



DESIGN REVIEW COMMISSION

August 4, 2021

MEETING AGENDA:

- I. CALL TO ORDER**
- II. APPROVAL OF AGENDA**
- III. APPROVAL OF MINUTES**
- IV. OLD BUSINESS - NONE**
- V. NEW BUSINESS - ACTION ITEMS**
 - a. Commission to make a recommendation for Long John Silver – 8502 Tara Boulevard; Parcel No. 13242B B006; Exterior modifications for restaurant in Tara Boulevard Overlay.
 - b. Commission to make a recommendation for Residence – 108 Raymond Street; Parcel No. 12048B B006; Enclosure of carport.
 - c. Commission to make a recommendation for Kroger Shopping Center – 8059 Tara Boulevard; Parcel Nos. 13210D A005, 13210D A006, and 13210D A002; New signage for existing shopping center and signage and exterior for proposed fuel center.
 - d. Commission to make a recommendation for Hot Crab – 8071 Tara Boulevard; Parcel No. 13210D A005; New wall signs for new restaurant.
 - e. Commission to make a recommendation for Tara Package – 8525 Tara Boulevard; Parcel No. 13242D A017; New addition at rear of building.
 - f. Commission to make a recommendation for residence – 105 Pine Circle; Parcel No. 13240D C012; New metal carport at side of residence.
 - g. Commission to make a recommendation for YeYe's Botanica – 841 Highway 138; Parcel No. 13210D B004; New wall signs for new business.
- VI. ADJOURNMENT**



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.a

- a

COUNCIL MEETING DATE

August 4, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action *(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)*

Commission to make a recommendation for Long John Silver – 8502 Tara Boulevard; Parcel No. 13242B B006; Exterior modifications for restaurant in Tara Boulevard Overlay.

Requirement for Board Action *(Cite specific Council policy, statute or code requirement)*

City Code Section 86-107 – C-2 Zoning Standards; Section 86-109 Tara Boulevard Overlay Standards

Is this Item Goal Related? *(If yes, describe how this action meets the specific Board Focus Area or Goal)*

Yes **Economic Development, Beautification, Community Planning, Neighborhood and Business Revitalization**

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of exterior renovations**; Long John Silvers restaurant has been located at 8502 Tara Boulevard for many years. The City has been in talks with the property owners for a few years to refurbish the building and property. Recently, the company contacted us directly about the property and presented drawings showing the existing building and signage being retrofitted into the company’s new branding (which already exists in other cities). The property has frontage on both Tara Blvd. and Smith Street. Although the building is not changing significantly structurally, there are numerous exterior cosmetic changes proposed, including:

1. Changing of nearly every exterior color (walls, doors, etc.). See the enclosed color scheme.
2. New wall signs and replacement ground sign panels. See enclosed designs.
3. Replacing roof and changing color.
4. Retrofitting front cupola.
5. Remove all existing wood siding, to expose concrete masonry blocks underneath (except for tower). Repair block as necessary and repaint new color as shown on each side.
6. Remove existing canopies and install new ones. See enclosed designs.
7. Installing new artwork on the sides (“portholes”).
8. Installing new awnings on the sides (Caribbean style).
9. New lighting fixtures (gooseneck).

In term of conforming to the Tara Blvd Overlay District standards, the overall shape of the building and the number of windows and doors are not changing. The building would not meet the minimum 40% window requirement.

Also, per Sec. 86-109 (k)(5):

(5) Prohibited materials. Metal siding, vinyl siding, metal canopies and smooth faced concrete masonry units are prohibited.

Technically, the newly exposed CMU block would be “smooth faced concrete masonry units.” And the new side canopies are metal. However, the restaurant renovations reflect the new national template and color scheme for the Long John Silver’s chain and will therefore be recommended for approval. The proposed renovation is a vast improvement over what is there now, and the retention of Long John Silver’s in the City allows citizen to have another dining alternative. However, the City would also like to see repairs to broken asphalt in the parking lot and new, fresher landscaping per Tara Boulevard standards.

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

August, 4, 2021

Signature

City Clerk’s Office

Regarding the signage, there are several new panels proposed:

1. The ground (pylon) sign at the road will keep the framework and replace the restaurant name panel and the changeable copy panel. No change in overall height or panel sizes. It will add a small "Drive Thru" panel. The sign will remain internally illuminated.
2. A new wall sign to replace the old on the front of the building. The new sign will be 25.05 square feet total, well below the 150 square-foot maximum. The sign will comprise 4.77% of the front façade, below the 10% maximum for double frontage lots. The sign will be internally illuminated.
3. There will be small drive-thru directional signs on the property of insignificant size.
4. On the back of the building, there will be a painted sign saying "Fish Yeah!" on the wall. The words will be approximately 16 square feet, well below the 150 square-foot maximum. The sign will comprise 3% of the rear façade, below the 10% maximum for double frontage lots.
5. There will also be a series of "porthole" paintings on each side of the restaurant, two on each side, each one about 19.5 square feet in area. These are standard design elements for Long John Silvers now. Technically, these porthole paintings are signs, by definition:

Sign means any surface, frame, letter, figure, character, mark, plane, point, design, picture, stroke, stripe, reading matter, material, fabric, device, object, three-dimensional object, or display which bears lettered, numbered, pictorial, or sculptured matter, designed to convey information visually or to draw attention and which is exposed to public view. For the purpose of this article, the term "sign" shall not include those devices located entirely within a building or structure, unless such devices are considered window signs; additionally the term sign shall include all structural members used to erect or mount same, and any company colors, trademarks, service marks, brand names, logos, symbols, or roof shapes, which are generally used by the company in the design of its buildings, and are generally used, or identified, as trade styles or other identifying marks or symbols of the company's business.

Also, by definition, they are technically murals:

Mural means a type of wall sign that is painted or otherwise attached or adhered image or representation directly on the exterior wall of a building (whether in whole or in part) that is visible from a public right-of-way or neighboring property, which is meant to be decorative in nature and where architectural elements of a given wall are incorporated harmoniously therein.

Murals are governed by the following standards:

(d) Murals are a type of wall sign that is painted or otherwise attached or adhered image or representation on the exterior of a building.

Since murals typically cover an entire exterior wall of a building, they shall be exempt from the size and coverage restrictions of other wall signs, provided that they conform to the following restrictions. Otherwise, they shall be treated as a typical wall sign.

*(1) The mural shall remain in place, without alteration, a minimum of five years after installation. The applicant shall attest to this standard on the permit application. **So noted***

*(2) No part of any mural shall extend beyond the building wall or freestanding wall on which it is tiled, painted, or affixed. **Complies***

*(3) No part of the mural shall extend more than six inches from the plane of the wall upon which it is tiled, painted, or affixed, i.e. a frame. **Complies***

*(4) Only oil-based alkyd enamel or polyurethane enamel, or newer 100 percent acrylic exterior paints shall be used to create murals. **Complies***

*(5) Murals executed using spray paint shall be limited to air brushing to ensure that high quality paint is used. **Complies***

(6) An appropriate clear sealer or a suitable varnish or topcoat shall be applied to the finished mural. Graffiti

resistant sealers should be chosen. **Complies**

(7) No mural shall contain any element that moves, rotates, or otherwise creates a changing image or message. **Complies**

(8) No mural shall use flashing or scrolling lights, an internal light source, or other similar type of light feature. External lights shining on the mural from above or below are allowed. **Complies**

(9) No mural shall contain electrical or mechanical components. **Complies**

(10) No mural shall be applied to a surface as a vinyl or other non-permanent material. **Complies**

(11) Murals shall apply for a sign permit and shall be subject to pre-approval by the design review commission. Permit fees for murals shall be as set forth in the city fee schedule. **So noted**

Staff believes the renovation will be an obvious improvement to the property. The new color scheme and design template conform to the restaurant chain's national standards. Per the applicant, the plan for the parking lot is to overlay and restripe what is needed along with filling any potholes. Staff would like to further recommend a new landscape plan showing refurbishment of the front landscape bed near the building and the front landscape strip along Tara Boulevard.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Property Pictures
- Scope of Work
- LJS Jonesboro (Exterior Elevations) Notes
- LJS Jonesboro - interior drawing set edits
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

Google Maps 174 Smith St



Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



Attachment: Property Pictures (1942 : 8502 Tara Blvd Renovations)



Image capture: Feb 2021 © 2021 Google

Jonesboro, Georgia



Street View



Image capture: Sep 2018 © 2021 Google

Google Street View

David Allen

From: David Allen
Sent: Tuesday, July 13, 2021 9:31 AM
To: Ken Nadolski; John Haley
Cc: Ricky , L. Clark, Jr.; Derry Walker; Maria Wetherington
Subject: RE: Long John Silver's 8502 Tara Blvd

Painting, siding, and furniture would not require building permits. The doors would not require permits as long as the door opening or any other structural walls were not altered. If it is just the metal frame for the ceiling grid, then that would not require a permit or plan review. Thank you for the clarification, we are not altering the walls or structural openings for the doors. Okay, then not structural.

Would order counter require any kind of structural work to the subfloor? No the flooring and slab would remain, just new millwork. I assume this would mean a permit is not required for this portion, please confirm. Correct, no permit (no inspections needed, as long as there is enough travel width for ADA).

Are new plumbing pipes involve with new bathroom fixtures? No the existing piping will remain. Just replacement of the fixtures. I assume this would mean a permit is not required for this portion, please confirm. Correct, no permit.

Any new electrical outlets or receptacles? Yes there will likely be a few new receptacles, but I will need to confirm. The new ordering counter will have receptacles for the POS systems. Need electrical trade permit.

If replacing ex. roof with metal roof, the plans would need to be reviewed (including new canopy). Understood, does the Design Review Commission cover this or is there a separate submittal? They would look at possible metal roof same time as other design elements.

Signage would require a sign permit (per sign). The retrofitting of exterior lighting (and new gooseneck lighting) would probably need an electrical permit. From my experience electrical permits are typically applied for and pulled by the electrician. Is this the case for Jonesboro regarding the exterior lighting and interior receptacles? Yes. Separate electrical trade permit.

All new exterior design elements and signage would require review by the Design Review Commission on August 4th, prior to issuance of any permits. Understood. What are the procedures or forms we would need to complete in order to begin this review process? No forms of fees. Assuming you do not change the drawings provided to me, they will review what you gave me.

In short – Design Review on August 4th.

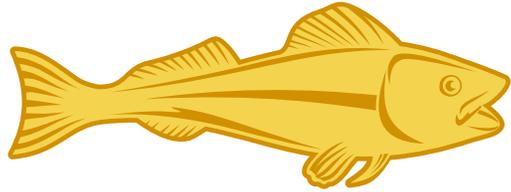
Trade permit needed for electrical.

Building permit for roof.

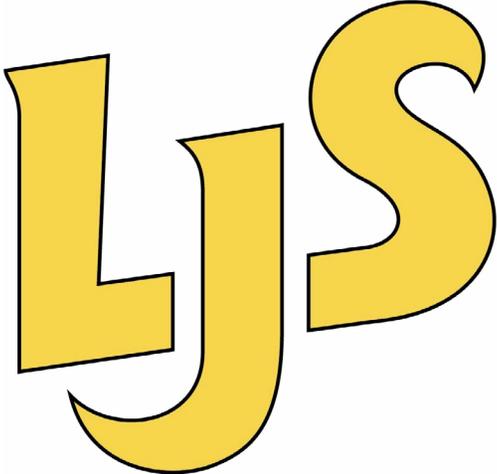
Plans will have to be reviewed by Safebuilt.

Signage has separate permits from general building permit.

