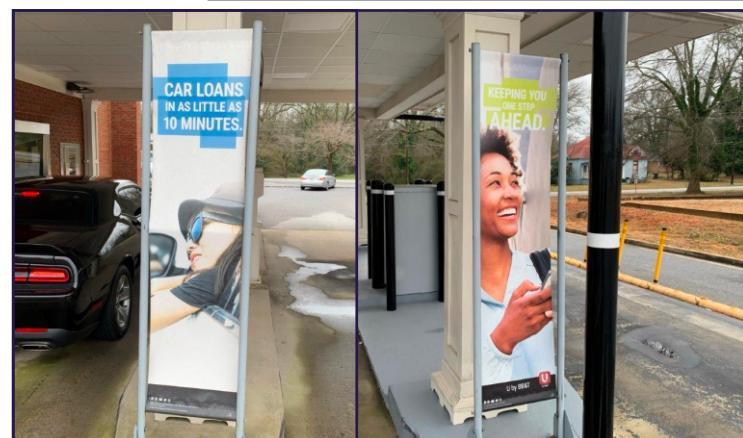
Stands to stay and marketing to be replaced

Action:	Stands to stay and marketing to be replaced		
Sign Type:	NA		
Description:	NA		
Repair Action:	NA		
Signage Text:	NA		
Comments:	NA		

EXISTING

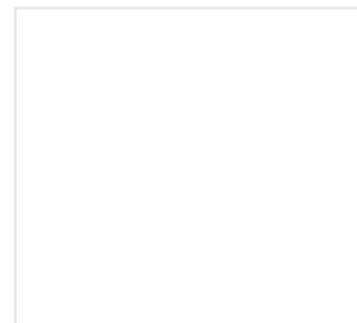
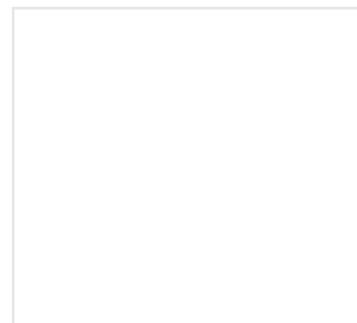
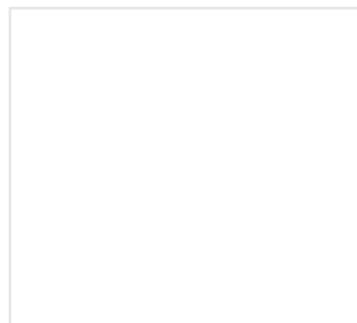
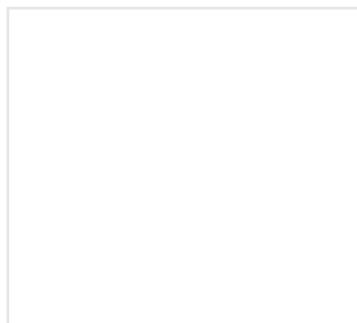
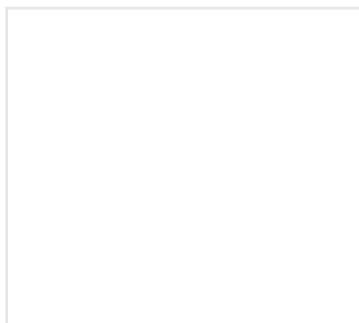
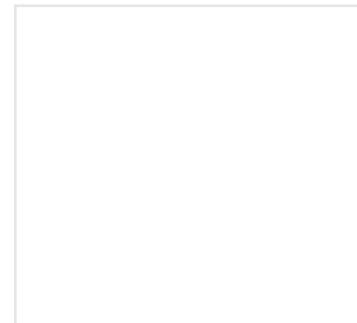
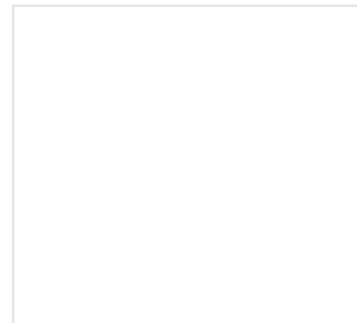
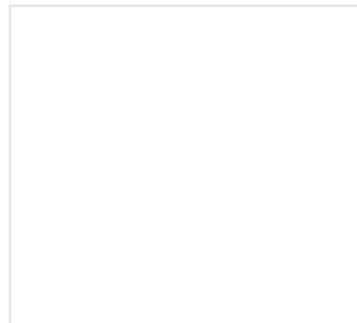
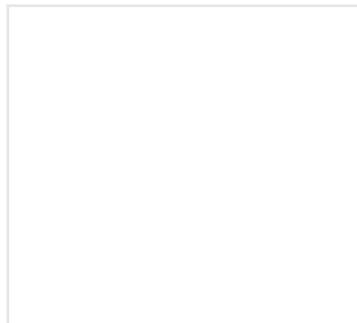
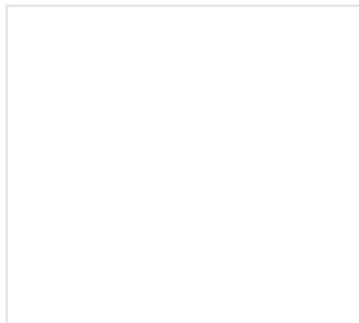
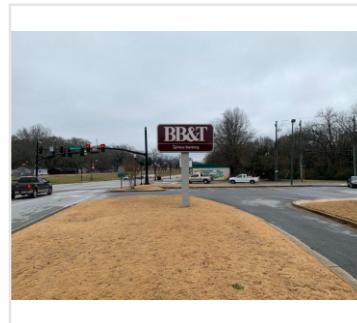
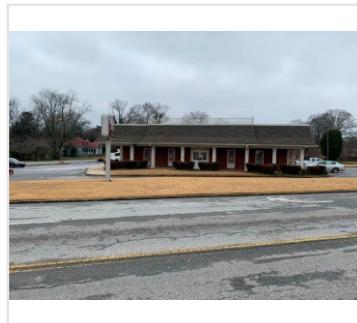
Quantity:

2



Height:	N/A	Available Height:	N/A
Width:	N/A	Available Width:	N/A

ADDITIONAL PHOTOS





MEMORANDUM

To: Michael Hammond
Apollo Sign

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: June 21, 2021

Re: Notification of Request for Design Review Commission – Replacement Sign Panels; 223 North Main Street; Parcel No. 13240B A003

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of replacement sign panels for the property located at 223 North Main Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, July 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in blue ink, appearing to read "D. Allen".

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary

Agenda Item #

5.b
-b

COUNCIL MEETING DATE

July 7, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action *(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)*

Commission to make a recommendation on Nouveau Bar & Grill – 103 West Mill Street; Parcel No. 13241D B005; New signs for new restaurant in Historic District.

Requirement for Board Action *(Cite specific Council policy, statute or code requirement)*

City Code Section 86-102 Historic District Standards

Is this Item Goal Related? *(If yes, describe how this action meets the specific Board Focus Area or Goal)*

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Approval of exterior signs: The Broad Street development in the Historic District has completed construction and the restaurant inside the Firehouse Museum is slated to open by the end of July. Enclosed are the proposed wall signs (four) for three sides of the building – one facing West Mill Street, one facing Broad Street and two facing Church Street. **No ground signs are currently proposed.**

For the wall sign directly facing West Mill Street, the area of the sign is **25.5 square feet** (one side), which individually is well below the maximum total 150 square feet allowed in Code Section 86-490(b). The wall sign panel is approximately 1.3% of the total front building façade, well below the 10% allowed in Code Section 86-489(b)(1) for multiple frontage lots. The panel will have no changeable copy and no electronics **but is proposed to be internally illuminated (front lit)**. The primary material is acrylic. The black and blue color scheme will not conflict with adjacent businesses and will go well with the exterior of the Broad Street buildings. The “N” design is part of the recognized Nouveau logo.

For the wall sign directly facing Broad Street, the area of the sign is **18 square feet** (one side), which individually is well below the maximum total 150 square feet allowed in Code Section 86-490(b). The wall sign panel is approximately 1% of the total side building façade, well below the 10% allowed in Code Section 86-489(b)(1) for multiple frontage lots. The panel will have no changeable copy and no electronics. **It needs to be confirmed whether or not this wall sign is internally illuminated.** The primary material is acrylic. The black color scheme will not conflict with adjacent businesses and will go well with the exterior of the Broad Street buildings.

For the “Nouveau” wall sign directly facing Church Street, the area of the sign is **18 square feet** (one side), which individually is well below the maximum total 150 square feet allowed in Code Section 86-490(b). The wall sign panel is approximately 2.9% of the total rear building façade, well below the 10% allowed in Code Section 86-489(b)(1) for multiple frontage lots. The panel will have no changeable copy and no electronics. **It needs to be confirmed whether or not this wall sign is internally illuminated.** The primary material is acrylic. The black color scheme will not conflict with adjacent businesses and will go well with the exterior of the Broad Street buildings.

For the “main entrance” wall sign directly facing Church Street (below the “Nouveau” sign), the area of the sign is **6 square feet** (one side), which individually is well below the maximum total 150 square feet allowed in Code Section 86-490(b). The wall sign panel is below 1% of the total rear building façade. The panel will have no changeable copy, no electronics and no internal illumination. The primary material is vinyl. The black color scheme will not conflict with adjacent businesses and will go well with the exterior of the Broad Street buildings.

Total wall sign area (for all four signs) equals 67.5 square feet, below the maximum total 150 square feet allowed in Code Section 86-490(b).

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

July, 7, 2021

Signature

City Clerk's Office

Potential Issues:

1. Code Section 86-489(b)(1) allows for more than one wall sign for single buildings located on multiple frontage lots. However, the Broad Street signage is four signs exceeding this allowance by two. However, with the exception of the "Nouveau" and "main entrance" signs facing Church Street, none of the wall signs can be seen together in one view. Also, there are no ground signs to account for. Therefore, staff does not have a problem with the four wall signs.
2. The property is in the Historic District, and only externally illuminated signs are allowed there, per Code Section 86-495 (3)(d). The Commission needs to discuss whether internal illumination is necessary and appropriate for this particular site and whether approval of internally illuminated lighting would establish a precedent for the rest of the Historic District.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Public / Private Partnership**Exhibits Attached** (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Acceptance Letter
- Nouveau Building Signage quote 6-22-21

Staff Recommendation *(Type Name, Title, Agency and Phone)***Approval**



MEMORANDUM

To: Kwame Richards
Opium Restaurant Consulting

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: June 21, 2021

Re: Notification of Request for Design Review Commission – Wall Signs; 103 West Mill Street; Parcel No. 13241D B005

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of wall signs for the property located at 103 West Mill Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, July 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in blue ink that appears to read "David D. Allen".

David D. Allen
Community Development Director / Zoning Administrator



SIGN ELEVATION VIEW - Manufacture & Install New Set Interior-Illuminated Channel Letters
One (1) Required

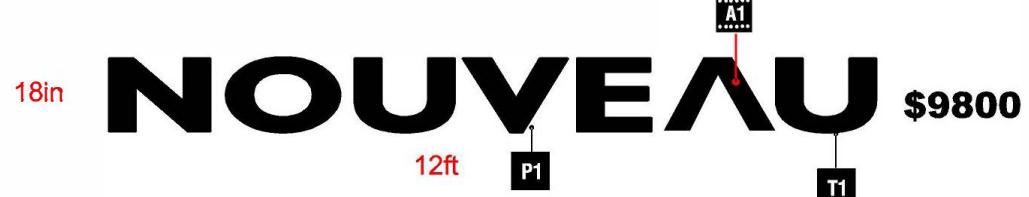


Fabricate and install (1)

NOUVEAU \$6000

16ft

Fabricate and install (2)



This is an Original Unpublished Design created by Citi Signs of Atlanta. It is subject to Copyright Laws. It is not to be shown or exhibited to anyone outside of your Organization. Reproduction or Construction of Displays based on this Design could result in legal action.

Front-Lit Channel Letters

Manufacture and install one (1) Front-lit Illuminated wall display

Channel Letters

Face: 3/16" Acrylic
Trim cap: 3/4" Black
Returns: .040 Aluminum

Interior: Reflective White
Illumination: LEDs
UL Listed Label

Installation

Wall Type: Stucco
Mounting: Bolts
Power Supplies:
Primary: 110v

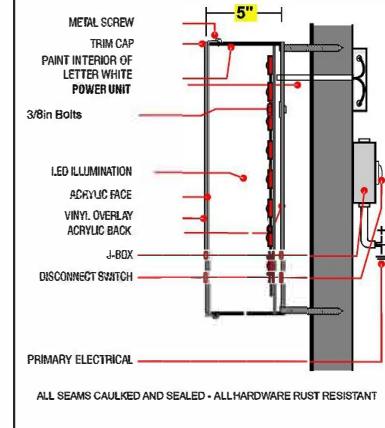
ROUTED PVC LETTERS

MAIN ENTRANCE

3/16in X 6in Letters mounted with silicon adhesive backing

Scale: NTS

Front-Lit Channel Letters - Typical



A Attachment Detail

Scale: NTS



Date:
jUNE 18, 2021

CitiSignsAtl.com
Tel: 678-698-7330
citsigns@yahoo.com

Client:
NOUVEAU
Location:

ETC:
30 Days

Provisions:

Drawings:
NTS



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item

5.c

- 9

COUNCIL MEETING DATE

July 7, 2021

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
Requested Action (<i>Identify appropriate Action or Motion, purpose, cost, timeframe, etc.</i>) Commission to make a recommendation for Liquor Store – Hwy. 138; Parcel No. 13210B D006; Exterior of proposed business.	
Requirement for Board Action (<i>Cite specific Council policy, statute or code requirement</i>) City Code Section 86-107 – C2 Zoning Standards;	
Is this Item Goal Related? <i>(If yes, describe how this action meets the specific Board Focus Area or Goal)</i>	
Yes	Economic Development, Beautification, Community Planning, Neighborhood and Business Revitalization
Summary & Background	<i>(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)</i>
Agency recommendation – Approval of preliminary exterior design; In April, Parcel 13210B D006 along Highway 138, west of the intersection of Tara Blvd. and Hwy. 138, was annexed and rezoned into the City for the purpose of a liquor store. The business would be a complete new build as the subject property is currently a vacant lot. The property is not technically in the Tara Blvd. Overlay District.	
This is a preliminary review. There may be some changes to the exterior once the actual building plans are submitted. If the future building plans depart significantly from the submitted preliminary design, then the Design Review Commission will review the exterior again.	
<u>Summary of Liquor Store approval</u>	
<u>Sec. 86-637. NAICS 4453 – Beer, Wine, and Liquor Stores</u>	
The following conditions are assigned in the C-2 district:	
(1) Must be located on a street having a classification of arterial (Tara Boulevard and Georgia Highway 138 Spur). Will be located on Highway 138.	
(2) Must be located in a free-standing building (no planned centers, connected storefronts sharing a common wall, or lots with zero lot line development or shared parking) that is a minimum 10,000 square feet, is new, but in any case, not older than 20 years old since original construction and must be located in the C-2 Highway Commercial District zoning district, requiring a conditional use permit. See above. Building will be freestanding.	
(3) The retail package distilled spirits license shall be limited by population of the City according to the most recent decennial census, with one (1) such establishment allowed in the City for each 2400 residents. See above.	
(4) Such additional regulations as would safeguard the health, safety and welfare of the citizens of the City.	
See below.	
Though the final square footage of the liquor store is not known at this time, the minimum parking required for a 10,000 square-foot store would be:	
1 parking space is required for every 200 square feet / 10,000 = minimum 50 parking spaces required.	
With the inclusion of a 10,000 s.f. building and at least 50 parking spaces, there could be more than the maximum 80% lot coverage specified in C-2 zoning, thus possibly requiring a variance.	
Based on its position, the property is not subject to Tara Boulevard Overlay requirements.	
<u>Staff recommendation: Approval, with the following conditions:</u>	

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date July, 7, 2021	
Signature	City Clerk's Office	

1. In addition to the standards of Sec. 6-44, 6-75, and 86-637, City parking requirements and C-2 zoning standards, the development is subject to the standards of Article XV, Landscaping and Buffers.
2. The exterior building design and all new signage for the development are subject to review by the Design Review Commission.
3. The development is subject to all stormwater and hydrology requirements of the Clayton County Water Authority.

5.c

The current building elevations show a mixture of primarily full-depth brick and some glass, depending on the side of the building.

South (front) side (most directly facing Hwy. 138): 75% full depth brick with 25% glass.

East (right) side (most directly facing drugstore): 75% full depth brick with 25% glass.

North (back) side (most directly facing shopping center): Full depth brick and no glass.

West side: Full depth brick and no glass.

Though not the same color as the adjacent drugstore brick and the shopping center brick, the store would still complement the other uses by being brick.

Signs

Other than the general wall signs shown at the entrance, there have been no specific sign designs submitted so far. Specific ground and wall signs will be a separate Design Review agenda item in the near future.

Landscaping

Specific landscape plans will be a separate Design Review agenda item in the near future.

Tara Boulevard Overlay Building standards

Although this project is not technically in the Tara Boulevard Overlay District, it still meets many of the architectural standards of that overlay. Notable exceptions are minimum 40% glass on street facing sides and a lack of entrance features such as canopies, overhangs, arches, and peaked roof forms to provide more visual interest. These can be discussed by the Design Review Commission.

Lighting will need to be night sky friendly.

Alternatives to chain-link fencing need to be used. (Use LIDL as a model.)

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

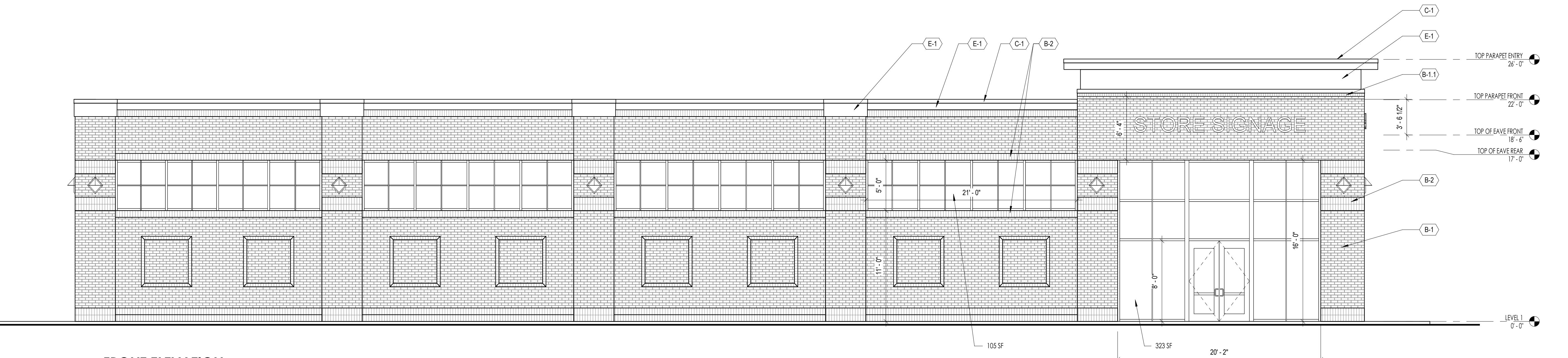
Private developer

- Property Picture
- 21019-21.06.21-138 LIQUOR STORE
- 21019-21.06.21-138 LIQUOR STORE-11x17
- Acceptance Letter
- Agenda Cover Sheet - Annexation

Staff Recommendation *(Type Name, Title, Agency and Phone)*

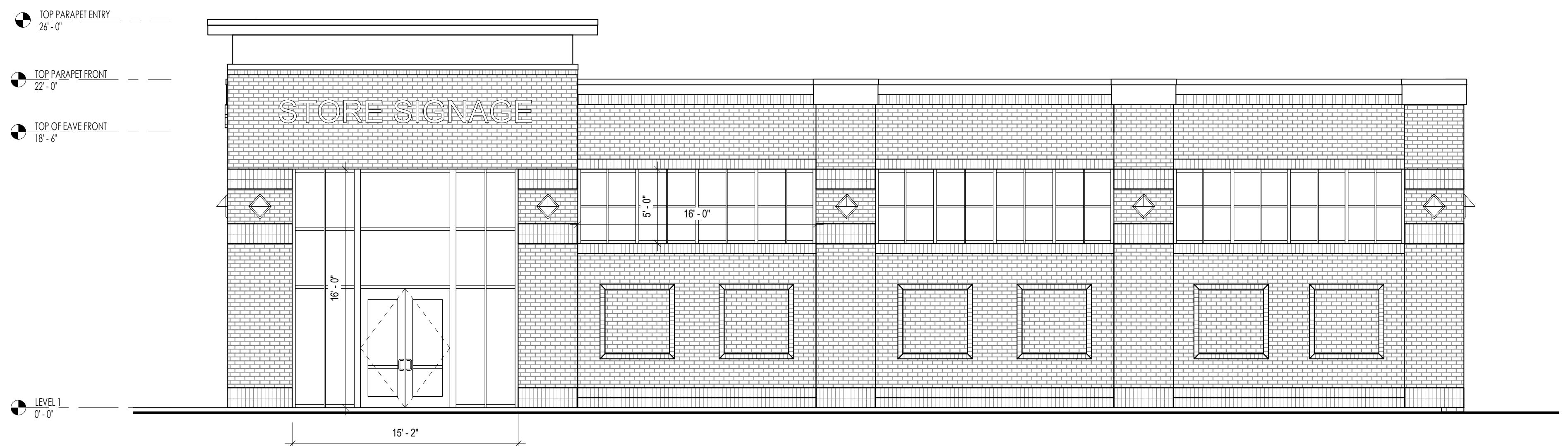
Approval





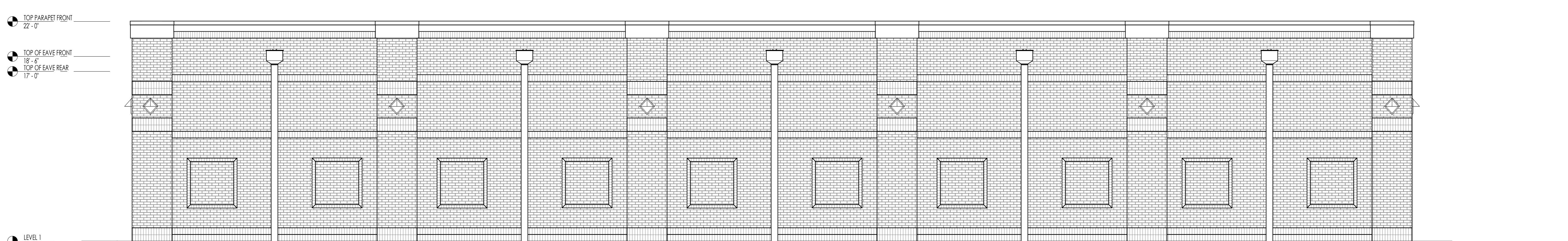
1 FRONT ELEVATION

A105 3/16" = 1'-0"



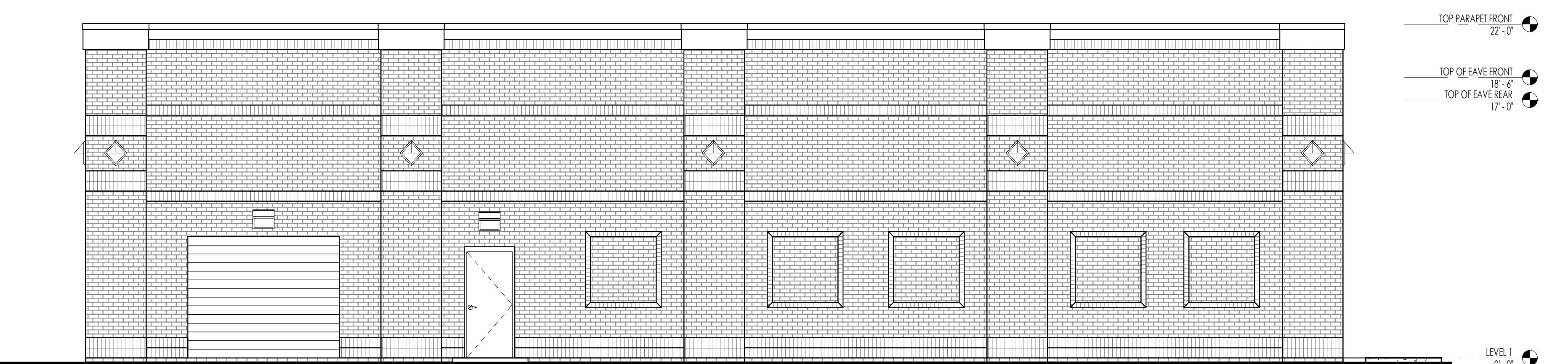
2 RIGHT ELEVATION

A105 3/16" = 1'-0"



3 REAR ELEVATION

A105 3/16" = 1'-0"



4 LEFT ELEVATION

A105 3/16" = 1'-0"

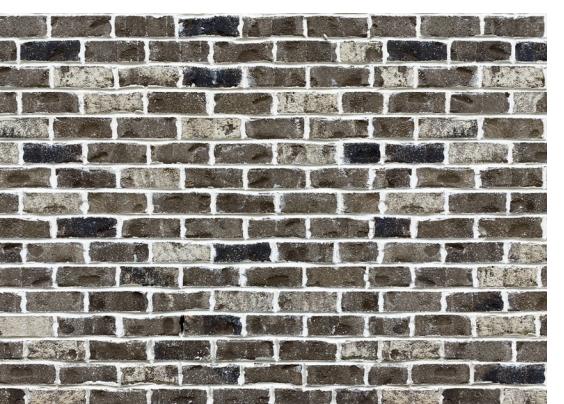
FRONT FASADE:
 ENTIRE FASADE AREA: 2,934 SF
 SOLID WALL: 2,191 SF
 GLAZING: 743 SF (25%)

RIGHT FASADE:
 ENTIRE FASADE AREA: 1,923 SF
 SOLID WALL: 1,442 SF
 GLAZING: 481 SF

LEFT FASADE:
 ENTIRE FASADE AREA: 1,826 SF
 SOLID WALL: 1,826 SF
 GLAZING: 0 SF

REAR FASADE:
 ENTIRE FASADE AREA: 2,821 SF
 SOLID WALL: 2,821 SF
 GLAZING: 0 SF

ELEVATION FINISH SCHEDULE		
TYPE MARK	DESCRIPTION	COMMENTS
B-1	CHEROKEE BRICK - SHADOWSTONE WITH IVORY MORTAR, QUEEN SIZE	
B-1.1	CHEROKEE BRICK - SHADOWSTONE WITH IVORY MORTAR, QUEEN SIZE, SOLDIER COURSE	
B-2	CHEROKEE BRICK - SAVANNAH GRAY HC WITH IVORY MORTAR, QUEEN SIZE	
C-1	PRE-FINISHED METAL COPING	
E-1	EBS - IVORY COLOR TO MATCH BRICK MORTAR	

B-1
CHEROKEE BRICK - SHADOWSTONE WITH IVORY MORTARB-2
CHEROKEE BRICK - SAVANNAH GRAY HC WITH IVORY MORTAR

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NO.	DATE	DESCRIPTIONS	BY
		ISSUES / REVISIONS	

Project:

138 LIQUOR STORE

Project Address:

JONESBORO, GA

Drawing Title:

EXTERIOR ELEVATIONS

Drawing Status:

PROPOSED ELEVATIONS

Scale: 3/16" = 1'-0" Drawn by: JA Reviewed by: JA

Date/Time Printed: 6/21/2021 11:23:39 PM

Date: 06/22/2021 Project number: 21019

Drawing:

A105



Attachment: 21019-21.06.21-138 LIQUOR STORE-11x17 (1917 : Hwy. 138 Liquor Store)



12055 Greenmont Walk
Alpharetta, GA 30009
404.975.7895
email: joel@joelaviles.com
www.joelaviles.com
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Project:
138 LIQUOR STORE

Project Address:
JONESBORO, GA

Prepared for:
-

Drawing Title:
PROPOSED FRONT
RENDERING

Drawing Status:
PROPOSED ELEVATIONS

Project number:
21019

Date: 06/22/202
Drawing: A901



Attachment: 21019-21.06.21-138 LIQUOR STORE-11x17 (1917 : Hwy. 138 Liquor Store)



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Alpharetta, GA 30009
404.975.7895
email: joel@joelaviles.com
www.joelaviles.com
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Project:
138 LIQUOR STORE

Project Address:
JONESBORO, GA

Prepared for:
-

Drawing Title:
PROPOSED RIGHT
RENDERING

Drawing Status:
PROPOSED ELEVATIONS

Project number:
21019

Date: 06/22/202
Drawing: A902



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Project:
138 LIQUOR STORE

Project Address:
JONESBORO, GA

Prepared for:
-

Drawing Title:
**PROPOSED REAR
RENDERING**

Drawing Status:
PROPOSED ELEVATIONS

Project number:
21019

Date: 06/22/202
Drawing: A903



Attachment: 21019-21.06.21-138 LIQUOR STORE-11x17 (1917 : Hwy. 138 Liquor Store)



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Project:
138 LIQUOR STORE

Project Address:
JONESBORO, GA

Prepared for:
-

Drawing Title:
**PROPOSED LEFT
RENDERING**

Drawing Status:
PROPOSED ELEVATIONS

Project number:
21019

Date: 06/22/202
Drawing: A904



MEMORANDUM

To: Mark Whitley, PE
Whitley Engineering

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: June 21, 2021

Re: Notification of Request for Design Review Commission – Exterior Elevations for Liquor Store; Highway 138; Parcel No. 13210B D006

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of exterior elevations for a proposed liquor store for the property located along Highway 138, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, July 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in blue ink, appearing to read "D Allen".