Attachment: Scope of Work (1942 : 8502 Tara Blvd Renovations)



**LONG JOHN
SILVER'S®**



TRUE NORTH REFRESH| JONESBORO, KY
CONCEPTUAL PACKET (EXTERIOR) JUNE 2021
PAINT COLOR SPECS & COLORED ELEVATIONS

Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



JONESBORO, GA | TRUE NORTH

Existing Exterior Conditions

5.a.c



Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



JONESBORO, GA | TRUE NORTH

Existing Exterior Conditions

5.a.c



Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



Sherwin Williams Account CODES:

LJS Franchisees:
#AZ46



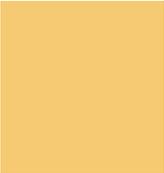
- 1.**
- SW 6509 Georgian Bay**
Satin/Semi-Gloss
LJS Towers and sign cabinet.
For LJS DT Tower: Painted in satin on primed Identity wood siding.
For Signage: Semi gloss for sign poles
For Front LJS Tower - Nichiha Illumination (custom paneling)



- 2.**
- SW 7072 Online**
Satin
Exterior Wall



- 3.**
- SW 7074 Software**
Satin/Semi-Gloss
Exterior wall is painted with a satin finish
Exterior Elements (Ladder, back door & window trim) painted in Semi-Gloss



- 4.**
- SW 6682 June Day**
Satin/Semi-Gloss
Exterior Trim and Semi-Gloss for Bollards

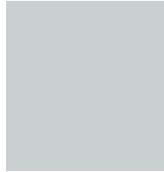
Note: Use new paint specs provided for better durability. (Problock) or a primer (Kem Bond HS) and a urethane that would work on your metal handrails and doors



- 5.**
- SW 7048 Urbane Bronze**
Semi-Gloss
Roof and tower top trim; existing light fixtures



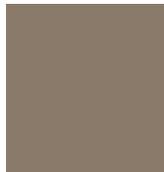
- 6.**
- SW 9178 In the Navy**
Semi-Gloss
Roof Trim and Gutter Down Spots



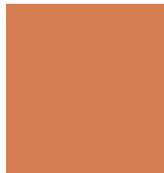
- 7.**
- SW 6246 North Star**
Utilize product recommended by Sherwin Williams
Roof/Metal Paint



- 8.**
- SW 7033 Brainstorm Bronze**
Semi-Gloss
Front door with trim, window trim, Gutter Down Spots (along front portion of building only)



- 9.**
- SW 7039 Virtual Taupe**
Satin
Front portion of building's exterior walls



- 10.**
- SW 6634 Copper Harbor**
Semi-Gloss
Front Door (interior and exterior) - don't paint if existing door is a clear coat aluminum finish

Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



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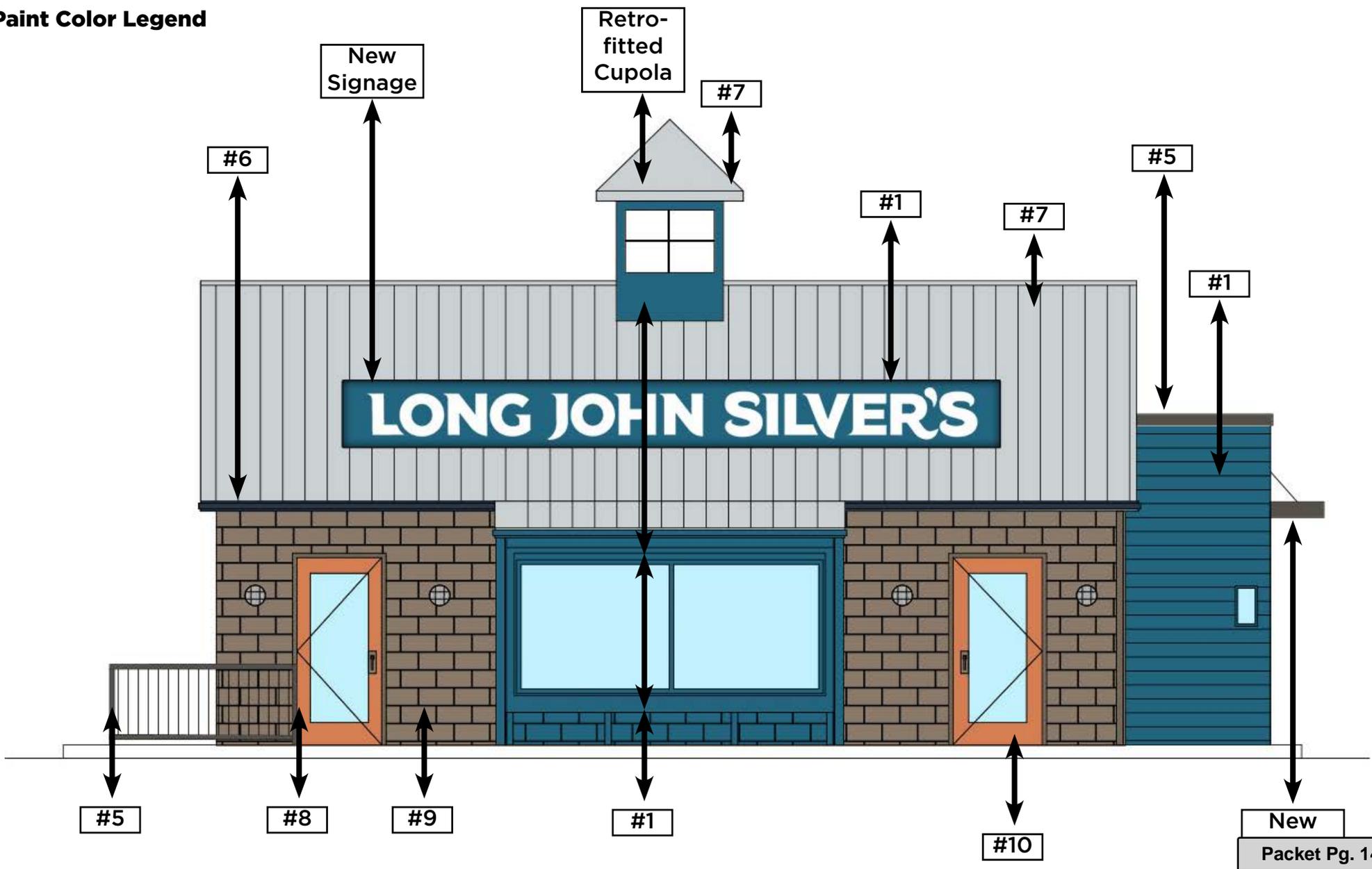
Front Elevation with Notes

	1. SW 6509 Georgian Bay		2. SW 7072 Online		3. SW 7074 Software		4. SW 6682 June Day
	5. SW 7048 Urbane Bronze		6. SW 9178 In the Navy		7. SW 6246 North Star		8. SW 7033 Brainstorm Bronze
					9. SW 7039 Virtual Taupe		10. SW 6634 Copper Harbor

Note: Remove all Wood Board Siding
repair CMU Blocks as needed. Prep surface
to receive new paint

5.a.c

Paint Color Legend



Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



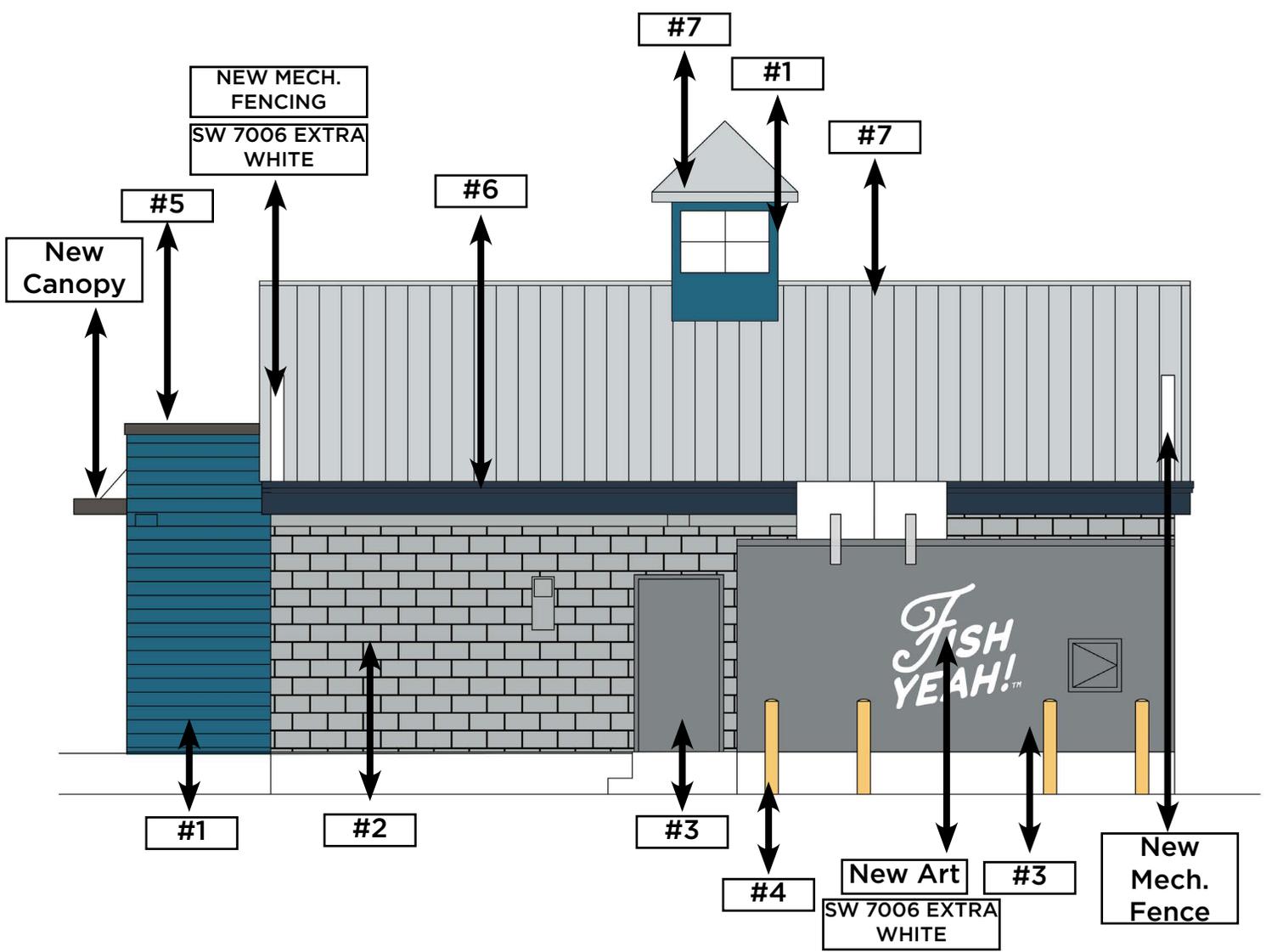
JONESBORO, GA | TRUE NORTH

Back Elevation with Notes

Note: Remove all Wood Board Siding
repair CMU Blocks as needed. Prep surface
to receive new paint

1. SW 6509 Georgian Bay	2. SW 7072 Online	3. SW 7074 Software	4. SW 6682 June Day		
5. SW 7048 Urbane Bronze	6. SW 9178 In the Navy	7. SW 6246 North Star	8. SW 7033 Brainstorm Bronze	9. SW 7039 Virtual Taupe	10. SW 6634 Copper Harbor

Paint Color Legend



Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



JONESBORO, GA | TRUE NORTH

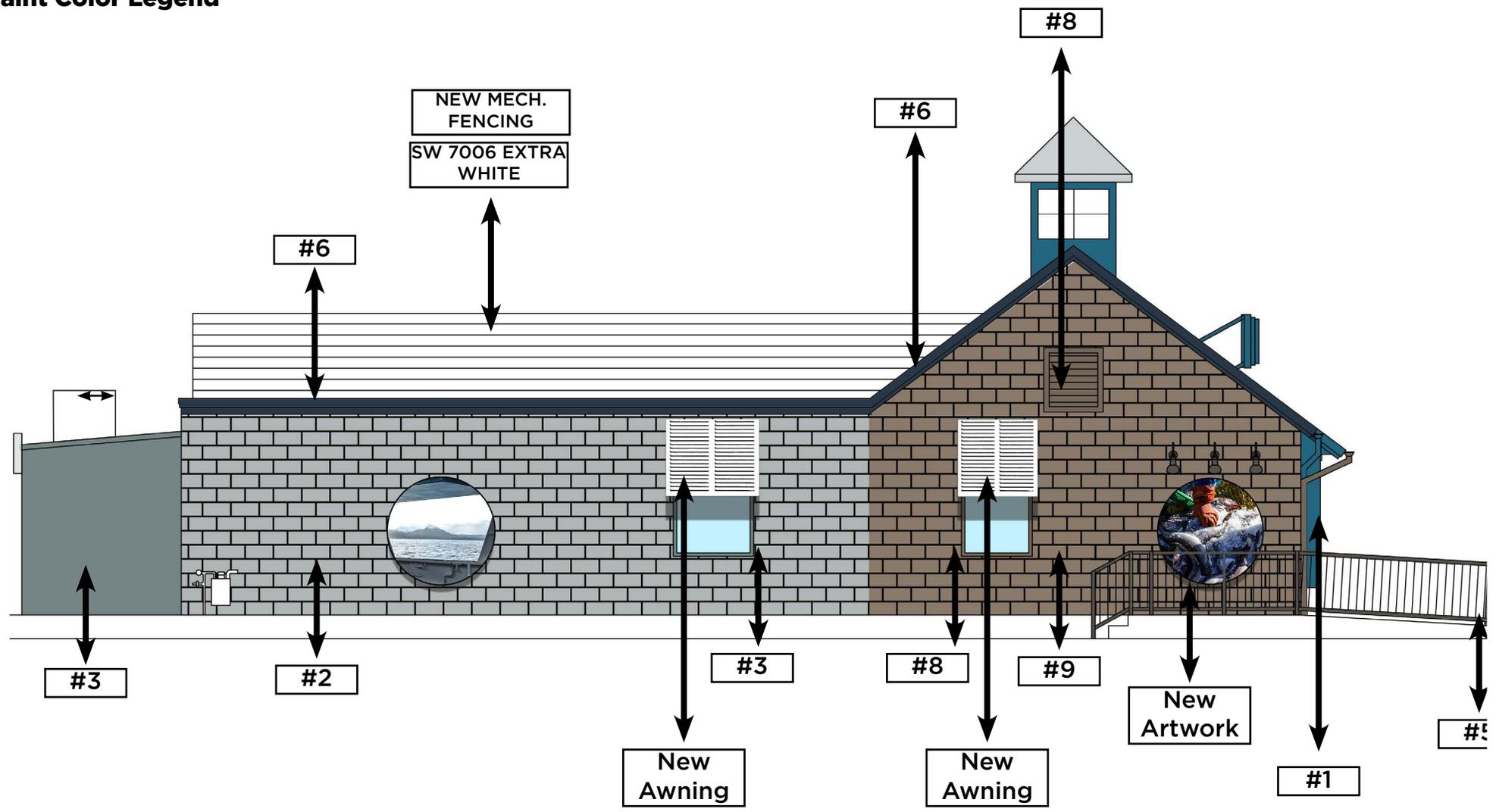
Entry Elevation with Notes

5.a.c

Note: Remove all Wood Board Siding and repair CMU Blocks as needed. Prep surface to receive new paint