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item

5.c.e

COUNCIL MEETING DATE
April 5, 2021

Requesting Agency (Initiator)

Sponsor(s)

Office of the City Manager

Community Development Director Allen

Requested Action (*Identify appropriate Action or Motion, purpose, cost, timeframe, etc.*)

Council to consider a map amendment, 21-MA-002, Ord. 2021-007, to the Official Zoning Map for rezoning of 0.79 acres of property fronting Highway 138, Parcel ID# 13210B D006, from Clayton County's "General Business" to Jonesboro's "Highway Commercial" and to annex 0.79 acres of property in the corporate city limits of the City of Jonesboro. (Applicant – My Myloor Group, LLC)

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

O.C.G.A. 36-36-20

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal.)

Community Planning, Neighborhood and Business Revitalization, Economic Development

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Purpose & Description of the Request

- The City of Jonesboro received a request for rezoning and annexation on February 8, 2021 from My Myloor Group, LLC.
- The applicant seeks to annex 0.79 acres of land known as parcel number 13210B D006 from Clayton County into the City of Jonesboro.
- The intent is to develop a liquor store.

Background Information

- The 0.79 acre subject site is currently vacant. It is owned by Grimsby Development, LLC.
- Application for annexation/rezoning has been officially accepted and assigned a case number.
- As per O.C.G.A. the notice has been submitted to Clayton County via certified mail on February 10, 2021, return receipt requested, within five (5) days of acceptance by the City of Jonesboro. To date, there has been no formal response from Clayton County.
- The ad in the Clayton News Daily announcing the public hearings was run on Wednesday, March 17, 2021

Current Site Conditions:

- The 0.79 acre subject site is currently vacant.
- It has not been assigned an address by Clayton County but is known as tax parcel 13210B D006.

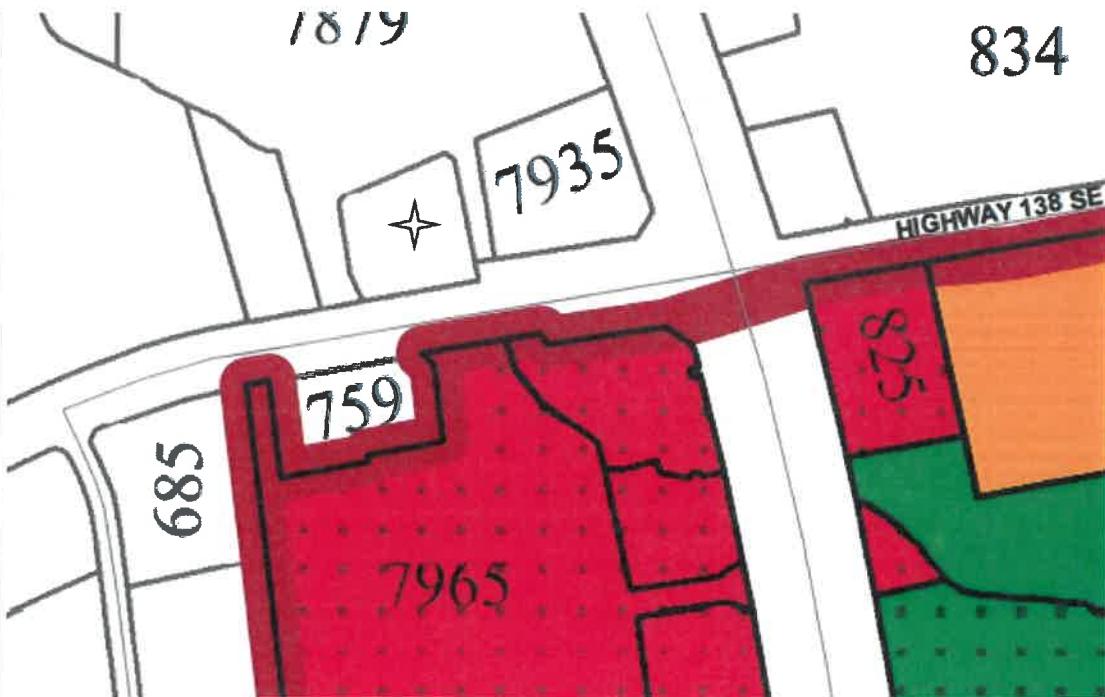
FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title
Ricky L. Clark, City Manager

Date

Signature

City Clerk's Office



Annexation Requirements (State)

- Annexation is governed by Official Code of Georgia Annotated (O.C.G.A.) Title 36, Chapter 36. Chapter 36 describes three main types of annexation: the 100 percent method, the 60 percent method, and annexation by resolution and referendum. Property can also be annexed by local Act of the General Assembly.
- This property is under the 100% method- one parcel of land with one owner requesting annexation. Municipal corporations can annex unincorporated areas contiguous to the existing corporate limits. The survey of this site, attached as an exhibit, shows the subject site is contiguous to the City, *via the right-of-way of Hwy. 138*.
 - Signed by 100 percent of owners (or legal representative thereof) of all the land, except the owners of any public road or right-of-way.
 - Complete description of lands to be annexed. When an application for annexation is received, the municipality must give notice (cert. mail) of the proposed annexation to the governing authority of the county wherein the property is located within five business days. The notice must include a map or other description sufficient to identify the area. Section II of this report and corresponding attachments shows the legal description and the County's receipt of the application via certified mail.
 - The county must respond (cert. mail) within five business days of receipt and inform if any county owned facilities are located in the proposed area to be annexed. Attachment "F" of this report shows certified Gwinnett County response.

Rezoning:

- Should the Council agree to the annexation, the property will need to be rezoned. At current the Clayton County Zoning Designation is GB (General Business). Our compatible zoning in the City is MC-2 (Highway Commercial).

(b) Development standards.

- Minimum lot area: 43,560 square feet (one acre) **0.79 acres (existing lot)**
- Minimum lot width: 100 feet **approximately 172 feet**
- Minimum front yard: 40 feet **So noted; no building present**
- Minimum side yard: 30 feet, when adjoining a residential use, otherwise zero **So noted; no building present**
- Minimum rear yard: 40 feet, when adjoining a residential use, otherwise zero **So noted; no building present**
- Maximum building floor area per story: none **So noted**
- Maximum building height: 40 feet **So noted; no building present**
- Minimum building separation: per building codes **So noted; no building present**

(c) Design standards.

Unless otherwise provided in this chapter, uses permitted in a C-2 district shall conform to the following design standards:

(1) Off-street parking shall be provided as specified in article XIII of this chapter. **So noted**

(2) Buffers shall be provided as specified in article XV of this chapter. **So noted**

- A liquor store use requires a conditional use permit, which will be covered in this same meeting.
- A liquor store must meet the following conditions to be approved:

Sec. 86-637. NAICS 4453 – Beer, Wine, and Liquor Stores

The following conditions are assigned in the C-2 district:

(1) Must be located on a street having a classification of arterial (Tara Boulevard and Georgia Highway 138 Spur).

(2) Must be located in a free-standing building (no planned centers, connected storefronts sharing a common wall, or lots with zero lot line development or shared parking) that is a minimum 10,000 square feet, is new, but in any case, not older than 20 years old since original construction and must be located in the C-2 Highway Commercial District zoning district, requiring a conditional use permit.

(3) The retail package distilled spirits license shall be limited by population of the City according to the most recent decennial census, with one (1) such establishment allowed in the City for each 2400 residents.

(4) Such additional regulations as would safeguard the health, safety and welfare of the citizens of the City.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Annexation Application
- Rezoning Application
- Survey Plat
- map1
- map2
- Notice of Rezoning of Parcel
- Zoning Sign
- Acceptance Letter

Staff Recommendation (Type Name, Title, Agency and Phone)**Approval**



**CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary**

Agenda Item #

5.d

-d

COUNCIL MEETING DATE

July 7, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (*Identify appropriate Action or Motion, purpose, cost, timeframe, etc.*)

Commission to make a recommendation for Clayton County Public Schools Office Complex – 1098 Fifth Avenue; Parcel No. 13209D I001; Renovations to existing school facility.

Requirement for Board Action (*Cite specific Council policy, statute or code requirement*)

Sec. 86-98. R-4 Single Family Residential Regulations

Is this Item Goal Related? (*If yes, describe how this action meets the specific Board Focus Area or Goal*)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of exterior renovations, Denial of sign design;** In 2019, the Fifth Avenue property, along with surrounding properties, was annexed into the City of Jonesboro. The property has been the site of an office complex for the Clayton County Public School system for many years. The property is zoned R-4 and is not within a Historic District or Overlay.

Recently, staff was provided plans for a varied list of interior and exterior renovations for the building and property. Renovations that would be relevant to Design Review Commission review are:

1. In front of building (facing Fifth Avenue), removing portions of a canopy, flagpole, brick wall, and sidewalk at the southeast entrance.
2. Removal of two large trees at the front.
3. In front of building (facing Fifth Avenue), removing a brick planter and a sidewalk at the southwest entrance.
4. On the western side of the building, removing asphalt portions and stairs.
5. At the rear of the building (not visible from the street), removing portions of asphalt and sidewalks, as well as a portable trailer, a ramp to the trailer, and a shed.
6. At the rear of the building, refurbishment of an existing basketball court.
7. In front of building (southwest entrance), creation of new entrance vestibule.
8. Along front of building, new sidewalks and sod.
9. At southwest entrance to property, new monument sign proposed.
10. On the western side of the building, new sidewalks, sod, and stairs.
11. At the rear of the building, new sidewalks, sod, and stairs, and a new wood patio in the former trailer area.

New items most relevant to Design Review Commission:

1. Refurbished entrance canopy at southeast building entrance.
2. New entrance vestibule at southwest building entrance.
3. New monument sign at southwest entrance to property.

(Note: new wood patio at rear of building is not being considered, since it is not visible from the street. This area will be an obvious improvement over the trailer that used to be there.)

Refurbished entrance at southeast building entrance.

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

July, 7, 2021

Signature

City Clerk's Office

- The canopy in front of the glass entrance door will be torn down, giving a cleaner, more open appearance with more sunlight.

New entrance vestibule at southwest building entrance.

- The new enclosed vestibule will pivot around the southwest corner of the building and will highlight this area. From the street will be seen a light-colored panel wall with "Clayton County Public Schools Office Complex" and the school logo centered on the new wall.

New monument sign at southwest entrance to property.