1. SW 6509 Georgian Bay	2. SW 7072 Online	3. SW 7074 Software	4. SW 6682 June Day		
5. SW 7048 Urbane Bronze	6. SW 9178 In the Navy	7. SW 6246 North Star	8. SW 7033 Brainstorm Bronze	9. SW 7039 Virtual Taupe	10. SW 6634 Copper Harbor

Paint Color Legend



Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



JONESBORO, GA | TRUE NORTH

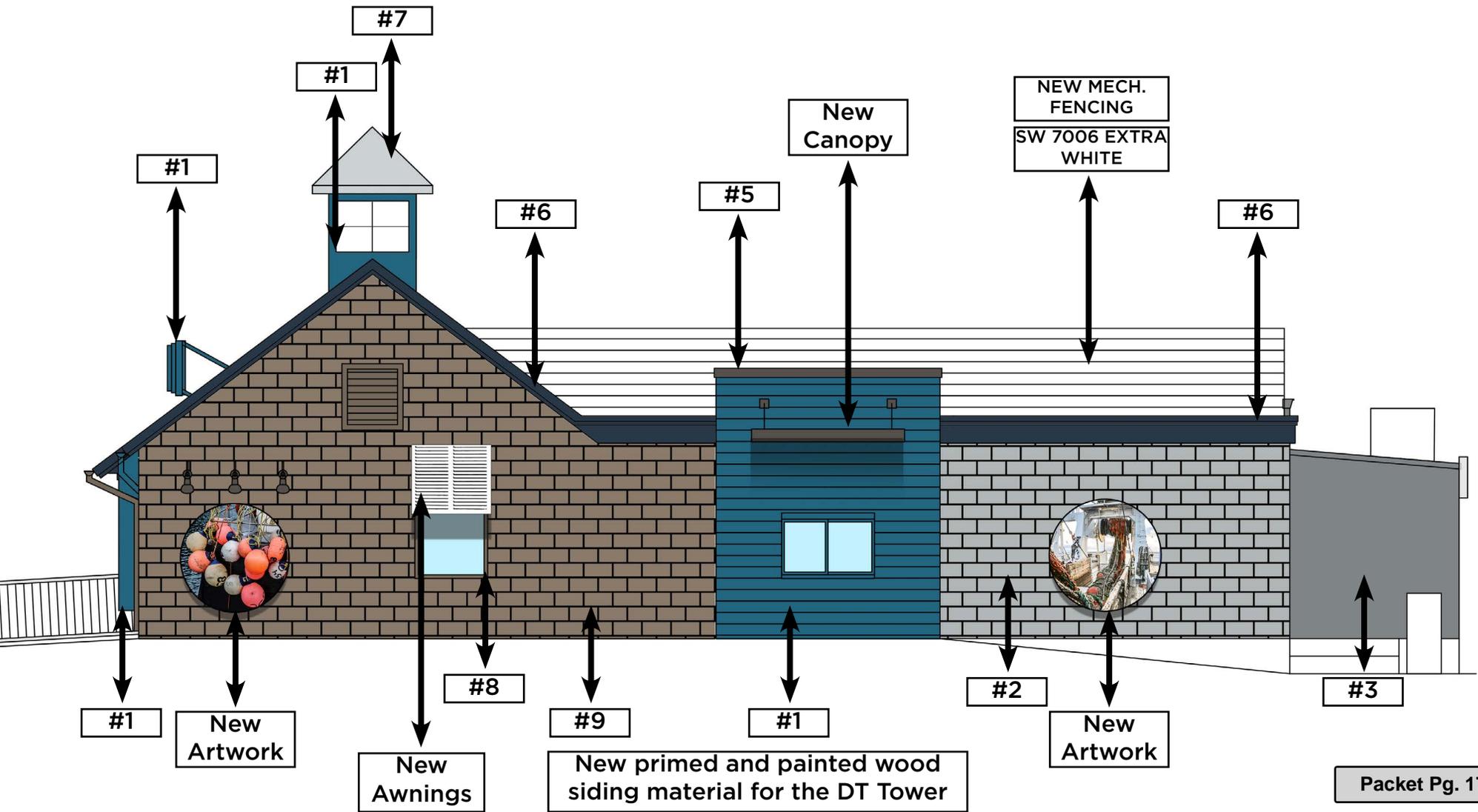
DT Elevation with Notes

Note: Remove all Wood Board Siding
repair CMU Blocks as needed. Prep surface
to receive new paint

5.a.c

	1. SW 6509 Georgian Bay		2. SW 7072 Online		3. SW 7074 Software		4. SW 6682 June Day
	5. SW 7048 Urbane Bronze		6. SW 9178 In the Navy		7. SW 6246 North Star		8. SW 7033 Brainstorm Bronze
	9. SW 7039 Virtual Taupe		10. SW 6634 Copper Harbor				

Paint Color Legend



Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



Cooler LJS Logo Stencil



Cooler/BOH LJS Logo Stencil
Letters: WHITE (Semi-gloss)
(Provided by Art Vendor)

Ensure surface is prepped before painting. Meet local sign ordinances.

If your local jurisdiction finds the stencil to be a part of your signage allowance, opt to stencil with restaurant's coordinates and LJS (monogram) "your city's name" [paint specs: Coordinates are to be painted in SW 9178 In the Navy Characters with (1") white border- LJS monogram will be to match 3M3630-4441 Yellow.]

Porthole Inspired Exterior Artwork

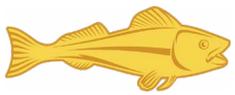


5'-0" LJS Artwork Medallion
Surface mounted
Exterior grade material
(Provided by Art Vendor)

Center underneath existing goose neck light fixtures (or install new), positioned towards back-side of facility or within dedicated focus areas (wall before window or walk path from parking to front door, etc.).

Artwork is framed by a porthole-inspired trim. The frame is a part of the artwork package and comes with various types of images (try not to repeat exterior images with interior artwork)

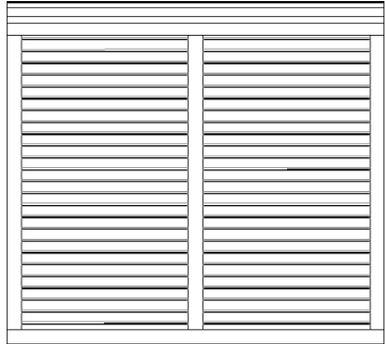
Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



Caribbean Style Awning & Re-skinned Awnings



Front View of Awning



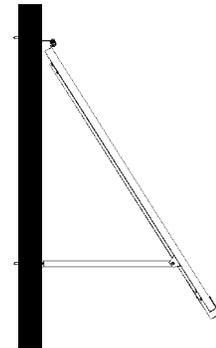
Caribbean-style Awnings
Sourced: Aw-nex Inc
Light weight aluminum

Paint to match SW 7006 Extra White

Locate Caribbean-style awnings above side windows and the main dining room doors.

The intent with the new style awning is to break up the roof line. This is an attempt to create pauses and/or new focus areas for our customers (such as the awning above a door for focus on the entry of the restaurant or LTO promos placed between windows with new awnings).

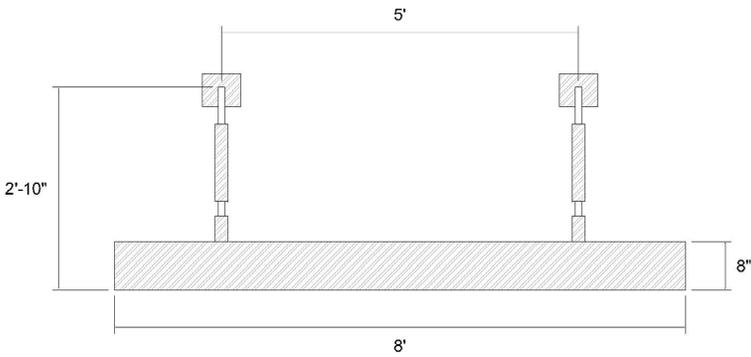
Side View of Awning



Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



DT Canopy



Canopy Specifications:

(NOTE: Number of turnbuckles and placement to be determined by engineering)
Electrical: none /or/ recessed can lighting

Other Specifications:

Canopy frame, wall return, turnbuckles, and all mounting hardware to be painted SW 7048
Urbane Bronze

Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



Hours Decal



HOURS:

MONDAY	10:30AM - 10PM
TUESDAY	10:30AM - 10PM
WEDNESDAY	10:30AM - 10PM
THURSDAY	10:30AM - 10PM
FRIDAY	10:30AM - 10PM
SATURDAY	10:30AM - 10PM
SUNDAY	10:30AM - 10PM

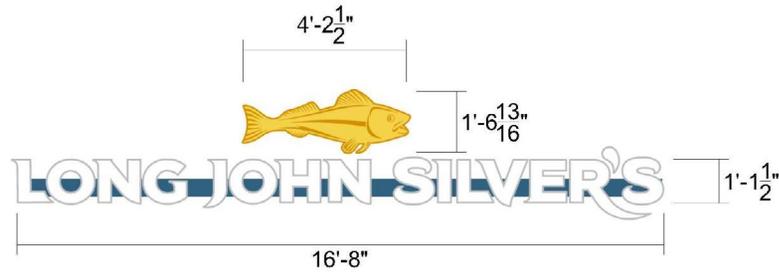
New door and Drive-Through Window Hours Decal

The goal with this initiative is to remove all previous LJS logos. This clear background decal will be placed on all doors entering and existing the main dining room. A smaller version of the decal will also be placed on a visible spot at the drive-through window.

Decal will be provided by LJS Art Vendor /or/ a local vendor (LJS has original artwork and will have to permit alternative vendor with producing hours decal). POP is provided by LJS Marketing.



Typical New Raceway Signage (Entry Elevation)



Sign Specifications:

- Colors:
 - PMS 7692c Blue
 - PMS 128c Yellow
 - PMS 7550c Orange

Channel Logo & Letter Set Specifics:

- 18.8" Channel Fish Logo:
 - 5" deep fabricated aluminum returns w/ finish to match PMS 7550 orange;
 - White plastic faces w/ jewelite trim cap to match PMS 7550 orange;
 - Face decorated w/ translucent film applied to first surface;
 - Logo mounted to raceway – color SW 6509 Georgian Bay Blue
- 13.5" Channel Letter Set
 - 5" deep fabricated aluminum returns w/ white finish;
 - White plastic faces w/ white jewelite trim cap;
 - Letters mounted to raceway – color SW 6509 Georgian Bay Blue

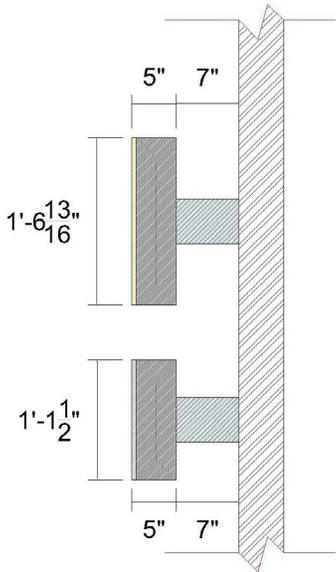
Electrical:

- Internally illuminated w/ white LEDs

Other Specifications:

- Surface mounted to face of facility;
- 5.25" distance apart from channel logo and letter set with raceway.

All sign faces are pan formed (not embossed)



Elevation of Channel Logo (top) & Letter Set (bottom)

Pylon and Reader Board Face Updates



Replacement Pylon Face (left), Refreshed Drive-thru, and Reader Board (right)

Sign Specifications:

- Faces to be untrimmed
- Apply double-hit of white to entire backside of Pylon

Color Specifications:

Pylon Face:

- Fish Logo
 - PMS 128 Yellow
 - PMS 7550 Dark Yellow
- Copy
 - White
- Background
 - PMS 7692 Blue
 - PMS 546 Dark Blue
 - PMS 128 Yellow

"Drive Thru" Face:

- Copy
 - White
- Background
 - PMS 7692 Blue

Reader board replacement:

- White with Blue Letters

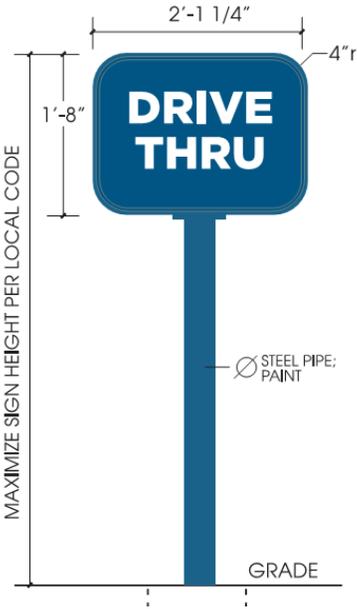
Other Specifications:

- Paint existing pylon pole and existing cabinets (sign/reader board/"drive-thru") SW6509 "Georgian Bay"
- Replace all lamps and ballasts in existing sign cabinets to ensure signs are at 100% illumination

All sign faces are pan formed (not embossed)



Typical Directional Sign Face Update



Alternative Directional Face Plates

Sign Specifications:

- Materials
 - SG poly pan-formed
- Decorations:
 - Second Surface
- Access:
 - Hinged sign face on one side

Color Specifications:

- Cabinet and Pole Color
 - Paint SW6509 Georgian Bay
- Copy
 - White
 - Copy Type Face: Gotham Black
- Face Graphics
 - Background: PMS 7692 Blue

Electrical Specifications:

- Lamps: (2) F24T12 CW/HO
- Ballast: Electronic

Other Specifications:

- Single hit of white on backside.
- For New directional signs, footing and steel column to be designed by a structural engineer per applicable local building code requirements.
- Replace all lamps and ballasts in existing sign cabinets to ensure signs are at 100% illumination.