- Total sign height is 6 feet, 2 inches, exceeding the maximum height allowed by Code by 2 inches.
- Total sign face area (each side), including non-changeable copy area and electronic area is approximately 84.5 square feet, exceeding the maximum sign face area for a ground sign by 49.5 square feet.
- The electronic sign face area is approximately 35% of the non-changeable copy sign face area, exceeding the 33% maximum.
- Electronic signs are not allowed in R-4 zoning.
- All of these issues would require variance approval by the Mayor and City Council to proceed with construction of the current sign design.
- The sign must be located at least 10 feet from the right-of-way line to avoid a variance for that standard as well.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

County Government

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Property Pictures
- Renovation drawings
- Acceptance Letter

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval of Building, Denial of Sign



Image capture: Feb 2021 © 2021 Google

Jonesboro, Georgia



Google

Street View

Attachment: Property Pictures (1918 : 1098 Fifth Avenue Renovations)



Image capture: Feb 2021 © 2021 Google

Jonesboro, Georgia



Street View



Image capture: Feb 2021 © 2021 Google

Jonesboro, Georgia



Street View

Attachment: Property Pictures (1918 : 1098 Fifth Avenue Renovations)

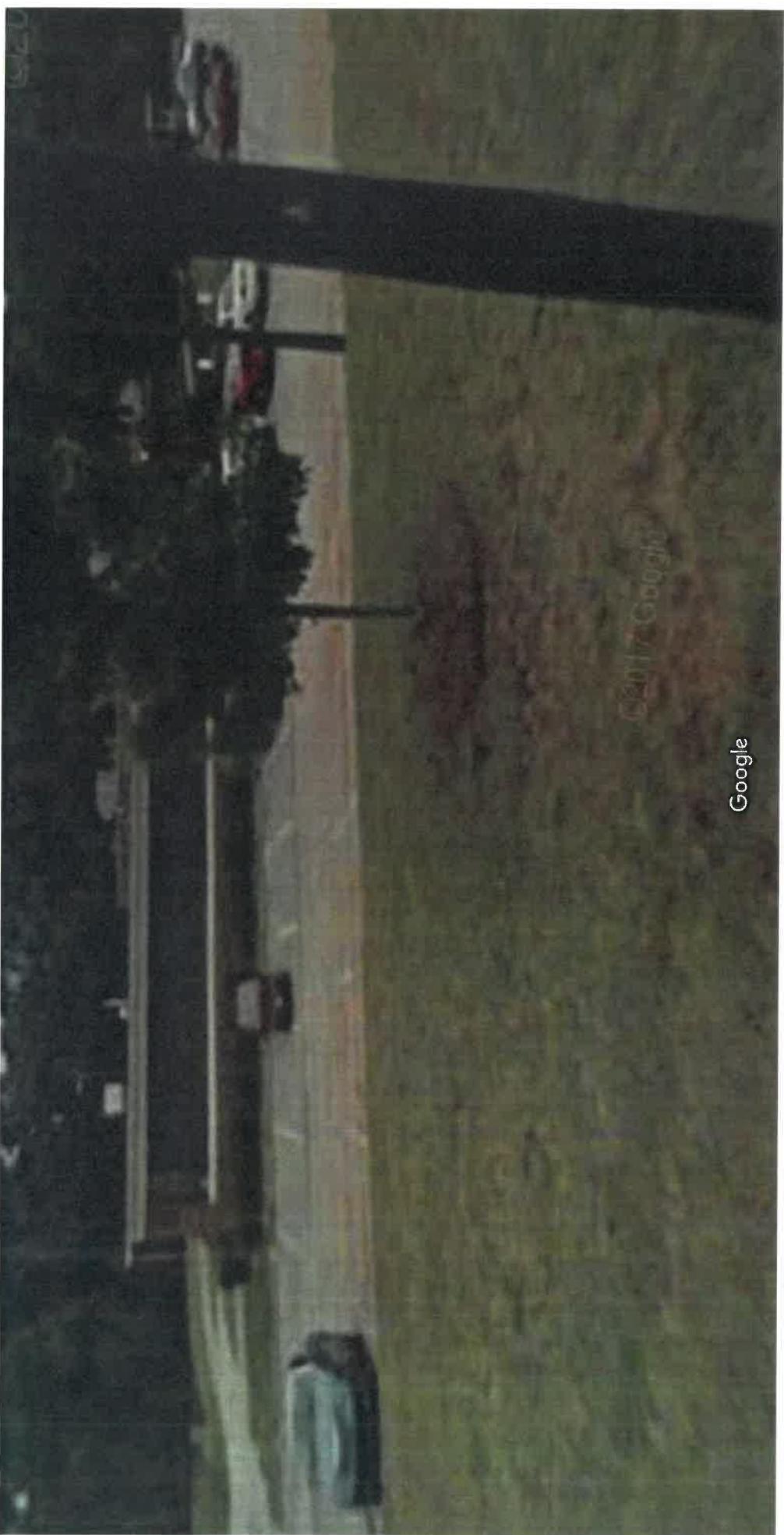
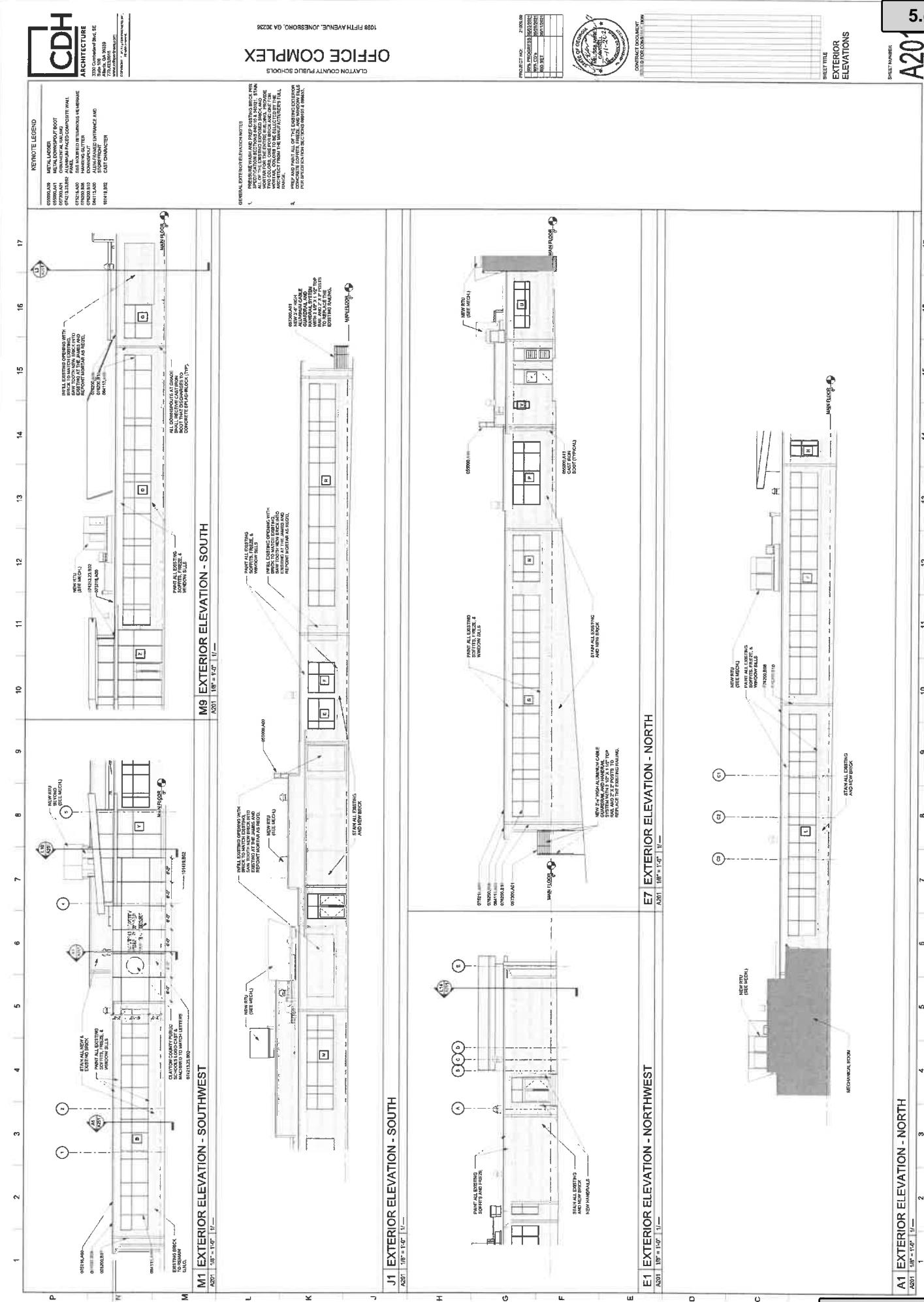


Image capture: May 2008 © 2021 Google

Jonesboro, Georgia



Street View





MEMORANDUM

To: Andrew Savage
CDH Partners

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: June 22, 2021

Re: Notification of Request for Design Review Commission – Renovations for School Office; 1098 Fifth Avenue; Parcel No. 13209D I001

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of renovations to a school office for the property located at 1098 Fifth Avenue, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, July 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "D Allen".

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item

5.e

- e

COUNCIL MEETING DATE

July 7, 2021

Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen
Requested Action (<i>Identify appropriate Action or Motion, purpose, cost, timeframe, etc.</i>) Commission to make a recommendation for Specialty Salon – 112 Stockbridge Road; Parcel No. 13241B D002; Renovations and new signage for existing commercial building in Historic District.	
Requirement for Board Action (<i>Cite specific Council policy, statute or code requirement</i>) City Code Section 86-102 – H-1 Zoning Purpose and Standards; 86-495 Historic District Sign Standards	
Is this Item Goal Related? (<i>If yes, describe how this action meets the specific Board Focus Area or Goal</i>) Yes Economic Development, Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation	
Summary & Background	<small>(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)</small>
Agency recommendation – Approval of renovations; Approval of sign panel design; Recently, a permit was approved to repair the interior sub-floor at the commercial building at 112 Stockbridge Road. During that same time, the existing siding was repainted white (from a light gray color), and the doors (formerly white) and the shutters (formerly dark brown) were repainted to a light blue color. There is already a driveway there, and a gravel parking lot towards the rear. The only access is Stockbridge Road. The property is zoned H-1 (Historic District), thus requiring Historic Preservation approval on the exterior changes. No other exterior changes to the building, although a new sign is planned (see page 2).	
In June, a specialty salon was approved by the Mayor and Council for the subject property. The applicant will open in a few months and wants to have a new sign at the front of the property to advertise.	
Sec. 86-102 (l)(1)(e)	
e. Building color.	
1. <i>Color shades and patterns shall complement the color schemes that are found in the district. Reference materials on appropriate color palettes will be available for review at the office of downtown development at city hall. Staff does not have a problem with the blue door and blue shutters. The former colors were too drab and dark. As of the writing of this report, the applicant stated that she wants to paint the shutters gray.</i>	
2. <i>The use of neon colors is prohibited. Not a neon color.</i>	
The proposed sign will be a ground sign on a single pole in the front yard, within the following parameters that the applicant was informed of:	
1. At least 10 feet off of the front property line.	
2. Maximum 6 feet tall.	
3. Maximum 32 square feet for the actual sign face (each side).	
4. In the Historic District, cannot have a monument sign (with a brick or other base). The sign can be between two posts, partially off of the ground.	
5. In the Historic District, no internal illumination or electronics.	
The sign panel design is enclosed. The design is the business logo with a blue, green, and white color scheme.	

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title Ricky L. Clark, City Manager	Date July, 7, 2021	
Signature	City Clerk's Office	

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Former Site Pictures
- Current Site Pictures
- Acceptance Letter
- Sign Design

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval



Image capture: Feb 2021 © 2021 Google

Jonesboro, Georgia

Google
Street View

Attachment: Former Site Pictures (1919 : 112 Stockbridge Road Renovations)

Google Maps 110 Stockbridge Rd

110 Stockbridge Rd - Google Maps





Attachment: Current Site Pictures (1919 : 112 Stockbridge Road Renovations)



Attachment: Current Site Pictures (1919 : 1112 Stockbridge Road Renovations)



Attachment: Current Site Pictures (1919 : 112 Stockbridge Road Renovations)



Attachment: Current Site Pictures (1919 : 112 Stockbridge Road Renovations)



Attachment: Current Site Pictures (1919 : 112 Stockbridge Road Renovations)



MEMORANDUM

To: Valencia Jenkins
Crown Mae Enterprises

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: June 22, 2021

Re: Notification of Request for Design Review Commission – Renovations and Sign
for Specialty Salon; 112 Stockbridge Road; Parcel No. 13241B D002

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of renovations and a new sign for a specialty salon for the property located at 112 Stockbridge Road, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, July 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "D Allen".

David D. Allen
Community Development Director / Zoning Administrator



Attachment: Sign Design (1919 : 112 Stockbridge Road



CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary

Agenda Item #

5.f
- f

COUNCIL MEETING DATE
July 7, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action *(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)*

Commission to make a recommendation for Extra Space Storage – 8500 Tara Blvd.; Parcel No. 05240B A004; New ground sign and wall signs for new commercial building.

Requirement for Board Action *(Cite specific Council policy, statute or code requirement)*

Section 86-109 Tara Boulevard Overlay Standards; Article XVI Sign Ordinance Standards

Is this Item Goal Related? *(If yes, describe how this action meets the specific Board Focus Area or Goal)*

Yes Economic Development, Beautification, Community Planning, Neighborhood and Business Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of exterior sign designs;** The new climate-controlled self-storage facility at 8500 Tara Blvd. is nearing completion, and the owner has applied for new exterior signs for the business. The property is zoned C-2 and is within the Tara Blvd. Overlay District. The property has frontage on both Tara Blvd. and Batiste Garden Circle.

Sign #1 is a proposed ground sign along the right-of-way of Tara Blvd.

Sign #2 is a proposed wall sign on the western side of the building (most directly facing Tara Blvd).

Sign #3 is a proposed wall sign on the southern side of the (also facing Tara Blvd).

Sign #4 is a proposed wall sign on the southern side of the (also facing Tara Blvd).

Sign #1

- Proposed to be located in the landscape strip between the storage facility drive and the right-of-way. (Must be at least 10 feet from the actual right-of-way line.) The sign face (aluminum) is 76.66 square feet (each side) and is a total of 20 feet tall. The sign has no changeable copy or electronics but is internally illuminated. The color scheme and graphics are the standard logo for this regional business. These specifications are allowed under Sec. 86-489(d)(8) for signs along Tara Blvd.:**

(8) In non-residential zoning districts within the Tara Boulevard overlay district, as defined in section 86-109 of the 2005 zoning ordinance, the following shall apply:

a. A lot with one building facing a primary arterial, which building is currently occupied pursuant to a current and valid certificate of occupancy issued by the city, shall be permitted one double-sided ground sign to be located within a minimum of ten feet from but a maximum of 100 feet from the right-of-way of the primary arterial, each side of which shall not exceed 150 square feet sign face area. The height of the sign shall not exceed 20 feet.

Sign #2

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

July, 7, 2021

Signature

City Clerk's Office

- Proposed to be located on the western side of the building (most directly facing Tara Blvd). The sign face (aluminum) is 130 square feet (one sided) and comprises 1.4% of the western façade. The sign will be internally illuminated. The color scheme and graphics are the standard logo for this regional business. These specifications are allowed under Sec. 86-489 (b)(1) and 86-490(b):

Sec. 86-489. - General regulations.

- (a) *Messages. Any sign allowed under this article may contain any message, except those displaying any statement, word, character or illustration of an obscene nature.*
- (b) *Non-residential zoning districts. In non-residential zoning districts signs shall be permitted in the following combination of wall and ground signs subject to the provisions hereinafter stated:*
 - (1) *Lot with one building, which building is currently occupied pursuant to a current and valid certificate of occupancy issued by the city.*
 - a. *Combination of one wall sign and one ground sign, subject to the respective size limitations in section 86-490. In addition to section 86-490, each wall sign shall not exceed 7.5 percent of the exterior building facade, without an approved variance.*
 - b. *Single building on multiple frontage lots are allowed a total of ten percent of the exterior building facade for wall signs, and may have one additional wall sign, and one additional ground sign (subject to the size limitations in section 86-490). When calculating their allowed square footage, buildings on multiple frontage lots shall base their calculations on the facade with the primary entrance and/or architectural features of the building. Otherwise, the facade used shall be that facade which faces the public road of the greatest capacity. The classification of streets in the thoroughfare plan shall be the basis for determining street capacity.*
 - (b) *Wall signs shall be permitted in non-residential zoning districts. Permitted area of wall signs shall not exceed 150 square feet. No single building or unit shall be permitted more than one wall sign except for multiple frontage lots as provided in section 86-489(b)(1). Wall signs are allowed only upon a building which is currently occupied pursuant to a current and valid certificate of occupancy issued by the city or which is currently being developed under an active building permit issued by the city.*

Sign #3

- Proposed to be located on the southern side of the building (facing Tara Blvd). The sign face (aluminum) is 36.7 square feet (one sided) and comprises 0.5% of the western façade. The sign will be internally illuminated. The color scheme and graphics are the standard logo for this regional business.

Sign #4

- Proposed to be located on the southern side of the building (facing Tara Blvd). The sign face (aluminum) is approximately 4 square feet (one sided) and comprises less than 0.1% of the western façade. The sign will be internally illuminated. The color scheme and graphics are the standard logo for this regional business. This would technically be the second wall sign on the southern side and would exceed the allowable number of wall signs by one. However, staff does not have a problem with it since the office sign is so small.

Total square footage of the wall signs on the property is 171.7 square feet, exceeding the maximum 150 square feet by 21.7 feet. However, staff does not feel that a variance is necessary, due to the sheer scale of the building in relation to the signs.

Fiscal Impact *(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)*

Private owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Sign 1 Ground Sign Application
- Sign 1 Ground Sign Design
- Sign 2 Wall Sign Application
- Sign 2 Wall Sign Design
- Sign 3 Wall Sign Application
- Sign 3 Wall Sign Design
- Sign 4 Wall Sign Application
- Sign 4 Wall Sign Design
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

Date of Application: 6/29

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ 120 will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

Description of Permit

Please check:

- New Sign
- Change to Existing Sign
- Ground Sign
- Window Sign
- Subdivision Sign
- Projecting Sign Wall Sign
- Entrance Sign
- Special Event Sign
- Other (describe below)

Property Owner or Applicant Information

Name: David Knaxberger (Tara Blvd Storage, LLC)

Mailing Address: 400 Northridge Rd Suite 620

City: Atlanta State: GA Zip: 30350

Phone: (Day) 678 467 4740 (Evening) _____

Jonesboro Property Information

Existing Uses and Structures: Free Standing Sign

Surrounding Uses and Structures: (See Official Zoning Map): _____

Surrounding Zoning:

North: _____ South: _____ East: _____ West: _____

Property Address of Sign: 8500 Tara Blvd Jonesboro GAComplete dimensions and total area of the sign: 3'-10" x 20' = 40 A

What is the position of the sign in relation to nearby buildings/structures and other signs?

In front of Building

What is the position of the sign in relation to nearby buildings/structures and other signs?

What are the setbacks from right-of-ways, property lines and easements?

10'

Name of person, firm, corporation or association erecting the sign is:

Lighting maintenance Inc

Name of business/activity at the address where the sign is to be erected:

ESS 8500 Tara Blvd

Is this in a planned development?

No

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

Yes

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-740

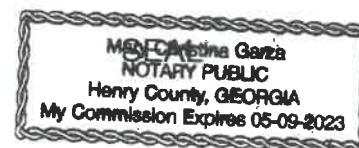
I HEREBY CERTIFY THAT THE ABOVE INFORMATION AND ALL ATTACHED INFORMATION IS TRUE AND CORRECT:

Date: 6/29/21

Signed: 

Notary:

Mary Christina Ganza



FOR OFFICE USE ONLY:

Date Received: 06/29/2021

Received By: 

Fee Amount Enclosed: \$ 60.00

Date Approved: / /20

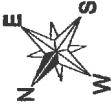
Date Denied / /20

Permit Issued / /20

Comment:



HUDSIGN
10500 Windfern Road
Suite #100
Houston, TX 77064
832.960.7277



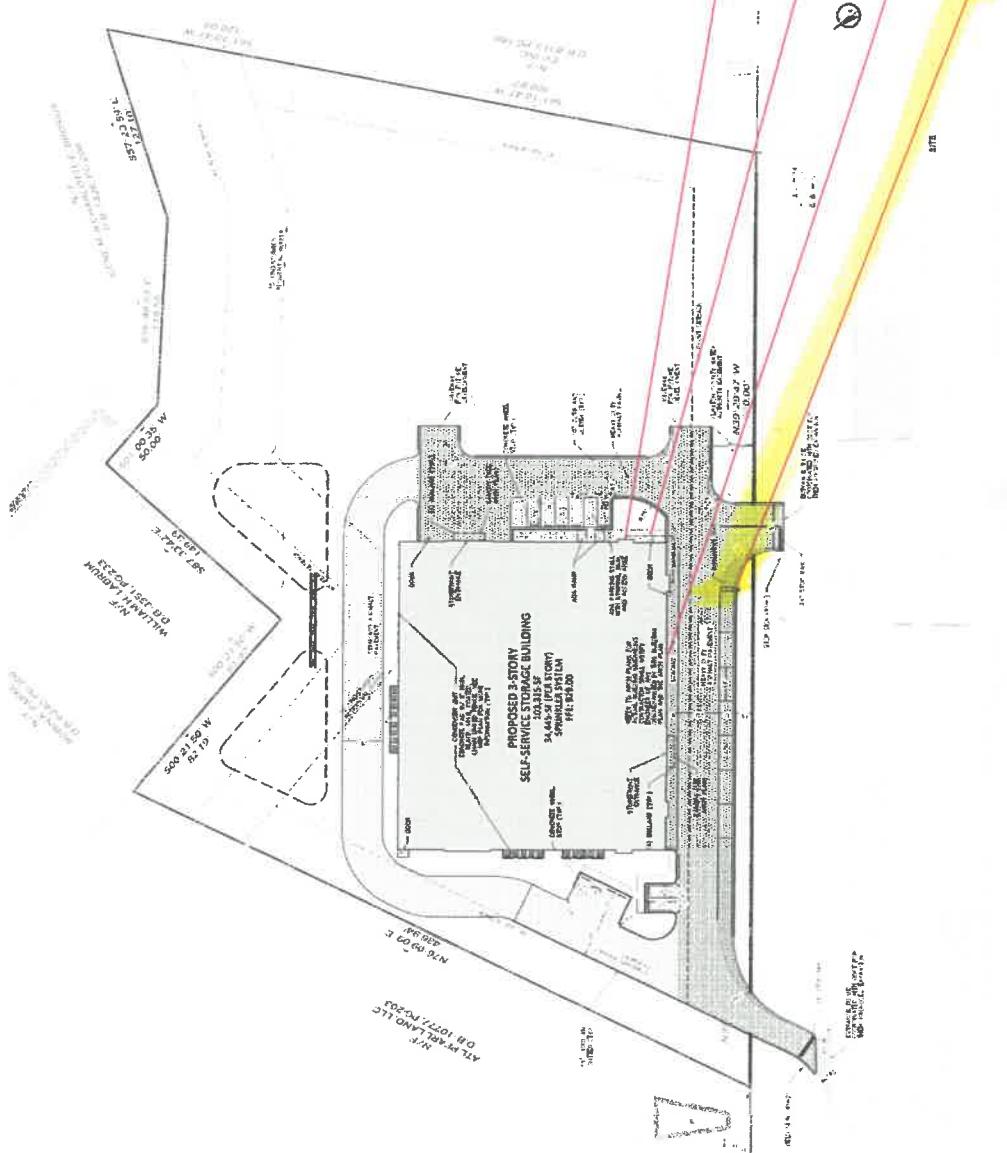
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ExtraSpace Storage

Location:
Jonesboro, GA

Extra Space Storage
HUD1328-ESS-Jonesboro GA

Sales Rep: Beth Osborn
APPROVALS:
DESIGN # HUD1328-ESS-Jonesboro GA-B
DATE 05.28.2021
REV. DATE 06.23.2021
Designer:



NOTE: SIGN #1 IS REQUIRED TO HAVE 10'-0" SETBACK FROM R.O.W.
Attachment: Sign 1 Ground Sign Design (1925 : 8500 Tara Blvd Signs)



HUDSIGN
10500 Windfern Road
Suite # 100
Houston, TX 77064-
832.960.7277

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EXISTING



SCOPE OF WORK :
MANUFACTURE & INSTALL
NEW DOUBLE FACE ILLUMINATED PYLON SIGN.

SQUARE FT. CALCULATIONS		
EXISTING	PROPOSED	ALLOWABLE
76.66	150.00	

PROPOSED

SIGN #1



NOTE : SIGN IS REQUIRED TO HAVE 10'-0" SETBACK FROM R.O.W.

**ExtraSpace
Storage**

Location:
Jonesboro, GA

Extra Space Storage
HUD1328-ESS-Jonesboro GA

Sales Rep: Beth Osborn
APPROVALS: HUD1328-ESS-Jonesboro GA-B
DESIGN #: 8
DATE: 06.28.2021
REV. DATE: 06.23.2021
Designer: _____

PAGE
3 of 9

ME #: 52950

OVERLAYS - SIGN 1

SCOPE OF WORK :

MANUFACTURE & INSTALL
NEW DOUBLE FACE ILLUMINATED PYLON SIGN.

SQUARE FT. CALCULATIONS		
EXISTING	PROPOSED	ALLOWABLE
	76.66	150.00

PROPOSED

SIGN #1



NOTE : SIGN IS REQUIRED TO HAVE 10'-0" SETBACK FROM R.O.W.

EXISTING

464 N. Hiddenbrook Dr,
Advance, NC 27006STRUCTURAL &
SIGN DESIGN
ENGINEERING SERVICESPh: (281) 813-7459
Fax: (888) 712-5364
Email: sean@signstructures.com
Web: www.signstructures.com

EXTRA SPACE STORAGE

Address: 8500 TARA BLVD
City/State: JONESBORO GA

Client: HUDSIGN

ENGINEERING OF
VERTICAL SUPPORT AND
FOUNDATION ONLY.
NO CABINET ENGINEERING
PROVIDED OR IMPLIED.

Initial Drawn By: 52950 DS

NC Firm Registration: F-1136
Georgia License Number: 29357
Georgia Expiration Date: 12/31/2022The electronic seal appearing on this document was
authorized by Sean M. McFarland, PE on June 28, 2021.Date: 6-28-2021
Sheet #: 1 OF 2

DocuSigned by:
Sean MCFARLAND
18DD4704DCE5405...

Attachment: Sign 1 Ground Sign Design (1925 : 8500 Tara Blvd Signs)

5.f.b

LEXAN BACKED LETTERS WITH
1/4" PUSH THROUGH LOGO.

20'-0" x 3'-10" = 76.66 SQ FT

1 INTERNAL STEEL STRUCTURE

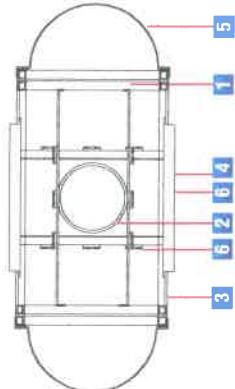
2 THRU CENTER POLE

3 ROUTED ALUMINUM FACE PAINTED SW 7067 CITY SCAPE

4 ROUTED 1/4" PLEX PUSH THROUGH PLEX LETTERS
ROUTED WHITE SHOW THROUGH PLEX LETTERS
WITH VINYL DECORATION 1ST SURFACE

5 SIDES TO BE CLEAR FORMED LEXAN
WITH 2ND SURFACE GREEN VINYL
6 LED ILLUMINATION, WHITE SLOAN SIGNBOX 3 (6500 K)
7 CONCRETE BASE

SECTION (FROM TOP)



COLOR SCHEDULE

GREEN	SIGN FACES	WHITE	BLACK	BASE	CONCRETE
#2800-08	SW 7067 CITYSCAPE	#2500-022	PRIS BLACK		

ExtraSpace
Storage

Location:
Jonesboro, GA

Extra Space Storage
HUD1328-ESS-Jonesboro GA

Sales Rep: -Betsy Osborn
APPROVALS
DESIGN # HUD1328-ESS-Jonesboro GA-48
DATE 05.28.2021
REV. DATE 06.23.2021
Designer: _____

SCALE : 3'-16" = 1'-0"

Date: 6-28-21	City, State: Jonesboro, GA	SHEET: 1 OF 3
Client: HudSign	Overall Height: 20'-0"	Sean M. McFarland, P.E.
Sign: Extra Space Storage	Wind Speed 110 mph	McFarland Engineering

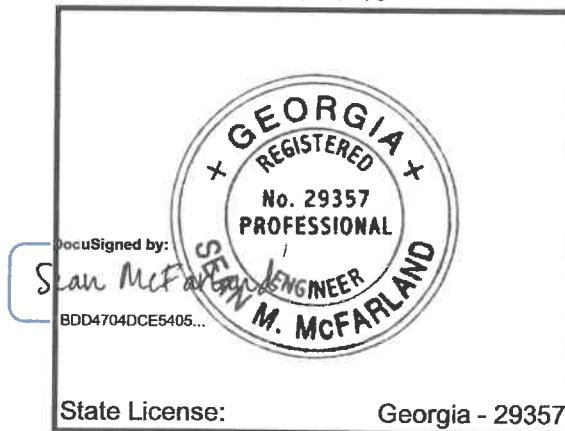
Sign Description 8500 Tara Blvd **Table of Contents**