All sign faces are pan formed (not embossed)

For new and replacement faces

Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



LJS DT Tower Material - Painted Wood Siding

Identity Wood - Primed wood siding; painted on site
with SW 6509 Georgian Bay

Siding provided by Awnex

Located and utilized at LJS Towers ONLY!

Alternative wood siding is possible - must be
approved by LJS Design Department



Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)

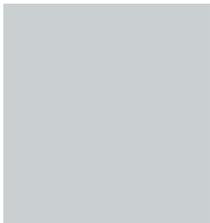


Roof paint or New Roof Info

Roof Paint Specs (for front and back):
SW 6246 North Star

Be sure to clean and prime roof before painting. If roof has been painted before, inspection condition of roof before proceeding. If roof condition is in okay condition, then move forward with repainting.

Be sure to use the approved LJS Paint Vendors (bottom)



SW 6246 North Star
Clean/prime accordingly - use roof grade paint



New Standing Seam Metal Roof Specs
Drexel Metals : Drexlume (mill finish)

To create a more coastal experience, opt to replace your dated roof with a metal roof. Alternative metal roof providers are allowed as long as provided specs are followed.

**new roof is an add-on feature and should not count as a part of your remodel project. Element is NOT standard.

NOTE: Down spouts are to be painted SW 7048 Urbane Bronze (SG), whereas gutters are to match SW 9178 In the Navy (SG), or the same color as the roof trim surrounding the building

Use this paint vendor:

Sherwin Williams
Account CODES:

LJS Franchisees:
#AZ46

LJS Corporate:
#AV90

Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



Mechanical Fence

Mechanical Fencing: Louvered (for remodels and refreshes)
GC Built - on site
Finish: SW 7006 Extra White (SG)

*Mechanical Fence system is built on site and ALL materials are provided by GC. The mechanical fence is a 4-6" wide, horizontal planking system, with 2" spaces, painted in SW 7006 Extra White (Semi-Gloss). Refer to architectural drawings to details on how to build this system.



Finished Face
(reference only)



Structural Framing
(reference only)



Mechanical Fencing

Mechanical Fencing (Opaque)



Corrugated Face
(reference only)

Alternative Style
Painted Corrugated (Or PBR Panels - 4") Metal Panels
Finished in SW 7006 Extra White (SG)

Used in the instance with local codes require the mechanical fence to be complete opaque.

** All materials are supplied by GC and the system is built on site.

Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



Lighting Vendor

Accuserv
Scott Blakely
E: sblakely@accu-serv.com
#: 502 400-8724

Artwork Package

AdColor
Bob Dummitt
E: bob.dummitt@adcolorinc.com
#859-608-4520

Tropical Awnings and Identity Wood Siding

Awnex Inc
Katie Dicks
E: katie@awnexinc.com
#: 810-625-0391

Sign Vendor

Sign Resource
Nicole Littlefield
E: nlittlefield@signresource.com
#: 323-388-6315

Equipment

TriMark
Hope McKnight
E: Hope.knight@trimarkusa.com
#: 404-484-1428

Furniture

UB Klem
Evan Hulsman
E: ehulsman@ubklem.com
#: 812-326-2236

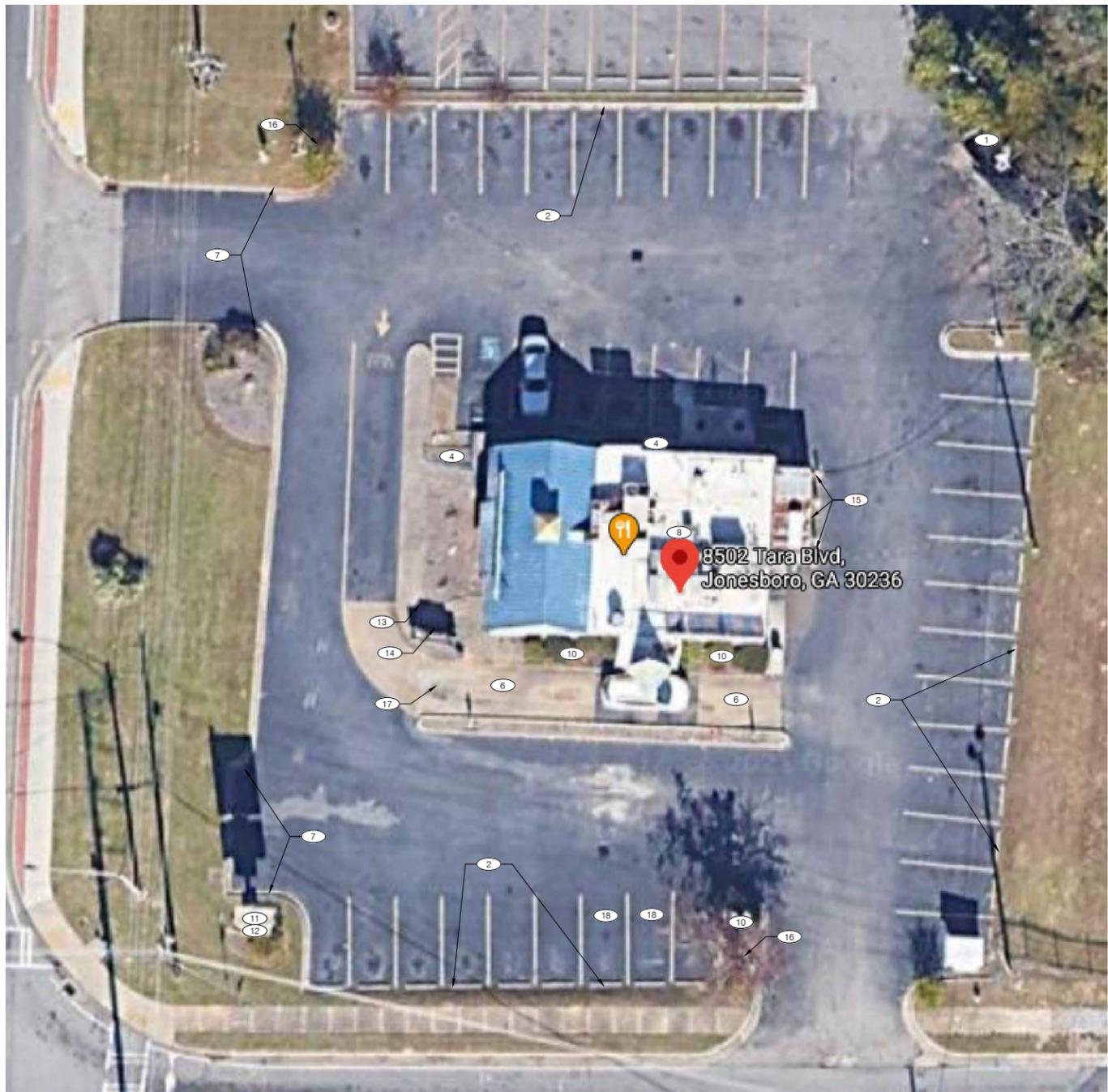
Music System

United Media
Bryan Creed
E: Bryan@unitedmediasolutions.us
#: 513-538-1842

Nichiha Siding

Custom Illumination Paneling
Matt Stephenson
E: mstephenson@nichiha.com
#: 770-805-9466

Attachment: LJS Jonesboro (Exterior Elevations) Notes (1942 : 8502 Tara Blvd Renovations)



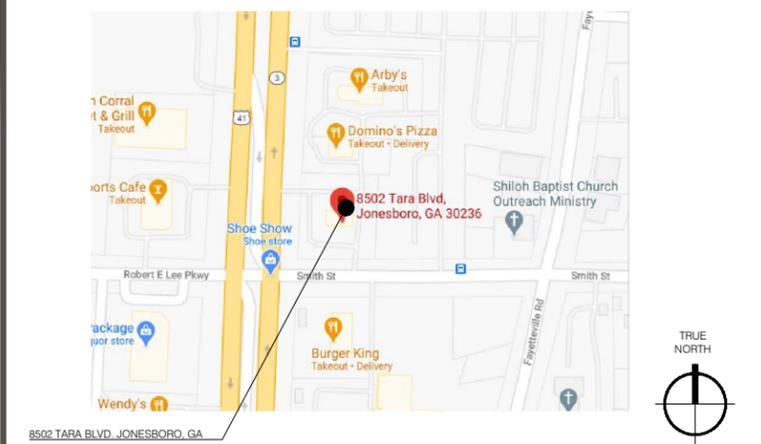
1 SITE PLAN
SCALE: 1" = 16'-0"

OCCUPANCY CALCULATION			
SPACE	AREA (SF)	OCCUPANCY RATE	TOTAL
DINING AREA	SEATING COUNT	54	54
QUEUING	77	5	15.4
SERVICE	242	100	2.4
RESTROOM	97	100	1.0
KITCHEN / BOH **	515	200	2.6
**AREA NOT IN SCOPE			TOTAL OCCUPANCY
			75

SITE WORK KEY NOTES

- ① EXISTING REMOTE DUMPSTER TO REMAIN - PAINT COLOR BY OWNER
- ② EXISTING WHEELSTOP
- ③ EXISTING A.D.A. SIGNAGE
- ④ EXISTING CONCRETE SIDEWALK TO BE PROTECTED THROUGHOUT CONSTRUCTION
- ⑤ EXISTING SHED TO REMAIN PAINT TO MATCH BUILDING
- ⑥ EXISTING CONCRETE PAVEMENT TO BE PROTECTED DURING CONSTRUCTION
- ⑦ EXISTING CONCRETE CURB TO BE PROTECTED DURING CONSTRUCTION
- ⑧ EXISTING BUILDING TO BE PROTECTED THROUGHOUT CONSTRUCTION
- ⑨ EXISTING ASPHALT PAVEMENT TO BE PROTECTED THROUGHOUT CONSTRUCTION.
- ⑩ EXISTING LANDSCAPING TO BE REMAIN - TRIM SHURBS ARE NEEDED
- ⑪ EXISTING READER BOARD TO REMAIN
- ⑫ EXISTING PYLON SIGN TO BE REFACED, POLE TO BE PAINTED
- ⑬ EXISTING SPEAKER BUILT IN TO MENU BOARD
- ⑭ EXISTING PREVIEW BOARD
- ⑮ EXISTING BOLLARDS
- ⑯ EXISTING DIRECTIONAL SIGNAGE TO REMAIN.
- ⑰ ADD NEW CLEARANCE BAR.
- ⑱ ADD NEW MOBILE ORDER SIGN.

VICINITY MAP



PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF ALTERATION TO AN EXISTING LONG JOHN SILVER'S RESTAURANT. SCOPE OF EXTERIOR ALTERATION LEVEL 2. NEW IMAGE UPGRADE WILL CONSIST OF NEW EXTERIOR BRANDING & SIGNAGE ELEMENTS WITH NEW PAINT FINISHES AND ADDITION OF A NEW TOWER ELEMENT. SCOPE OF INTERIOR ALTERATION LEVEL 1 OF THE DINING AREA CONSIST PAINT REFRESH, REUPHOLSTER OF BOOTHS, NEW TABLE TOPS, CHAIRS NEW COUNTERTOPS. THE DINING AREA OF THE RESTAURANT WILL REMAIN CLOSED DURING INTERIOR ALTERATION PROCESS.

PROJECT SUMMARY

PROJECT NAME:	JONESBORO, GA
PROJECT ADDRESS:	8502 TARA BLVD.
LEGAL JURISDICTION:	CITY OF JONESBORO
BUILDING CODE:	2018 INTERNATIONAL BUILDING CODE, WITH GEORGIA AMENDMENTS 2018 INTERNATIONAL FIRE CODE, WITH GEORGIA AMENDMENTS 2018 INTERNATIONAL PLUMBING CODE, WITH GEORGIA AMENDMENTS 2006 INTERNATIONAL MECHANICAL CODE, WITH GEORGIA AMENDMENTS 2006 INTERNATIONAL FUEL GAS CODE, WITH GEORGIA AMENDMENTS 2017 NATIONAL ELECTRICAL CODE, WITH GEORGIA AMENDMENTS 2015 INTERNATIONAL ENERGY CONSERVATION CODE, WITH GEORGIA AMENDMENTS 2012 GEORGIA ACCESSIBILITY CODE
BUILDING FOOTPRINT AREA:	ACTUAL 1,761SF
RENOVATION AREA:	1,210 SF
SEATING:	EXISTING: 54 PROPOSED: 54
TYPE OF CONSTRUCTION:	TYPE IIB
OCCUPANCY TYPE:	A2 - ASSEMBLY
NUMBER OF EXITS:	2 REQUIRED; 2 ACTUAL
NUMBER OF STORIES:	ALLOWABLE: 2.5; ACTUAL: 1
EXISTING / PROPOSED ZONING:	C3 - COMMERCIAL
BUILDING HEIGHT: ALLOWABLE:	35'-0"; ACTUAL: 17'-4"
NUMBER OF PARKING SPACES:	±36 SPACES
NUMBER OF ACCESSIBLE PARKING SPACES:	1

PROJECT DIRECTORY

OWNER Long John Silver's 10350 Ormsby Park Place Suite 300 Louisville, KY 40223	Contact: John Haley 502-815-6194	ARCHITECT WT Group 2675 Pratum Avenue Hoffman Estates, IL , 60192	Contact: Christian Kalischefski 847-284-0626
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DRAWING INDEX

- GENERAL**
G100 GENERAL INFORMATION
- DEMOLITION**
D001 DEMOLITION: FLOOR PLAN
D002 DEMOLITION: EXTERIOR ELEVATIONS
- ARCHITECTURAL**
A000 SCHEDULES
A100 FLOOR FINISH & CEILING PLANS
A101 INTERIOR ELEVATIONS
A102 RESTROOM ELEVATIONS
A200 EXTERIOR ELEVATIONS
A201 DETAILS
- STRUCTURAL**
S100 PARTIAL FRAMING PLAN AND DETAILS
S102 STRUCTURAL NOTES

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INTERIOR & EXTERIOR REMODEL
8502 TARA BLVD., JONESBORO, GA 30236

LONG JOHN SILVER'S

ISSUE

TO	DATE
REVIEW	03/31/21

CHECK: CK
DRAWN: CM
JOB: 2002500D

G100
Packet Pg. 28

FIXTURE SCHEDULE - RESTROOM				
QTY	DESCRIPTION	MANUFACTURER	MODEL #/COLOR	REMARKS
0	GRAB BARS	EXISTING		
2	SOAP DISPENSER	BOBRICK	B-2111	
2	MIRROR	BOBRICK	B-165	18'X24"

DOOR SCHEDULE										
MARK	DIMENSION	DESCRIPTION	DOOR	FRAME	DOOR FINISH	ELEVATION	HARDWARE TYPE	JAMB	THRESHOLD	REMARKS
1	3'-6" x 7'-2"	STOREFRONT DOOR	AL	AL	CA	2/A000	1	4/A000 5/A000	5/A000	VERIFY IN FIELD ALL DOOR MEASUREMENTS
2	3'-6" x 7'-2"	STOREFRONT DOOR	AL	AL	CA	2/A000	1	4/A000 5/A000	5/A000	VERIFY IN FIELD ALL DOOR MEASUREMENTS

ABBREVIATIONS:
 DOOR CONSTRUCTION: AL-ALUMINUM HM-HOLLOW METAL
 LATCH: PP-PUSH/PULL L-LEVER PH-PANIC HARDWARE WITH PULL ON REVERSE D-DUMMYPU-PUSH PANEL
 LOCK SET: O-OFFICE SR-STOREFRONT CSD-CROSS BAR EXIT DEVICE FINISH: CA-CLEAR ANODIZED ALUMINUM P-PANIC

- VERIFY THAT ALL EXISTING EGRESS DOORS ARE OPERABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT AT ALL TIMES THE BUILDING IS OCCUPIED.

- DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE AT A MAX. HEIGHT OF 48" IF 48" THE OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT FINCHING, OR TWISTING OF THE WRIST TO OPERATE. (IFC 1008.8.1, 1008.1.2, ILLINOIS ACCESSIBILITY CODE 999.2.0.1)

- CONTRACTOR TO VERIFY DIMENSIONS IN THE FIELD. ALL EXISTING DOORWAY WIDTHS REQUIRING DOORS.

HARDWARE SCHEDULE:
 1-KAWNEER ALUM. NARROW STILE W/ ADA COMPLIANT BASE, CLEAR ANODIZED FINISH
 INSULATING GLASS WITH 1/4" CLEAR TEMPERED SAFETY GLASS
 1-1/4" ALUM. W/ CLEAR ANODIZED FINISH
 HINGES - COLOR TO MATCH STOREFRONT - PER DOOR
 1-KAWNEER PUSH BARS - COLOR TO MATCH STOREFRONT - PER DOOR
 1-KAWNEER PULL - COLOR TO MATCH STOREFRONT - PER DOOR
 1-LCN 4041 HEAVY DUTY CLOSER MOUNT ON TRANSOM BAR OR EQUAL - PER DOOR
 1-ADAMSRITE MS 18055 DEAD BOLT WITH ADAM RTE. 4500 DEAD BOLT LEVER ON 'ACTIVE' DOOR
 (1) PAIR OF AUTOMATIC FLUSH BOLTS IN THE 'INACTIVE' DOOR
 1- THRESHOLD
 1- SET OF WEATHERSTRIPPING (EXTERIOR DOORS)
 1- READILY VISIBLE AND DURABLE SIGN TO BE POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE

Ceiling:
 Replace ceiling grid system if grid and ceiling tiles are in poor condition. Replace with Armstrong Fine Fissured Tegular in Light Grey. Match grid to ceiling tiles

FINISH SCHEDULE - INTERIOR FINISHES				
MARK	DESCRIPTION	MANUFACTURER	MODEL #/COLOR	REMARKS
FRP	SERVICE COUNTER WALL PANELS	MARLITE	SYMMTRX WITH SANI-COAT FRP / SYM C916-063-R1	BLACK SEAM LINES. BUTT UP PANELS FOR SEAMLESS LINES (USE SATIN NICKEL TRIM 1/2"X1/2" OR SIMILAR) /or/ paint with SW 7074 Software (SG) Semi-Gloss
VB	VINYL BASE	ROPPE	VINYL LAMINATE/700 SERIES - BLACK	4" BASE
CG	CORNER GUARDS	TBD	ANODIZED ALUMINUM CORNER GUARDS 1/2" X 1/2" X 1/16" THICKNESS	ATTENDANT AREA
FC	COUNTER TOP		MILKY WAY MODEL# T009 Solid Surface	ORDER COUNTER/ SERVICE STATION / BEVERAGE STATION/ CONDIMENT COUNTER
FC1	DIVIDER WALL CAP		GC Provided Wood	ideally: Poplar wood stained in Minwax 470 Smokewood
FCP	ORDER COUNTER PANELS		Marlite FRP Custom Panels - Shiplap	PANELS PROVIDED & INSTALLED BY SEATING VENDOR - PAINT EXTRA WHITE
QT1	FLOOR TILE BOH /RESTROOMS	PANTHEON TILE	PAN170-1047N	REPLACE DAMAGED FLOOR & BASE TILE - MATCH COLOR OF EXISTING TILE
QT2	FLOOR TILE DINING ROOM	PANTHEON TILE	TBD	REPLACE DAMAGED FLOOR & BASE - MATCH COLOR OF EXISTING TILE

WINDOW SCHEDULE									
MARK	DIMENSION	DESCRIPTION	FRAME	FINISH	ELEVATION	COLOR	JAMB	REMARKS	
1	11'-5" x 5'-2"	KAWNEER TRIFAB VERSIGLAZE 451T FRAMING	AL	CA	1/A000	CA	3/A000	VERIFY IN FIELD ALL WINDOW MEASUREMENTS	

ABBREVIATIONS:
 WINDOW CONSTRUCTION: AL-ALUMINUM HM-HOLLOW METAL P-PLASTIC FINISH: AN-ANODIZED ALUMINUM CA-CLEAR ANODIZED ALUMINUM P-PANIC

GLAZING:
 1- 1" TEMPERED INSULATED (I) TEMPERED OUTBOARD LITE # AIR SPACE, (I) TEMPERED INBOARD LITE) OR INSULATED GLASS (SEE ELEVATIONS)
 PROVIDE OWNER WITH SAMPLE OF GLASS TO BE USED FOR APPROVAL.

STOREFRONT NOTES:
 1-KAWNEER TRIFAB VERSA GLAZE 451T, (1" & 1 3/16" INFILL) 2" x 4 1/2" DEPTH, COLOR: CLEAR ANODIZED, TEMPERED INSULATED GLASS, STRUCTURAL SILICONE GLAZED OR APPROVED EQUAL.
 THE WINDOW AND GLASS DOOR UNITS SHALL BE MANUFACTURED TO ACHIEVE THE FOLLOWING ENERGY PERFORMANCE RATINGS (MINIMUM)
 WINDOWS U= 0.46 SHGC= 0.33
 GLASS DOORS U= 0.46 SHGC= 0.33
 DRIVE THRU WINDOW U= 0.46 SHGC= 0.33
 EACH UNIT SHALL BEAR A NATIONAL FENESTRATION RATING COUNCIL LABEL STATING THESE RATINGS.
 FENESTRATION PRODUCTS RATED IN ACCORDANCE WITH NFRC.
 FENESTRATION PRODUCTS ARE CERTIFIED AS TO PERFORMANCE LABELS OR CERTIFICATES PROVIDED.
 FENESTRATION PRODUCTS AND DOORS ARE LABELED AS MEETING AIR LEAKAGE REQUIREMENTS.
 FIELD VERIFY ALL OPENINGS PRIOR TO FABRICATION.
 SUBMIT SHOP DRAWINGS SHOWING ALL TYPICAL DETAILS AND PROVIDE ALL RELEVANT PRODUCT DATA FOR REVIEW BY THE ARCHITECT PRIOR TO FABRICATION.

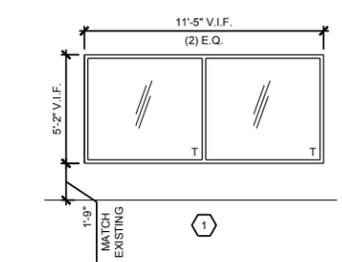
PAINT SCHEDULE - EXTERIOR				
MARK	DESCRIPTION	MFG / CONTACT	MODEL #/COLOR	REMARKS
P-1	SIDING	IW	#1001	Around main dining room (only) Alternate wood siding in option with owners approval.
P-2	EXTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'COPPER HARBOR' CODE-SW #6634 SEMI GLOSS
P-3	EXTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'GEORIAN BAY' CODE-SW #6509 SATIN
P-4	EXTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'IN THE NAVY' CODE-SW #9178 SEMI GLOSS
P-5	EXTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'JUNE DAY' CODE-SW #6882 SEMI GLOSS
P-6	EXTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'URBANE BRONZE' CODE-SW #7048 SEMI GLOSS
P-7	EXTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'ONLINE' CODE-SW #7072 SATIN
P-8	EXTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'SOFTWARE' CODE-SW #7074 SEMI GLOSS / SATIN FOR EXTERIOR WALL
P-9	EXTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'NORTH STAR' CODE-SW #6246
P-10	EXTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'EXTRA WHITE' CODE-SW #7006 SEMI GLOSS

*SW Pro Industrial Multi-Surface Acrylic Coating Semi Gloss Finish
 ** Surface to be primed with Sherwin Williams Pro Industrial Pro-Cyl Universal Acrylic Primer BEFORE painting. Paint to be Sherwin Williams Pro Industrial DTM Acrylic Coating
 *** If painting over Stucco/EIF, use: Primer: Locon Concrete and Masonry Primer (Latex White) and 2 coats of Duration Coating Exterior Latex Flat UltraSheep

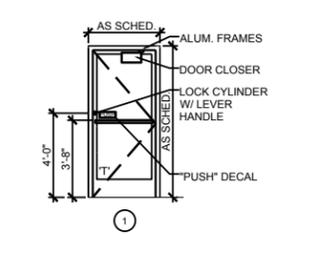
PAINT SCHEDULE - INTERIOR				
MARK	DESCRIPTION	MFG / CONTACT	MODEL #/COLOR	REMARKS
P1	INTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	SW 6776 Zircon Semi-gloss
P2	INTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'COPPER HARBOR' CODE-SW #6634 SEMI GLOSS
P3	INTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	SW 6776 Zircon Semi-gloss
P4	INTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'IN THE NAVY' CODE-SW #9178 SATIN
P5	INTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'MISTY' CODE-SW #6232 SATIN
P6	INTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	SW 6776 Zircon Semi-gloss
P7	INTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	ideally: Poplar wood stained in Minwax 470 Smokewood
P8	INTERIOR PAINT	SHERWIN WILLIAMS	ACCOUNT # 5028156175 LJS CORPORATE STORES #A246 FRANCHISEES # AV90	COLOR-'WATERY' CODE-SW #6478 SEMI GLOSS

*SW Pro Industrial Multi-Surface Acrylic Coating Semi Gloss Finish
 ** Surface to be primed with Sherwin Williams Pro Industrial Pro-Cyl Universal Acrylic Primer BEFORE painting. Paint to be Sherwin Williams Pro Industrial DTM Acrylic Coating
 *** If painting over Stucco/EIF, use: Primer: Locon Concrete and Masonry Primer (Latex White) and 2 coats of Duration Coating Exterior Latex Flat UltraSheep

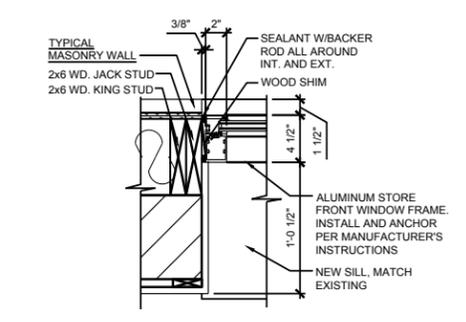
Note: Use new paint specs provided for better durability. (Problock) or a primer (Kem Bond HS) and a urethane that would work on your metal handrails and doors



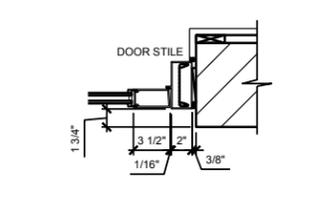
1 WINDOW ELEVATIONS
 SCALE: 1/4" = 1'-0"