# Columns: 1	Content:	Page
ME Job: 52950 Sn 1	Design Loads.	1
	Support Design.	1-2
Height: 20'-0"	General Notes	3
Width: 3'-10"		

Structural Variables and Code Loading Specifications

Cabinet Type:	Miscellaneous
Structural Section:	Steel Pipe - 42000psi
Number of Zones:	2

Code:	2018 IBC / GA Amends
Wind Speed:	110
Wind Exposure:	C

Wind Loads Per ASCE 7-16

Sign Sections:

Zone	Cabinet Wt. Per Sq. Ft.	Weight	Transition	
			(Y or N)	
1	20	28.6 #/FT		
2	35	28.6 #/FT	y	
3	0			
4	0			
5	0			
6	0			
7	0			
8	0			

Geometry:

Zone	Top		* Approx. Width			Approx. Weight
	Elevation	Height	Width	Pressure	Force	
1	20.00 FT	19.17 FT	3.83 FT *	34.30 PSF	2.52 K	2,016 #
2	0.83 FT	0.83 FT	3.83 FT *	31.46 PSF	0.10 K	135 #

Total Wind Force = 2.62 K 2,151 #

Date: 6-28-21	City, State: Jonesboro, GA	SHEET: 2 OF 3
Client: HudSign	Overall Height: 20'-0"	Sean M. McFarland, P.E.
Sign: Extra Space Storage	Wind Speed 110 mph	McFarland Engineering

8500 Tara Blvd

ME Job: 52950 Sn 1

Moments at Transitions:

Zone	Lateral	2
	Force	Mom. Arm
1	2.52 K	10.42 FT
2	0.10 K	0.42 FT

26.27 K-FT

Section Properties: 11.37 IN³**Structural Sections to be used:**

Zone	Option	Pipe					
		Dim.	Wall t.	Weight	Sxx	d/t	Sxx Req'd
2	Pipe	8.63 IN	0.322 IN	28.6 #/FT	15.79 IN ³	26.79	11.37 IN ³

Structure Required

# Req'd	Size	Wall Thickness
1	8.63 IN	0.322 IN

Date: 6-28-21	City, State: Jonesboro, GA	SHEET: 3 OF 3
Client: HudSign	Overall Height: 20'-0"	Sean M. McFarland, P.E.
Sign: Extra Space Storage	Wind Speed 110 mph	McFarland Engineering

8500 Tara Blvd

ME Job: 52950 Sn 1

One Pier Footing

Pier Footing Design:

Select the footing and soil type:

$$d = A / 2 * (1 + (1 + (4.36 * h) / A)^{1/2})$$

$$\text{where } A = (2.34 * P) / (S1 * b)$$

Footing: Round

Vert. Soil Bearing (psf): 1500

Lat. Soil Bearing (psf): 150

$$M_{max} = 26,273 \text{ #-FT}$$

$$P_{max} (\text{Lateral}) = 2,619 \text{ #}$$

$$LSBP = 150 \text{ PCF}$$

$$S1 = 720 \text{ PCF} \times d$$

$$d = 3.000 \text{ FT}$$

$$A = 2.84 \text{ FT}^2$$

$$h = 10.033 \text{ FT}$$

$$d = 7.166 \text{ FT}$$

USE:	3.00 FT. RND. X	7.50 FT DEEP PIER 12" BASE w/ #4's @ 12" O.C.
------	-----------------	-----------------------------------------------

TWO MATS at 12" O.C. #4's. TOP/BOTTOM

2" BELOW GRADE

Soil Bearing Check:

$$DL_{max} = 2,151 \text{ LBS}$$

$$\text{Area of Footing} = 7.07 \text{ FT}^2$$

$$\text{Actual SBP} = 304 \text{ PSF}$$

$$\text{Allowable SBP} = 900 \text{ PSF} \quad (\text{Includes code allowed 20\% increase for every foot of footing below 12" into natural grade.})$$

304 PSF <	900 PSF	THEREFORE OK
-----------	---------	--------------

General Notes

- 1 Contractor shall verify all dimensions and conditions on job site
- 2 Structural steel pipe shall conform to ASTM A53 grade B type E or S, Fy=35 ksi min.
- 3 Structural steel tube shall conform to ASTM A500 grade B, Fy=46 ksi min.
- 4 Structural steel shapes and plates shall conform to ASTM A36.
- 5 Welding shall conform to AISC specs or local codes and performed by certified welder using arc process E70XX electrodes.
- 6 Isolate Aluminum from Steel
- 7 All bolt holes to be drilled or punched.
- 8 2500 psi (min) 28-day Concrete Compressive Strength
- 9 All electrical work to conform to the requirements of UL48 and section 600 of NEC.
- 10 UL and Data labels required
- 11 Sign to be a minimum of 6-ft horizontal & 12-ft vertical from high voltage wires.
- 12 If there is no stub pipe to be used in the top cabinet, the supporting member immediately below the stub pipe shown can be extended to the top of the uppermost cabinet.
- 13 All Pipe sizes shown are minimum sizes. Pipe with a larger diameter and/or greater Sxx may be substituted
- 14 All structural lengths required are approximations only. Actual length may vary slightly depending on sign cabinet conditions.

Sign 2

Date of Application: 6/29/21

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ _____ will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

Description of Permit

Please check:

- New Sign
- Change to Existing Sign
- Ground Sign
- Window Sign
- Subdivision Sign
- Projecting Sign Wall Sign
- Entrance Sign
- Special Event Sign
- Other (describe below)

Property Owner or Applicant Information

Name: DAVE Knoxbroger (Tara Blvd Storage LLC

Mailing Address: 400 Northridge Rd Atlanta GA

City: Atlanta State: GA Zip: 30350

Phone: (Day) 678 467 4740 (Evening) _____

Jonesboro Property Information

Existing Uses and Structures: Wall Sign

Surrounding Uses and Structures: (See Official Zoning Map): _____

Surrounding Zoning:

North: _____ South: _____ East: _____ West: _____

Property Address of Sign: 8500 Tara Blvd

Complete dimensions and total area of the sign: 4' 4" x 37' 3" 130 ft²

What is the position of the sign in relation to nearby buildings/structures and other signs?

On Front of Building

What is the position of the sign in relation to nearby buildings/structures and other signs?

What are the setbacks from right-of-ways, property lines and easements?

N/A

Name of person, firm, corporation or association erecting the sign is:

Lighting Maintenance Inc

Name of business/activity at the address where the sign is to be erected:

ESS 8500 Tara Blvd

Is this in a planned development?

No

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan) Yes

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

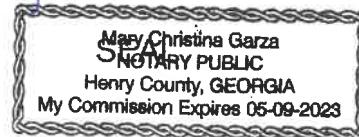
NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-740

I HEREBY CERTIFY THAT THE ABOVE INFORMATION AND ALL ATTACHED INFORMATION IS TRUE AND CORRECT:

Date: 6/29/21

Signed: 

Notary: Mary Christina Garza



FOR OFFICE USE ONLY:

Date Received: ____/____/20____ Received By: _____

Fee Amount Enclosed: \$ _____

Date Approved: ____/____/20____

Date Denied ____/____/20____

Permit Issued ____/____/20____

Comment:



HUDSIGN

10500 Windfern Road
Suite #100
Houston, TX 77064
832.960.7777

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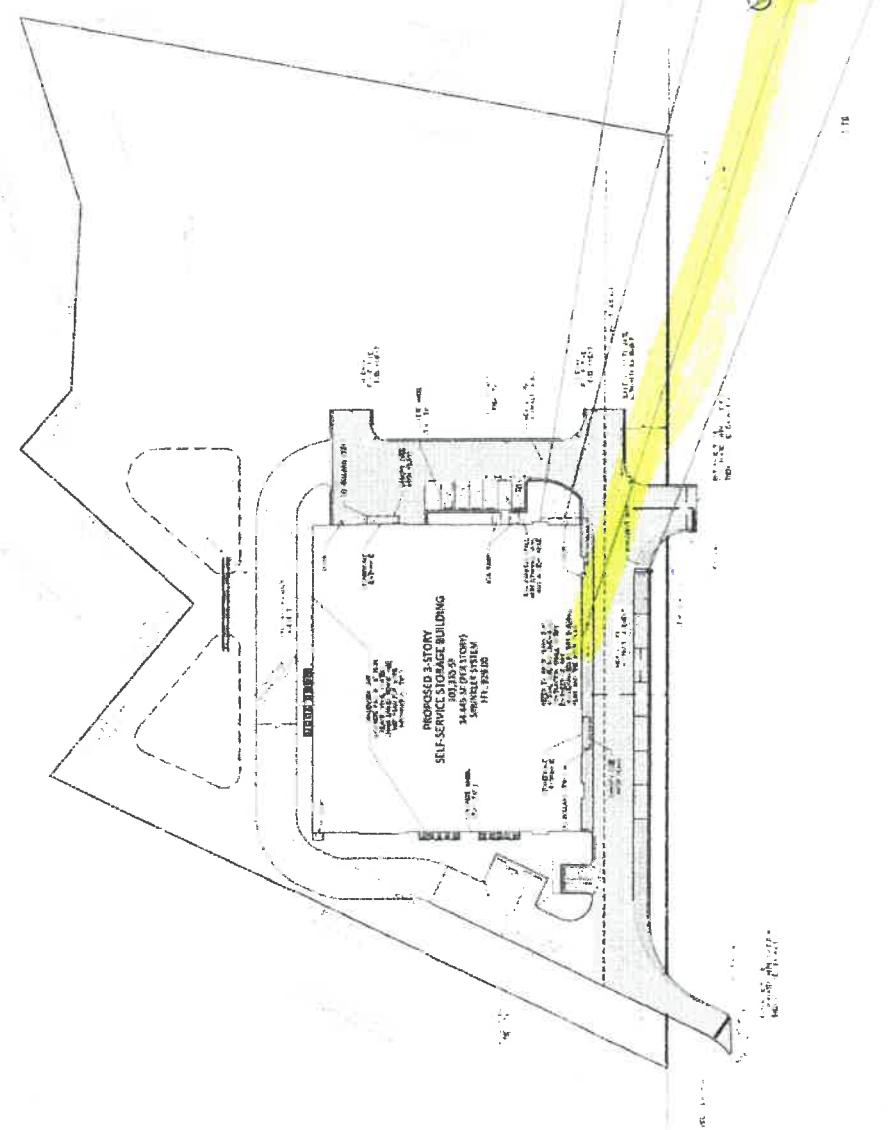


Location:
Tucker, GA

Extra Space Storage
HUD1328-ES-5, Jonesboro GA

Sales Rep: Beth Osborn
APPROVALS
DESIGN # HUD1328-ES-Jonesboro GA
DATE 05.26.2021
REV. DATE 06.23.2021
Designer: _____

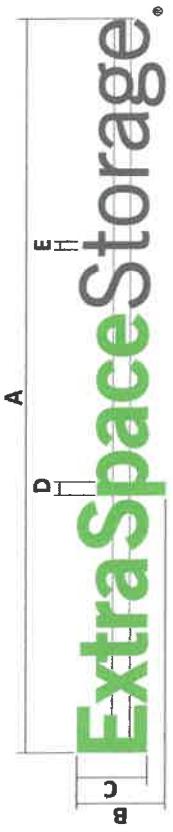
5.f.d
2 of 9





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10500 Windfern Road
Suite # 100
Houston, TX 77064
832.960.7277



SIZING CHART

Part Number	Area	Width	A	B	C	C _b Height	D	E	Face Stroke	Face Height	AMPS	AMP/S	POWER Supply QTY
ESS-12CL-R-GB-011	10.65	10'-7 3/4"	1'-0"	15 1/2"	1'-0 3/4"	1'-0"	3 1/2"	2 1/4"	1'-1 1/4"	1'-1 1/4"	2	2	2
ESS-12CL-R-GB-024	24	15 1/2"	1'-0 3/4"	1'-0"	1 3/4"	1'-0"	3 1/2"	2 1/4"	2 1/2"	2 3/4"	2	2	2
ESS-24CL-R-GB-043	42.5	21 3/4"	2 1/2"	2 1/2"	2 1/4"	2 1/2"	4 1/2"	5 3/4"	3 1/4"	3 1/4"	2	2	2
ESS-36CL-R-GB-067	66.5	26 7/16"	3 1/4"	3 1/4"	2 1/2"	2 1/2"	5 3/4"	5 3/4"	4"	4"	4	4	3
ESS-36CL-R-GB-096	96	31 1/16"	3 1/4"	3 1/4"	3 0"	3 0"	6 3/4"	6 3/4"	4"	4"	5	5	3
ESS-48CL-R-GB-130	130	37 3/16"	4 1/4"	4 1/4"	3 1/2"	3 1/2"	8"	8"	4 3/4"	4 3/4"	6	6	6
ESS-48CL-R-GB-170	170	42 7/16"	5 1/4"	5 1/4"	4 0"	4 0"	9"	9"	5 1/4"	5 1/4"	8	8	8
ESS-60CL-R-GB-266	266	53 2/16"	6 3/16"	6 3/16"	5 0"	5 0"	11 1/4"	11 1/4"	6 3/4"	6 3/4"	8	8	8

EXPLODED VIEW



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding of the sign.

SPECIFICATION

SECTION DETAIL

OUNTING DETAILS

NON-CORROSION INSTALLATION HARDWARE:
1. GALVANIZED

2. 5" FABRICATED ALUMINUM LETTER RETURNS
SEE MFG. NOTE FOR GAUGE. GLOSS BLACK
PAINT INTERIOR WITH LIGHT ENHANCING PAINT

3. TRIM CAP RETAINER
WAGNER JEWELITE SILVER METALLIC

4. FLAT ALUMINUM BACK

5. 1/8" THICK METAL FLAT BAR FOR
A SECURE INSTALLATION

6. SLOAN LED LIGHTING SYSTEM
3/16" #723B ACRYLIC FACE
WHITE WITH 1ST SURFACE
TRANSIENT & PERFORATED VINYL AS SHOWN

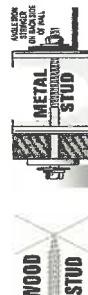
7. LOW VOLTAGE ELECTRONIC POWER SUPPLY
MOUNTED IN A 7" x 7 1/2" EXTRUDED .050
ALUM. RACEWAY SUPPORT/WIRING BOX
P.T.M. BUILDING FASCIA

8. VISIBLE CUT-OFF SWITCH WITH FLIP-UP COVER
1/8" WEEP HOLES (2) TWO PER LETTER

9. GROUNDED WALL PASS-THRU
SEALED WATER TIGHT. WHIP ON LEFT SIDE.

COLOR SCHEDULE

Hanger Bolt



Thru-Bolt



Reverse Toggle Bolt



Masonry Lag Bolt



GREEN

BLACK (PERI)

PERFORATED BLACK VINYL

BLACK

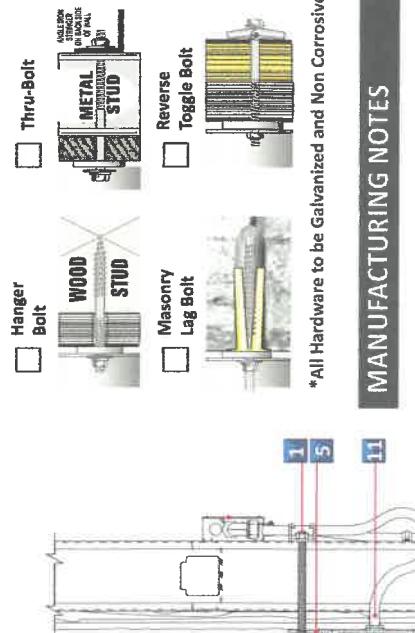
PMS BLACK #260-022

SILVER METALLIC

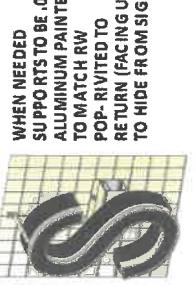
WAGNER JEWELITE SILVER METALLIC

RACEWAY COLOR P.T.M. FASCIA

MANUFACTURING NOTES



BRACING DETAIL



CHANNEL LETTER SETS SMALLER THAN 48"
WILL BE RESTRUCTURED USING .040
ALUMINUM RETURNS & .063 ALUMINUM
BACKS

CHANNEL LETTER SETS 48"-71" WILL BE
CONSTRUCTED USING .063 ALUMINUM
RETURNS & .090 ALUMINUM BACKS

WHEN NEEDED
SUPPORT TO BE .090"
ALUMINUM PAINTED
TO MATCH RW

POP.

RIVETED TO

RETURN (FACING UP
TO HIDE FROM SIGHT)

120V CIRCUITS ARE
REQUIRED FOR ALL SIGNS

Attachment: Sign 2 Wall Sign Design (1925 : 8500 Tara Blvd Signs)

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ExtraSpace Storage
Location: Jonesboro, GA

Extra Space Storage
HUD1328-ESS-Jonesboro GA

Sales Rep: Betsy Osborn
APPROVALS _____
DESIGN # HU1328-ESS-Jonesboro GA
DATE 05/28/2021
REV. DATE 06/23/2021
Designer: _____

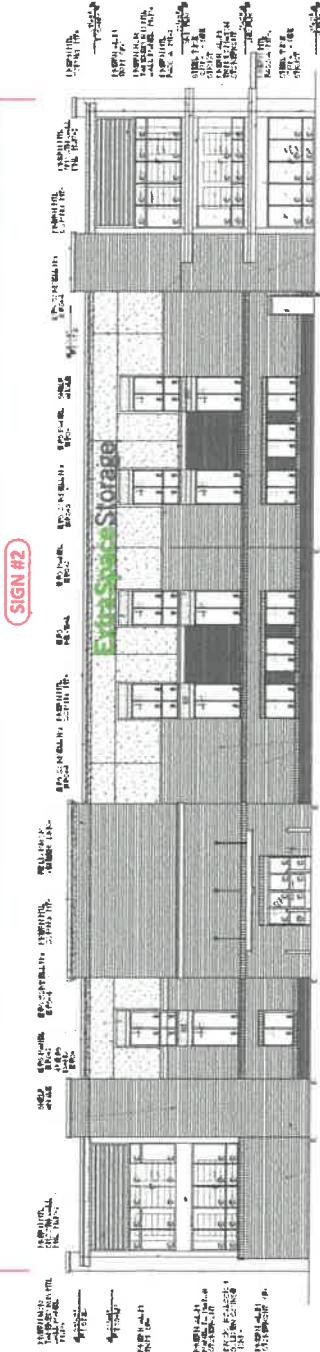


HUDSIGN
10500 Windfern Road
Suite #100
Houston, TX 77064
832.960.7277

SCOPE OF WORK :
INSTALL (1) NEW ILLUMINATED CHANNEL LETTERS SET.

ELEVATIONS

201'-3"±



WEST ELEVATION : scale 1/32" = 1'-0"

**ExtraSpace
Storage**

**Location:
Jonesboro, GA**

**Extra Space Storage
HUD1328-ESS-Jonesboro GA**

Sales Rep: - Betsy Osborn
APPROVALS -
DESIGN # HUD1328-ESS-Jonesboro GA
DATE 05.28.2021
REV. DATE 06.23.2021
Designer: _____

Sign #3

5.f.e

Date of Application:

6/29/21

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ _____ will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

Description of Permit

Please check:

- New Sign
- Change to Existing Sign
- Ground Sign
- Window Sign
- Subdivision Sign
- Projecting Sign Wall Sign
- Entrance Sign
- Special Event Sign
- Other (describe below)

Property Owner or Applicant Information

Name: DAVE Knauberg

Mailing Address: 400 Northwing Rd Suite 620

City: Atlanta State: GA Zip: 30350

Phone: (Day) 679 467 4740 (Evening) _____

Jonesboro Property Information

Existing Uses and Structures: Wall Sign

Surrounding Uses and Structures: (See Official Zoning Map): _____

Surrounding Zoning:

North: _____ South: _____ East: _____ West: _____

Property Address of Sign: _____

Complete dimensions and total area of the sign: 4'-7 1/2" x 9' = 36.75

What is the position of the sign in relation to nearby buildings/structures and other signs?

on side of Building

What is the position of the sign in relation to nearby buildings/structures and other signs?

What are the setbacks from right-of-ways, property lines and easements?

NA

Name of person, firm, corporation or association erecting the sign is:

Lighting maintenance Inc

Name of business/activity at the address where the sign is to be erected:

ESS 8500 Town Blvd

Is this in a planned development?

NO

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

LPS

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

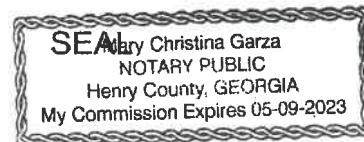
NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-740

I HEREBY CERTIFY THAT THE ABOVE INFORMATION AND ALL ATTACHED INFORMATION IS TRUE AND CORRECT:

Date: 6/28/21

Signed: Mary Christina Garza

Notary: Mary Christina Garza



FOR OFFICE USE ONLY:

Date Received: / /20 Received By: _____

Fee Amount Enclosed: \$ _____

Date Approved: / /20

Date Denied / /20

Permit Issued / /20

Comment:



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Suite #100
Houston, TX 77064
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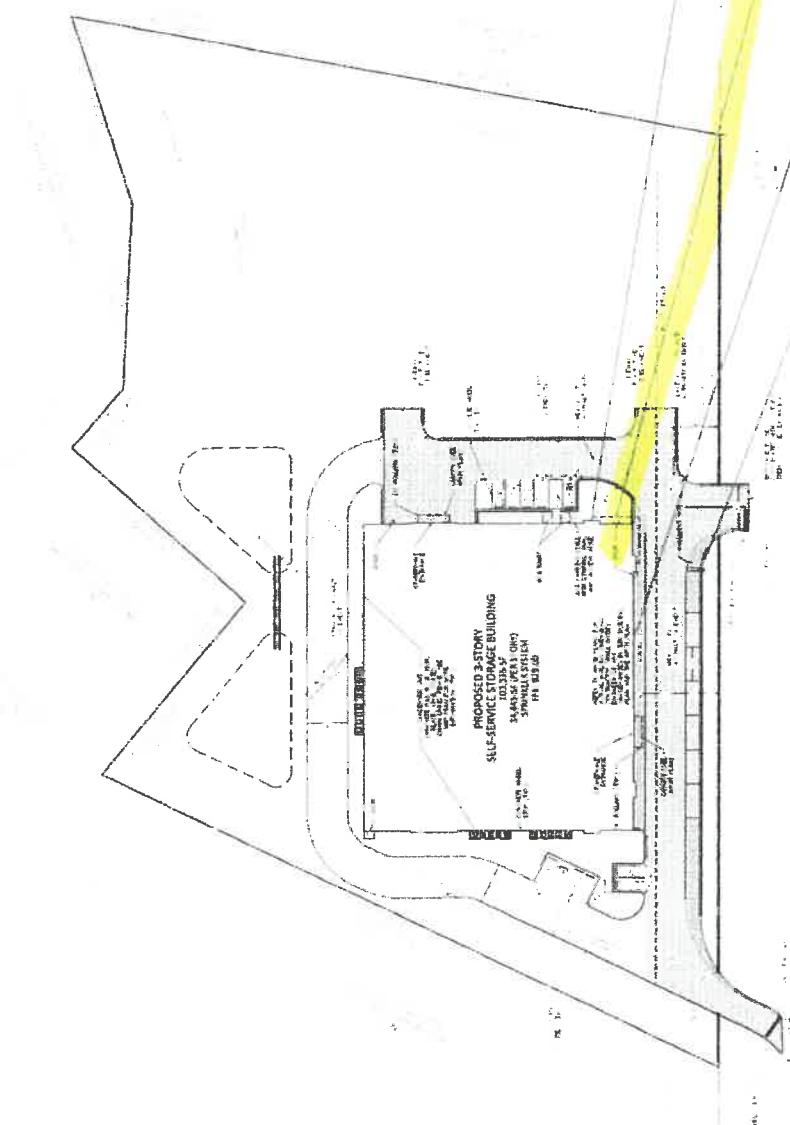
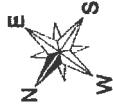


Location:
Jonesboro, GA

Extra Space Storage
HUD1328 ESS-Jonesboro GA

Sales Rep.: Betsy Osborn
APPROVALS: HUD1328 ESS-Jonesboro GA
DESIGN #: 05.28.2021
DATE: 06.23.2021
REV. DATE:
Design #:

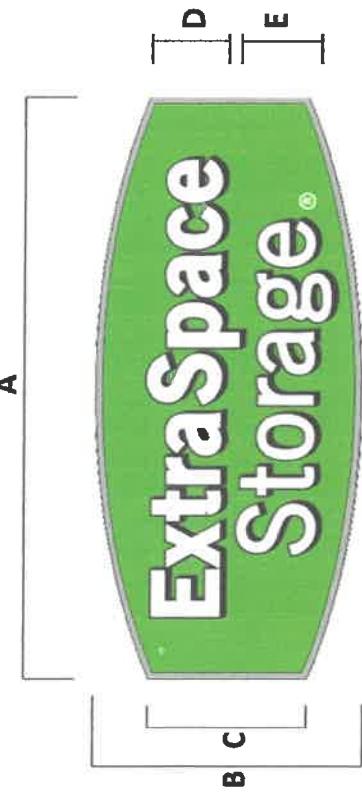
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2 of 2





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This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding of the sign.



CABINET DIMENSIONS

A	B	C	D	E	RETAINER	SQ/FT	AMPS
6'-0"	2'-8 5/8"	1'-7 1/4"	7 1/4"	8 7/8"	1"	16.3	.98
7'-0"	3'-2"	1'-10 3/4"	9"	10 3/8"	1 1/8"	22.2	.98
8'-3"	3'-8 7/8"	2'-2 3/4"	10 5/8"	1'-0 1/8"	1 3/8"	30.8	.98
9'-0"	4'-7 7/8"	2'-5 1/4"	11 5/8"	1'-1 1/4"	1 1/2"	36.7	.98
10'-5"	4'-8 5/8"	2'-9 3/4"	1'-1 1/2"	1'-3 3/8"	1 1/4"	49.0	1.96

MOUNTING DETAIL



COLOR SCHEDULE

GREEN	GREY	WHITE	BLACK
#2500-106 BRILLIANT	SW 7067 CITY SCAPE	PMS BLACK #3500-022	

SPECIFICATIONS

ExtraSpace Storage.