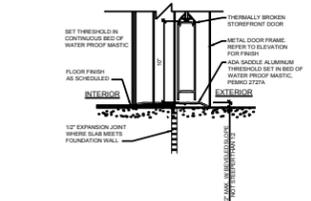
2 DOOR ELEVATIONS
 SCALE: 1/4" = 1'-0"



3 WINDOW JAMB
 SCALE: 1 1/2" = 1'-0"



4 DOOR JAMB
 SCALE: 1 1/2" = 1'-0"



2 DOOR THRESHOLD
 SCALE: 1 1/2" = 1'-0"

5.a.d

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LONG JOHN SILVER'S

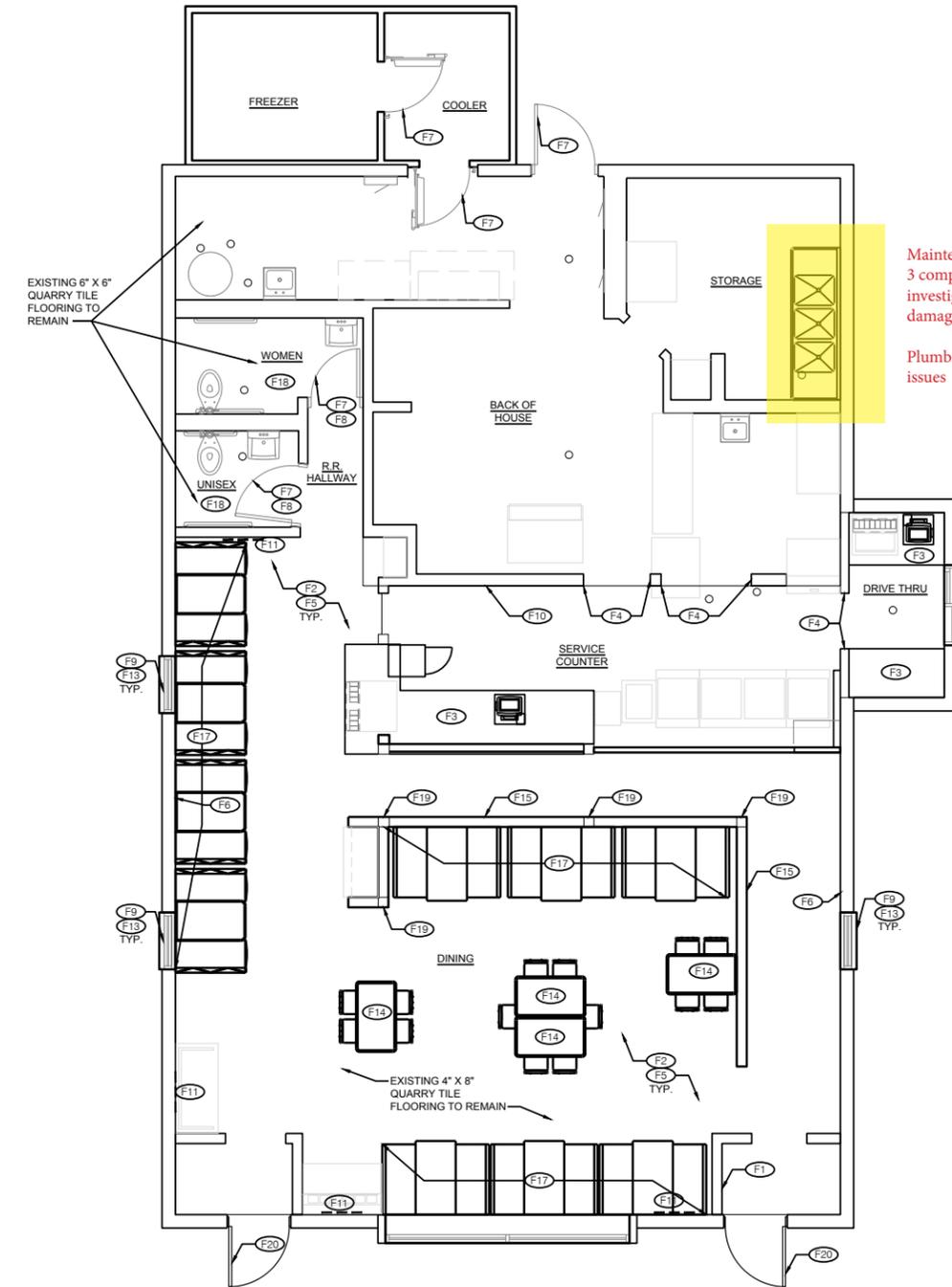
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A000
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Attachment: LJS Jonesboro - interior drawing set edits (1942 : 8502 Tara Blvd Renovations)

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY



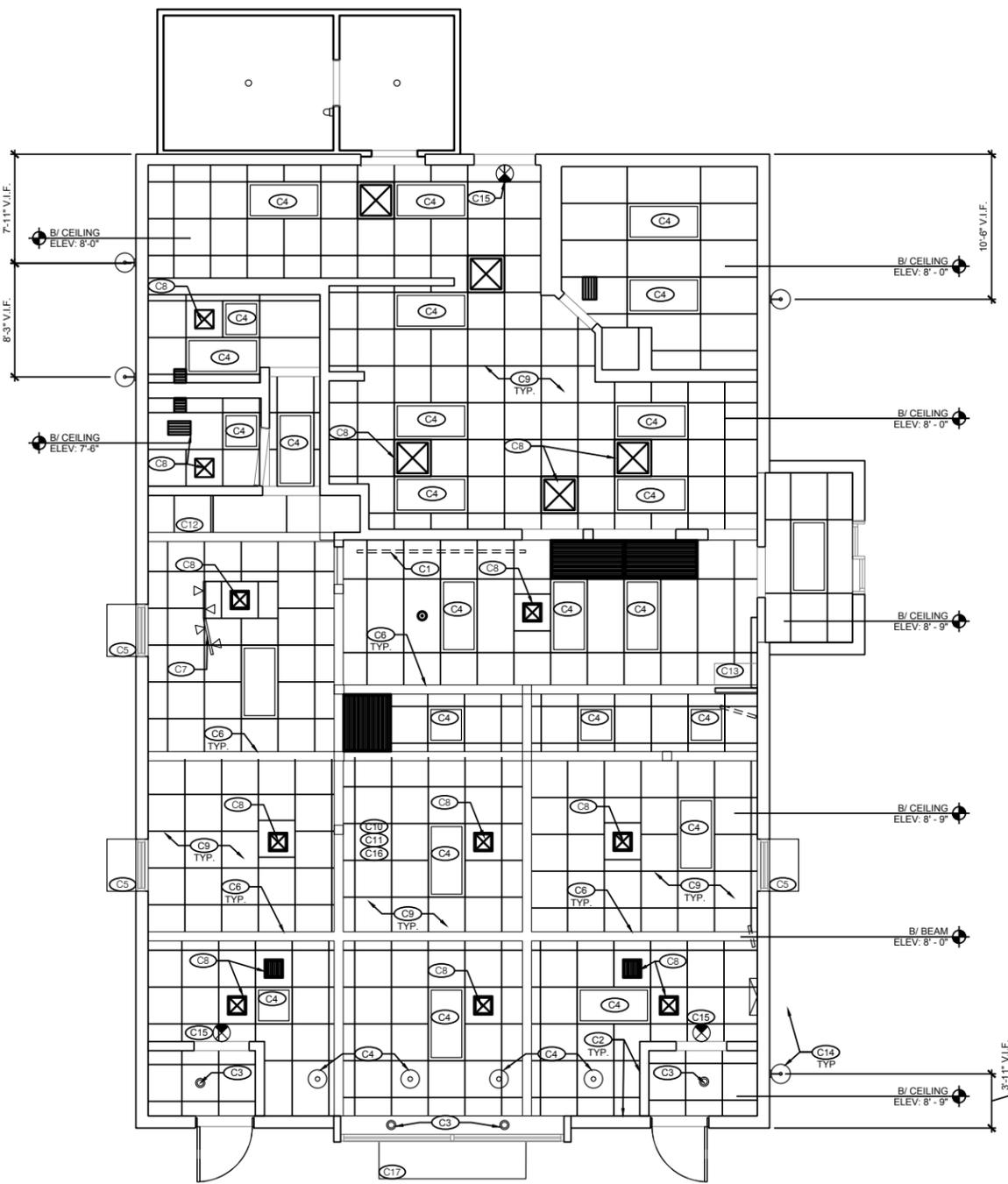
2 FLOOR FINISH PLAN
SCALE: 1/4" = 1'-0"

LEGEND

	NEW WALL CONSTRUCTION
	EXISTING TO REMAIN
	NO WORK IN THIS AREA

FINISH PLAN KEY NOTES

- F1 POST MAX. OCCUPANT LOAD ON WALL ADJACENT TO MAIN ENTRY.
- F2 SKIM COAT EXISTING WALLS (TO LEVEL 3) WHERE WALL COVERING HAS BEEN REMOVED. PRIME AND PAINT WALLS, UNLESS OTHERWISE NOTED.
- F3 EXISTING KNEE WALL - MODIFY / AS NEEDED TO ACCOMMODATE COUNTERTOP AND LAMINATE. COUNTER TO REMAIN AT EXISTING HEIGHTS- SERVICE COUNTER & FOUNTAIN UNIT COUNTER.
- F4 NEW SURFACE MOUNTED STAINLESS STEEL CORNER GUARDS. PROVIDE AND INSTALL GUARD 18GA 3/4" x 3/4" WIDE TO EXPOSED SURFACES WITH SILICONE ADHESIVE.
- F5 EXISTING FLOOR AND BASE TO REMAIN. PATCH AND REPAIR ANY DAMAGED TILE TO THE NEAREST FULL TILE AS NECESSARY.
- F6 NEW WALL COVERING PER VENDOR - SEE SHEET A000 FOR ADDITIONAL INFORMATION.
- F7 EXISTING DOORS TO REMAIN.
- F8 INSTALL NEW PORTHOLE MIRROR.
- F9 EXISTING WINDOW TRIM TO BE PAINTED. SEE SCHEDULE ON A000.
- F10 NEW MARLITE FRP AT WALL BEHIND SERVICE COUNTER PROVIDED & INSTALLED BY CONTRACTOR.
- F11 NEW WALL ART - PROVIDED AND INSTALLED BY ADCOLOR. SEE SHEET A101 FOR ADDITIONAL INFORMATION.
- F12 EXISTING WALL CAP CLEAN AND PAINT.
- F13 EXISTING WINDOW SILL - PAINT SEE SCHEDULE ON A000.
- F14 NEW TABLE TOPS PROVIDED & CHAIRS INSTALLED BY FURNITURE VENDOR. POSTS TO BE PAINTED BLACK.
- F15 EXISTING HALF WALL WITH NEW LAMINATE FORMICA CAP 8841 WHITE ASH.
- F16 EXISTING GOLD WELL SHELF TO REMAIN. ART VENDOR TO APPLY NEW DECOR.
- F17 NEW BOOTH SEATING PROVIDED & INSTALLED BY FURNITURE VENDOR.
- F18 RESTROOMS - NEW CEILING GRID, INSTALL NEW CEILING PADS & NEW WALL COVERING ON R.R. WALL SEE A102.
- F19 VERTICAL WOOD BEAM SUPPORT TO BE PAINTED SEE SCHEDULE ON A000.
- F20 NEW ENTRY DOOR. SEE DOOR SCHEDULE ON A000.
- F21 NEW 3 COMPARTMENT SINK. SEE PLUMBING PLANS.