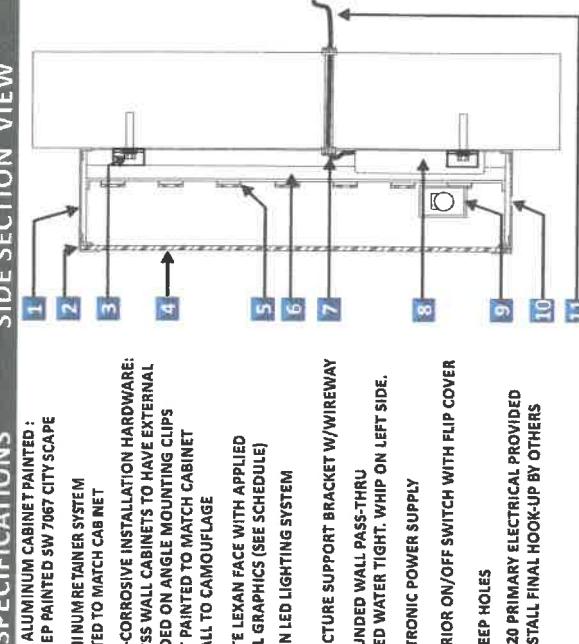
Location:
Jonesboro, GA

Extra Space Storage

HUD1328-ESS-Jonesboro GA

Sales Rep: -Betsi Osborn
APPROVALS -
DESIGN # HUD1328-ESS-Jonesboro GA
DATE 05.28.2021
REV. DATE 06.23.2021
Designer: _____

SIDE SECTION VIEW



This drawing is the property of



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Suite #00
Houston, TX 77064
832.960.7277

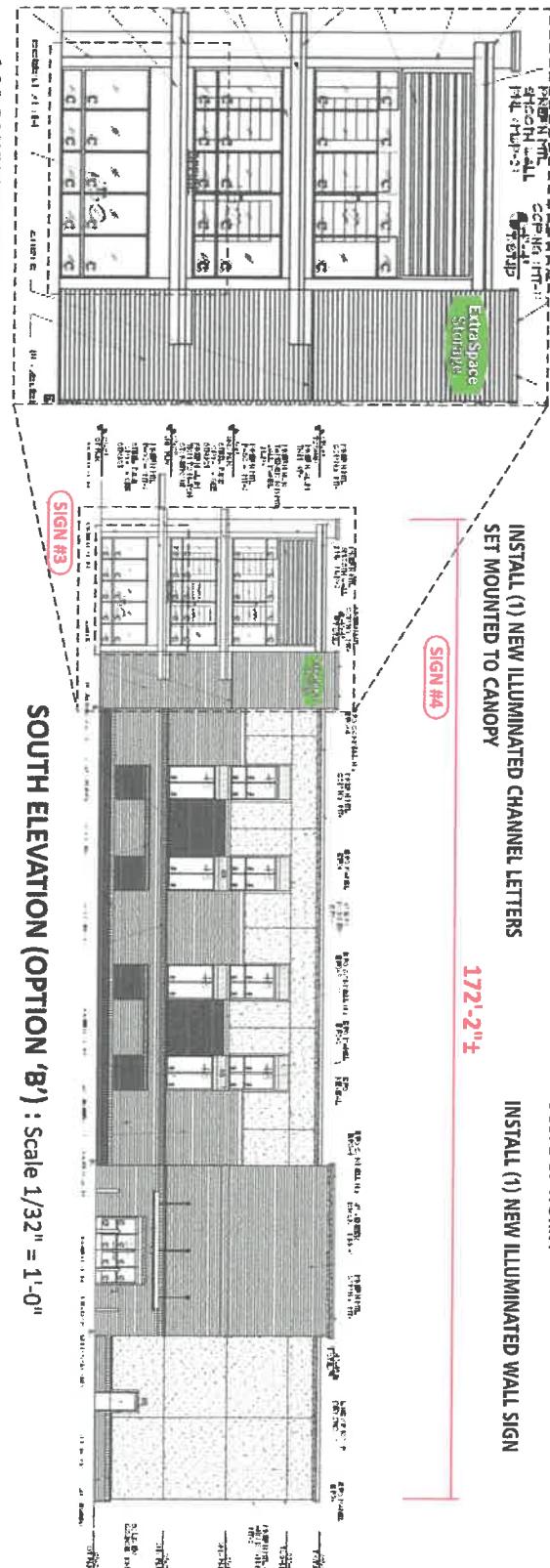
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other project.

SCOPE OF WORK :
INSTALL (1) NEW ILLUMINATED CHANNEL LETTERS
SET MOUNTED TO CANOPY
172'-2"±

SIGN #3

SCOPE OF WORK :
INSTALL (1) NEW ILLUMINATED WALL SIGN

SIGN #4



MAGNIFIED VIEW : N.T.S.

SOUTH ELEVATION (OPTION 'B') : Scale 1/32" = 1'-0"



Location:
Jonesboro, GA

Extra Space Storage
HUD1328-ESS-Jonesboro GA

Sales Rep: Beth Osborn
APPROVALS: _____
DESIGN # HUD1328-ESS-Jonesboro GA-13
DATE 05.28.2021
REV. DATE 06.23.2021
Designer: _____

Date of Application:

6/29/21

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ _____ will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

Description of Permit

Please check:

- New Sign
- Change to Existing Sign
- Ground Sign
- Window Sign
- Subdivision Sign
- Projecting Sign Wall Sign
- Entrance Sign
- Special Event Sign
- Other (describe below)

Property Owner or Applicant Information

Name: Dave Kraxbomber

Mailing Address: 400 Northridge Rd Suite 400

City: Atlanta State: GA Zip: 30350

Phone: (Day) 678 467 4740 (Evening) _____

Jonesboro Property Information

Existing Uses and Structures: W&H Signs

Surrounding Uses and Structures: (See Official Zoning Map): _____

Surrounding Zoning:

North: _____ South: _____ East: _____ West: _____

Property Address of Sign: 3500 Tara BlvdComplete dimensions and total area of the sign: 11 1/2" x 4'-2" 3.4 A

What is the position of the sign in relation to nearby buildings/structures and other signs?

On side of Building

What is the position of the sign in relation to nearby buildings/structures and other signs?

What are the setbacks from right-of-ways, property lines and easements?

NA

Name of person, firm, corporation or association erecting the sign is:

Lighting maintenance Inc.

Name of business/activity at the address where the sign is to be erected:

Extra Space Storage

Is this in a planned development?

NOAttach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan) 4400

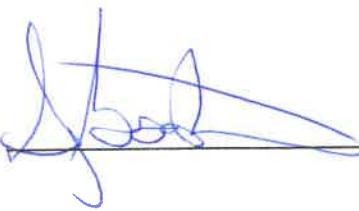
Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

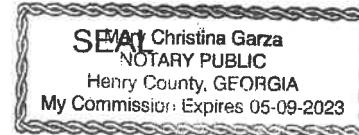
NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-740

I HEREBY CERTIFY THAT THE ABOVE INFORMATION AND ALL ATTACHED INFORMATION IS TRUE AND CORRECT:

Date: 6/25/21

Signed: 

Notary: Mary Christina Garza



FOR OFFICE USE ONLY:

Date Received: / /20 Received By: _____

Fee Amount Enclosed: \$ _____

Date Approved: / /20

Date Denied / /20

Permit Issued / /20

Comment:



HUDSIGN
10500 Windfern Road
Suite #100
Houston, TX 77064
832.960.7277

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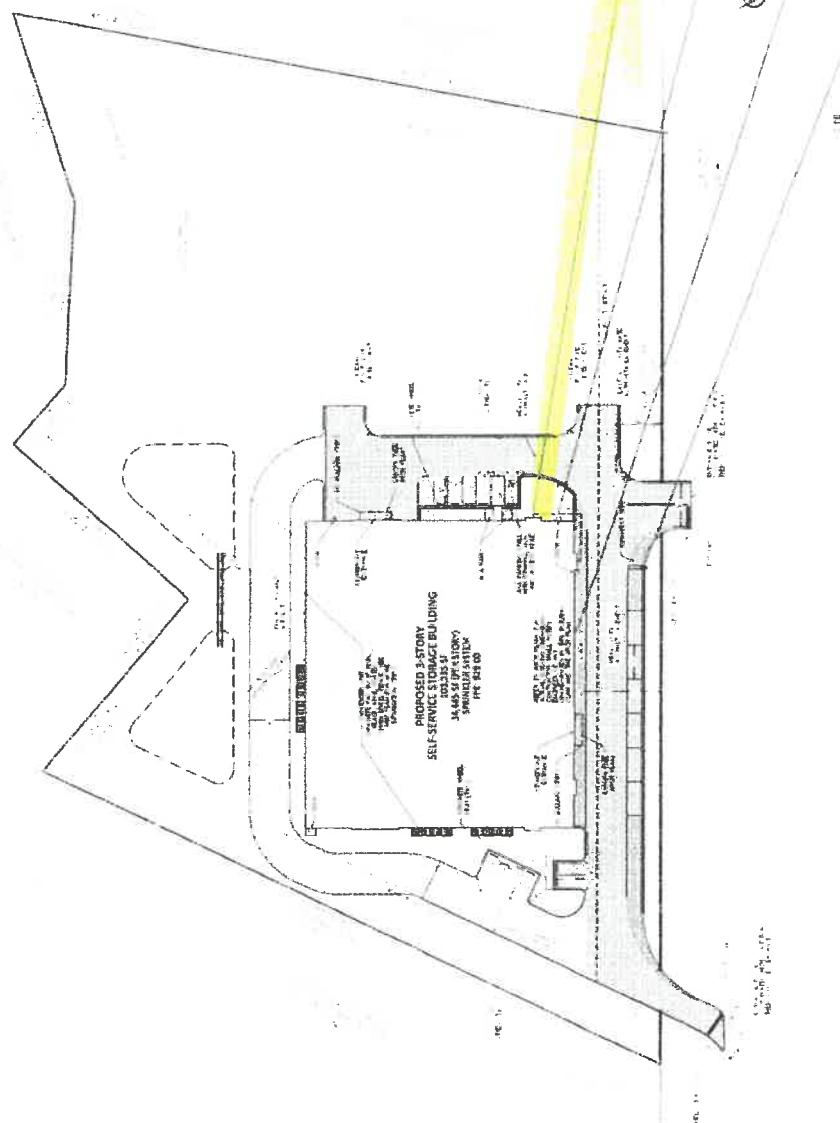
Extra Space Storage

Location
Jonesboro, GA

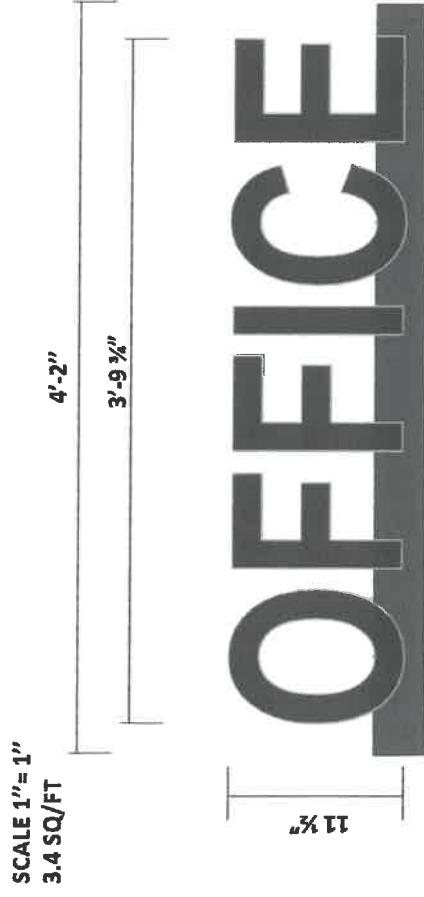
Extra Space Storage
HUD1328 E5-Jonesboro GA

Sales Rep: Betsy Osborne
APPROVALS
DESIGN # HUD1328-E5-Jonesboro GA
DATE 05.28.2021
REV. DATE 06.23.2021
Designer: _____

2 of 4
JAGL



SIGN #3 - DETAIL
CANOPY OFFICE SIGN / BLACK / FRONT MOUNT



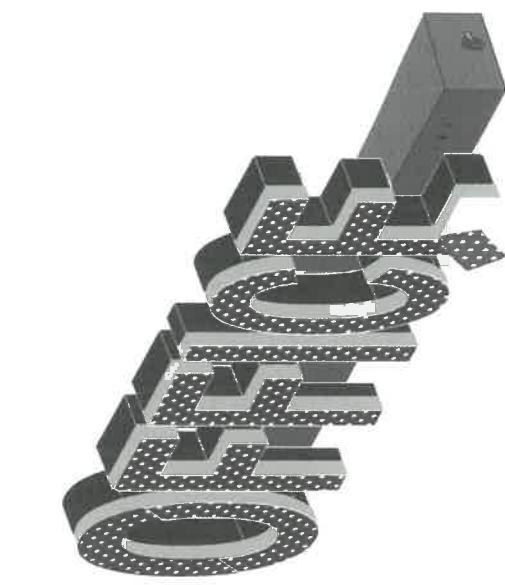
SCALE 1"= 1"
3.4 SQ/FT

*** PURCHASE AND INSTALL (2) INTERMATIC ET8015C
ASTRONOMICAL DIGITAL TIMER (SET "SUNSET" ON & OFF @ 2AM).

This sign is intended to be installed in accordance with the requirements of
Article 600 of the National Electric Code and/or other applicable local codes.
This includes proper grounding of the sign.

SPECIFICATIONS

- 1 NON-CORROSION #10 1/4" PITCH SCREW
GALVANIZED
- 2 3" FABRICATED ALUMINUM LETTER RETURNS
SEE MFG. NOTE FOR GAGE. GLOSS BLACK
PAINT INTERIOR WITH LIGHT ENHANCING PAINT
- 3 TRIM CAP RETAINER
SILVER METALLIC
- 4 FLAT ALUMINUM BACK MOUNTED TO 1/2 HEIGHT ALUMINUM PLATE
- 5 SLOAN V180 MINI LED MODULE WHITE
- 6 3/16" #2447 ACRYLIC FACE
WITH 1ST SURFACE
BLACK PERFORATED VINYL
- 7 LOW VOLTAGE ELECTRONIC POWER SUPPLY
MOUNTED IN A EXTRUDED .050
ALUM. RACEWAY SUPPORT / WIRING BOX
PAINTED SW7069 - IRON ORE
- 8 VISIBLE DISCONNECT SWITCH
- 9 GROUNDED WALL PASS-THRU
SEALED WATER TIGHT. WHIP ON LEFT SIDE.



This drawing is the property of



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**ExtraSpace
Storage.**

Location:
Jonesboro, GA

Extra Space Storage
HUD1328-ESS-Jonesboro GA

Sales Rep: Betsy Osborn
APPROVALS:
DESIGN #:
DATE: 05.28.2021
REV. DATE: 06.23.2021
Designer:

5.f.h

PAGE
8 of 9

Attachment: Sign 4 Wall Sign Design (1925 : 8500 Tara Blvd Signs)



MEMORANDUM

To: Dave Kraxberger
Lighting Maintenance, Inc.

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: July 6, 2021

Re: Notification of Request for Design Review Commission –Signs; 8500 Tara Blvd;
Parcel No. 05240B A004

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of signs for the property located at 8500 Tara Boulevard, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, July 7, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to read "David D. Allen".

David D. Allen
Community Development Director / Zoning Administrator