1 CEILING PLAN
SCALE: 1/4" = 1'-0"

LEGEND

	NEW WALL CONSTRUCTION
	EXISTING TO REMAIN
	NO WORK IN THIS AREA

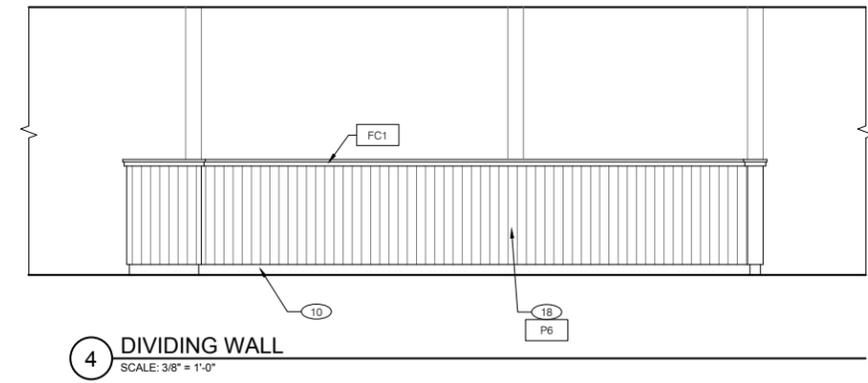
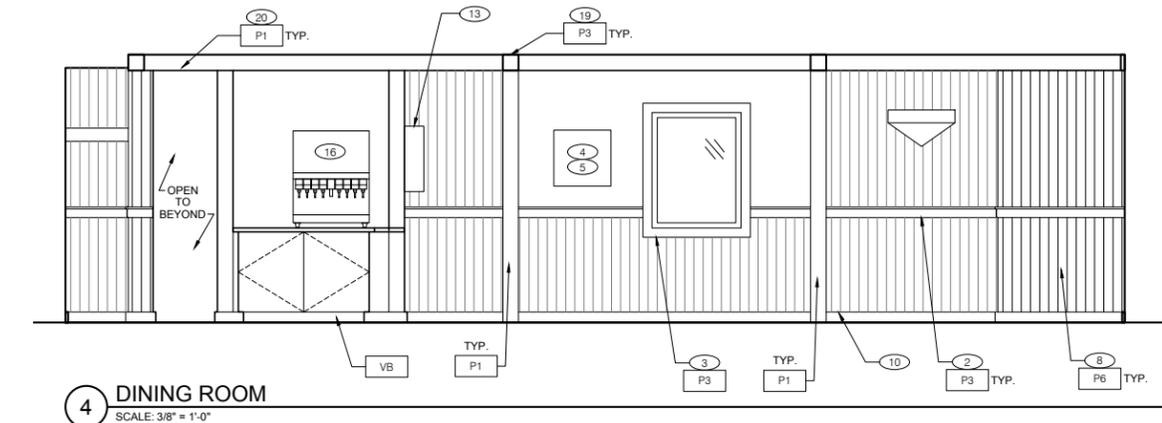
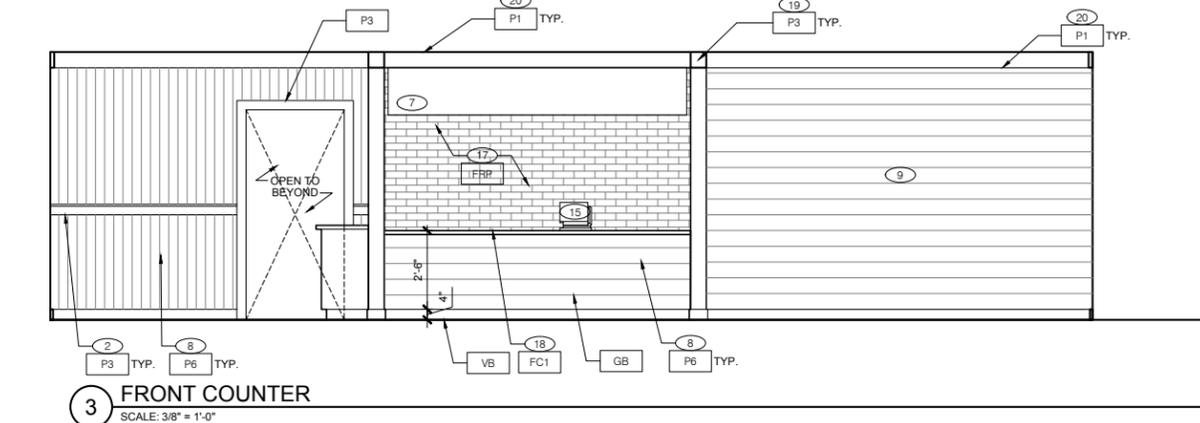
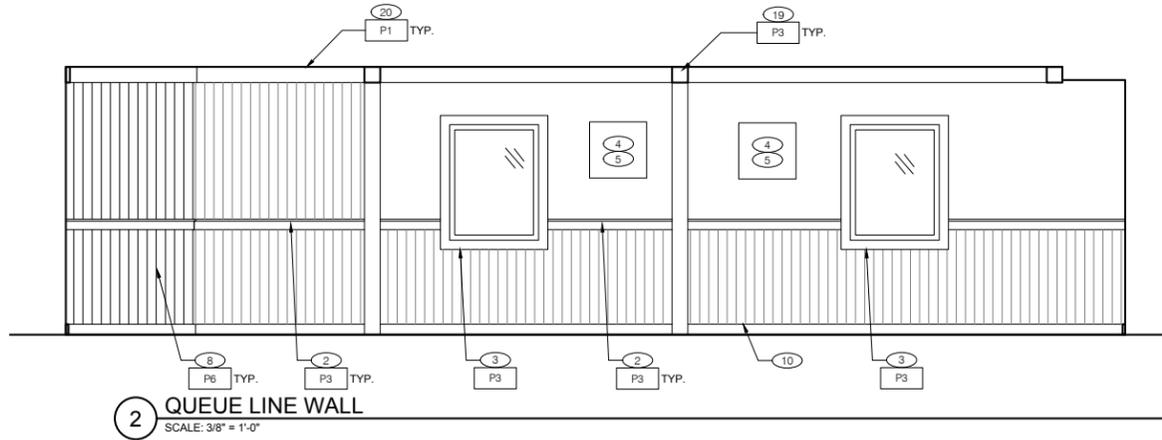
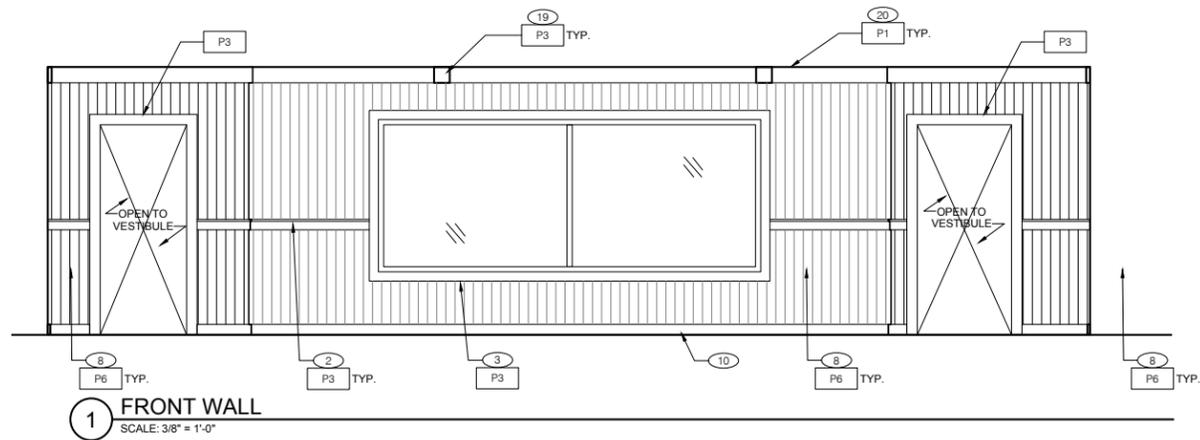
REFLECTED CEILING PLAN KEY NOTES

- C1 REINSTALL EXISTING MENU BOARD.
- C2 EXISTING WOOD TOP TRIM PAINT P1.
- C3 INSTALL NEW LED LIGHT BULBS IN EXISTING RECESSED CAN LIGHTS IN DINING. BEHIND SERVICE COUNTER AS NEEDED.
- C4 REPLACE EXISTING LIGHT FIXTURES WITH NEW LED LIGHT FIXTURES. ELECTRICAL CONTRACTOR TO VERIFY CAPACITY ON EXISTING CIRCUITS FOR LIGHTS.
- C5 NEW EXTERIOR AWNING.
- C6 EXISTING WOOD BEAMS TO BE PAINTED. SEE SCHEDULE A000.
- C7 REINSTALL TRACK LIGHT AND NEW LED BULBS.
- C8 REINSTALLED GRILLES AND DIFFUSERS.
- C9 INSTALL NEW 2'-0" X 4'-0" ACOUSTICAL GRID AND TILE SYSTEM PER REFLECTED CEILING PLAN IN DINING ROOM.
- C10 REINSTALL EXISTING SPEAKERS (TYP.) CLEAN, REMOVE WHERE NEEDED.
- C11 REINSTALL CCTV/CAMERAS/SMOKE DETECTORS. EXISTING T-STAT TO REMAIN.
- C12 EXISTING SOFFIT - PAINT SEE SCHEDULE.
- C13 EXISTING FRYER DUCTWORK TO REMAIN.
- C14 NEW EXTERIOR GOOSENECK LIGHTS. SEE SHEET E100 FOR ADDITIONAL INFORMATION.
- C15 REINSTALL EXISTING BUG LIGHTS, EXIT SIGNS, EM LIGHTS AS NEEDED.
- C16 REINSTALL EXISTING WI-FI ROUTER.
- C17 NEW PRE-FINISHED METAL CANOPY. PROVIDED AND INSTALLED BY SIGN VENDOR SEE DETAIL 4/A201.

Maintenance required in 3 comp sink area - investigate water damaged walls
Plumbing has presented issues

EXISTING 6" X 6" QUARRY TILE FLOORING TO REMAIN

EXISTING 4" X 8" QUARRY TILE FLOORING TO REMAIN



INTERIOR ELEVATION NOTES

- 1 NEW SERVICE COUNTER - NEW SHIPLAP AND COUNTER TOPS.
- 2 EXISTING 2" CHAIR RAIL PRIME AND PAINT.
- 3 WINDOW SILL, JAMB AND HEADER CLEAN AND PREP FOR PAINT.
- 4 SKIM COAT EXISTING WALLS WITH DRYWALL JOINT COMPOUND TO SMOOTH WALL SURFACE.

- 5 VENDOR PROVIDED WALL COVERING, CONTRACTOR INSTALLED.
- 6 VENDOR PROVIDED ARTWORK, CONTRACTOR INSTALLED.
- 7 REINSTALL MENU BOARD PER OWNER REQUIREMENTS
- 8 EXISTING WAINSCOT - PRIME AND PAINT.
- 9 NEW SHIPLAP WALL COVERING.

- 10 EXISTING WOOD/VINYL BASE TO CLEANED AND PREP WOOD FOR PAINT
- 11 NOT USED.
- 12 NOT USED.
- 13 EXISTING LIGHT BOX TO BE REINSTALLED BY GENERAL CONTRACTOR.
- 14 NOT USED.

- 15 NEW POS SYSTEM & WIRING INSTALLED BY CONTRACTOR.
- 16 PEPSI DISPENSER & LINES INSTALLED BY VENDOR. COORDINATION WITH CONTRACTOR AS REQUIRED.
- 17 CONTRACTOR TO PREP WALL FOR INSTALLATION OF NEW FRP PANEL - SEE SHEET A000.
- 18 EXISTING HALF HEIGHT WALL, FINISH WAINSCOT. CAP TO BE

- 19 EXISTING BEAM. PRIME AND PAINT.
- 20 EXISTING TRIM BOARD. PRIME AND PAINT.

wood

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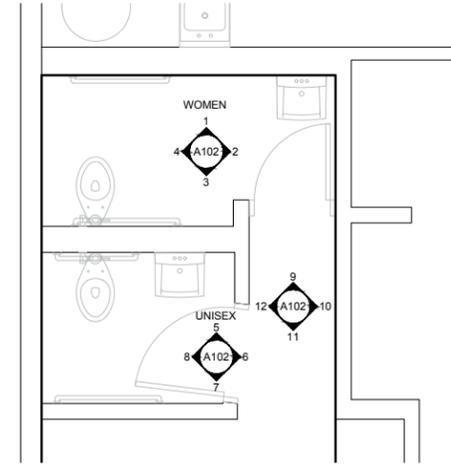
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INTERIOR & EXTERIOR REMODEL
 8502 TARA BLVD., JONESBORO, GA 30236

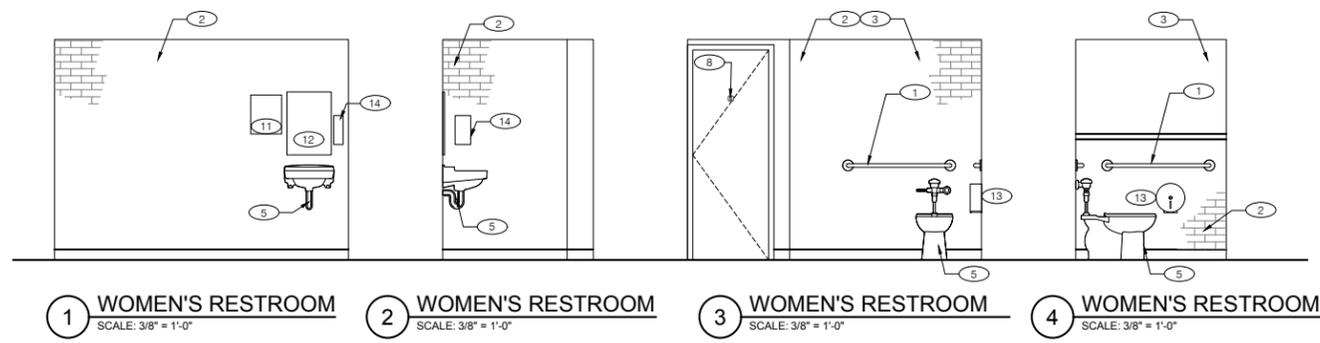
LONG JOHN SILVER'S

ISSUE	
TO	DATE
REVIEW	03/31/21

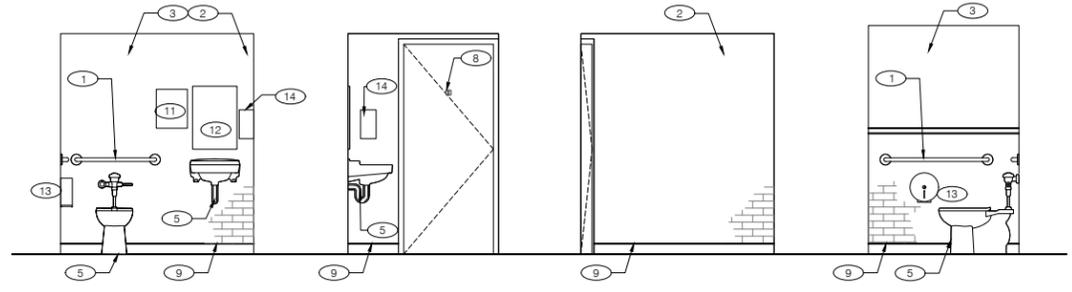
CHECK: CK
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 JOB: 2002500D



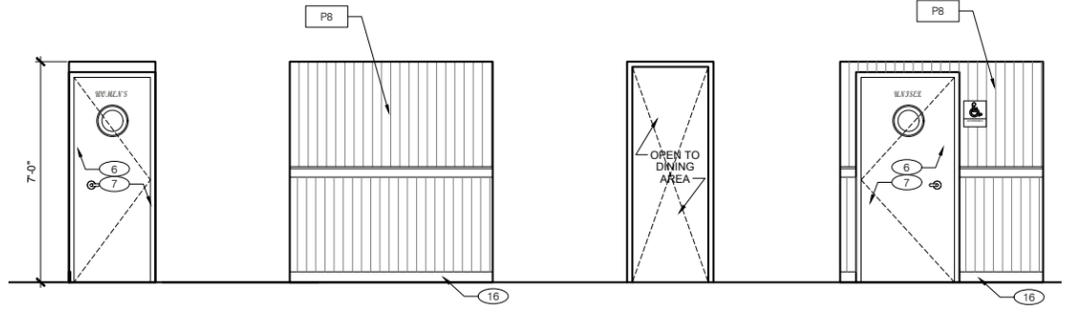
13 RESTROOM LAYOUT
SCALE: 3/8" = 1'-0"



1 WOMEN'S RESTROOM SCALE: 3/8" = 1'-0"
 2 WOMEN'S RESTROOM SCALE: 3/8" = 1'-0"
 3 WOMEN'S RESTROOM SCALE: 3/8" = 1'-0"
 4 WOMEN'S RESTROOM SCALE: 3/8" = 1'-0"



5 UNISEX RESTROOM SCALE: 3/8" = 1'-0"
 6 UNISEX RESTROOM SCALE: 3/8" = 1'-0"
 7 UNISEX RESTROOM SCALE: 3/8" = 1'-0"
 8 UNISEX RESTROOM SCALE: 3/8" = 1'-0"



9 WOMEN'S R.R. SCALE: 3/8" = 1'-0"
 10 R.R. HALLWAY SCALE: 3/8" = 1'-0"
 11 R.R. HALLWAY SCALE: 3/8" = 1'-0"
 12 UNISEX R.R. SCALE: 3/8" = 1'-0"

GENERAL NOTE:
 CONTRACTOR TO VERIFY THAT ALL EXISTING FIXTURES ARE IN WORKING CONDITION AND SHALL REPORT INFORMATION TO OWNER AND ARCHITECT PRIOR TO ANY REPAIRS OR REPLACEMENTS.

NOTE:
 IT IS THE INTENTION AS DESIGNED WITHIN THIS CONSTRUCTION SET AND SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT AND INSTALL ALL ITEMS, EQUIPMENT, AND ACCESSORIES IN COMPLIANCE WITH THE REQUIREMENTS OF THE 2012 GEORGIA ACCESSIBILITY CODE.

RESTROOM ELEVATION NOTES

- | | | |
|--|---|---|
| 1 EXISTING GRAB BARS TO BE REINSTALLED PER ADA REQUIREMENTS | 7 DOOR SIGN (Men's & Women's, Employee) STENCIL DECAL PROVIDED BY ART VENDOR. | 13 EXISTING TOILET PAPER DISPENSER TO REMAIN. |
| 2 VENDOR PROVIDED WALL COVERING, CONTRACTOR INSTALLED. | 8 NEW DOOR HOOK INSTALLED AT EACH RESTROOM DOOR (BOBRICK UTILITY HOOK - SATIN B6707). | 14 NEW SOAP DISPENSER. SEE SCHEDULE ON SHEET A000. |
| 3 NEW WALCOVERING IN RESTROOMS. | 9 NEW 4" VINYL BASE SEE A000. | 15 EXISTING URINAL SEE FIXTURE TO REMAIN. |
| 4 NEW SEAT COVER DISPENSER SEE FIXTURE SCHEDULE A000. | 10 NEW CHANGING STATION SEE FIXTURE SCHEDULE A000. | 16 EXISTING WOOD BASE TO REMAIN - DEEP CLEAN, PREP FOR PAINT. |
| 5 EXISTING PLUMBING FIXTURES TO REMAIN. DEEP CLEAN. | 11 EXISTING PAPER TOWEL DISPENSER TO REMAIN. | |
| 6 NEW SURFACE MOUNTED PORTHOLE WITH MIRRORRED LENS /GLASS. PROVIDED BY ART VENDOR. | 12 NEW MIRROR. SEE SCHEDULE ON SHEET A000. | |

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INTERIOR & EXTERIOR REMODEL
 8502 TARA BLVD., JONESBORO, GA 30236
LONG JOHN SILVER'S

ISSUE

TO	DATE
REVIEW	03/31/21

CHECK: CK
 DRAWN: CM
 JOB: 2002500D



MEMORANDUM

To: Ken Nadolski
WT Group

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: July 27, 2021

Re: Notification of Request for Design Review Commission – Renovations and Signs for Long John Silver's; 8502 Tara Boulevard; Parcel No. 13242B B006

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of renovations and new signage for a restaurant for the property located at 8502 Tara Boulevard, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, August 4, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to be "D. Allen", with a long horizontal stroke extending to the right.

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.b

- b

COUNCIL MEETING DATE

August 4, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make a recommendation for Residence – 108 Raymond Street; Parcel No. 12048B B006; Enclosure of carport.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-98 R-4 District Standards; Article VII Architectural Style and Scale

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of carport enclosure with conditions; The single-family detached residence with single carport at 108 Raymond Street was built many years ago. Recently, the current owner applied to fully enclose the carport (81 square feet) on the side of the house. The enclosure would be used for storage and not be a bedroom. Their building permit was approved, but Design Review Commission review is required. The property is zoned R-4 and is not in the Historic District or in any Overlay District. **The residence is predominantly brick, but the applicant is proposing to have the carport enclosure by Hardiplank siding.**

Per Code Sec. 86-276., the enclosure of porches or garages prohibited.

Enclosure of front porches shall be prohibited without compensating construction of a replacement porch of equal or greater dimension. Similarly, enclosure of attached garages shall be prohibited without compensating construction of a replacement garage of equal or greater dimension. Replacement garages may be attached or detached.

However, the code does not prohibit the enclosure of carports, and the Code makes a distinction between garages and carports:

Carport. A structure attached or made a part of a principal dwelling and open to the elements on two or more sides, intended to shelter vehicles.

Garage, private. An accessory building or a portion of the principal dwelling designed or used for storage of motor-driven vehicles owned and used by the occupants of the building. The garage is enclosed on all three sides where the access door is not.

Thus, per the enclosed pictures, the structure definitely qualifies as a carport.

The codification of the Design Review Commission authorizes the Commission to review such applications:

g. Make recommendations to the City Manager and Community Development Director regarding significant exterior modifications to existing developments, buildings and structures (including signs) that do not require public zoning hearings and do not lie within the Historic District or Overlays.

(b) R-4 Development standards. Unless otherwise provided in this chapter, uses permitted in the R-4 district shall

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

August, 4, 2021

Signature

City Clerk's Office

conform to the following development standards:

- (1) Minimum lot area: 10,480 square feet (¼-acre) **Lot not changing.**
- (2) Minimum lot width: 75 feet **Lot not changing.**
- (3) Minimum front yard: 25 feet **Overall footprint not changing.**
- (4) Minimum side yard: 12 feet **Overall footprint not changing.**
- (5) Minimum rear yard: 25 feet **Overall footprint not changing.**
- (6) Minimum floor area per dwelling unit: 1,600 square feet **The house is only 1190 square feet of living area and will still be under the 1600 square-foot minimum. However, the overall footprint is not changing, so I do not regard this as a variance situation.**
- (7) Maximum building height: Two stories and 35 feet **Height not changing.**
- (8) Maximum lot coverage: 35 percent **Overall footprint not changing.**

Sec. 86-227. - Building exterior.

All residential and commercial construction shall be brick, concrete stucco, stone, cementitious siding, wood or similar, durable architectural materials. *Vinyl siding may be permitted in residential applications, only, provided the grade of vinyl meets or exceeds the Standard Specification for Rigid PVC Siding (ASTM D-3679). All manufacturers' recommendations concerning vinyl siding installation must be closely followed.*

While vinyl siding would be allowed on Raymond Street, the applicant is proposing Hardiplank siding for the enclosure, a material superior to vinyl. However, the house there, and most of the houses on the street are predominantly brick. Staff would like to make the following approval recommendations:

1. **Hardiplank siding color shall be white.**
2. **A brick water table shall be installed on both sides of the carport enclosure, closely matching the brick and mortar of the house brick.**

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Permit Application
- Property Pictures
- Design Drawings
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval, with Conditions

Email Address



City of Jonesboro
124 North Avenue
Jonesboro, GA 30236
(770) 478-3800 • Fax (770) 478-3775
Building Permit Application
Minimum Fee \$100.00

Oscar rubio 2018@gmail.com

BL# County Clayton

Date 06 29 21
Permit No. 214

Application is hereby made according to the laws and ordinances of Jonesboro for a permit to erect, alter, and/or use a structure as described herein or shown in accompanying plans and specifications, to be located as shown on plot plan and, if granted, will conform to all laws and ordinances regulating same.

Form with fields for Address (108 Raymond Street), City (Jonesboro), State (GA), Zip (30236), Purpose of Permit (Remodel), Describe Use of Construction (STORE), Size of Structure (9 x 9), Structure Type (Residential), Foundation (Slab), Heated Area, Unfinished Area, No. Stories, Height (8 ft), No. Units, No. Rooms, No. Bedrooms, No. Baths, Sewage (Public), Cooling (Electric), Heating (Electric), Fireplace (Masonry), Exterior Finish Material (Siding), Estimated Construction Cost (\$2,320), Land Owner (Oscar Castellanos), Contractor, Address (108 Raymond Street), City (Jonesboro), State (GA), Zip (30236), Telephone (678) 760-4810.

I hereby certify that the above permitted structure shall be built in accordance with the 2012 Georgia State Energy Code for Buildings. This code regulates the design, erection, construction, alteration and renovation of buildings. Compliance is mandatory.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulating construction or the performance of construction.

Date 06/28/21 Printed Name: Oscar Castellanos Signature: [Signature]

NOTICE: Separate permits are required for electrical, plumbing, heating, ventilation, air conditioning or prefab fireplaces. This permit becomes null and void if work authorized is not commenced within six (6) months or if work is suspended or abandoned for a period of six months at anytime after it is begun. Proper permits must be obtained before work is begun or fees shall be doubled.

Do not complete the following - Office Use Only

Table for Office Use Only with columns for Building - Sq. Ft., Electrical, Plumbing, HVAC, SBCCI, Temporary Pole (#), Fireplace (#), Garbage Disposal (#), Low Voltage (Minimum), and Total Fee (\$100.00).

Attachment: Permit Application (1943 : 108 Raymond Street)



CITY OF JONESBORO

124 North Avenue
Jonesboro, GA 30236
www.jonesboroga.com

BUILDING PERMIT APPLICATION SCOPE OF WORK

Name: Oscar Castellanos Date: 06/28/21
Address: 108 Raymond St - Jonesboro, GA 30236

Rooms work is to take place in:

- | | | |
|--------------------------------------|---|--|
| <input type="checkbox"/> Basement | <input type="checkbox"/> Living Room | <input type="checkbox"/> Bedroom 3 |
| <input type="checkbox"/> Kitchen | <input type="checkbox"/> Master Bedroom | <input type="checkbox"/> Bedroom 4 |
| <input type="checkbox"/> Bathroom | <input type="checkbox"/> Bedroom 1 | <input checked="" type="checkbox"/> Exterior |
| <input type="checkbox"/> Master Bath | <input type="checkbox"/> Bedroom 2 | <input type="checkbox"/> Other _____ |

Electrical and Mechanical

- | | |
|--|---|
| <input type="checkbox"/> New or upgrade of electric service | <input type="checkbox"/> Adding or replacing electric circuits |
| <input type="checkbox"/> Installing smoke detectors | <input type="checkbox"/> Adding or relocating receptacles or switches |
| <input type="checkbox"/> Installing new furnace | <input type="checkbox"/> Installing new AC condenser |
| <input type="checkbox"/> Installing new fireplace or heating stove | <input type="checkbox"/> New chimney or vent |
| <input type="checkbox"/> Installing new bathroom exhaust fan | <input type="checkbox"/> Installing or replacing range hood |
| <input type="checkbox"/> Other: _____ | |

Framing

- | | |
|---|---|
| <input type="checkbox"/> New deck, porch, or stairs | <input type="checkbox"/> Roofing (Replacing decking and shingles) |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Installing or relocating load bearing walls |
| <input type="checkbox"/> Detached garage, carport, or storage building | <input type="checkbox"/> Altering or relocating existing window/doors |
| <input type="checkbox"/> Replacing deck, porch, stairs or railing | <input type="checkbox"/> Sheathing |
| <input type="checkbox"/> New attached garage or carport | <input type="checkbox"/> Installing new drywall |
| <input type="checkbox"/> New pool, spa or hot tub | <input type="checkbox"/> Installing sunroom or other pre-manufactured |
| <input type="checkbox"/> Installing or relocating non-load bearing walls | <input checked="" type="checkbox"/> Other: <u>CLOSE AREA</u> |
| <input type="checkbox"/> Replacing or repairing damaged: | |
| <input type="checkbox"/> Floor joist <input type="checkbox"/> Stud <input type="checkbox"/> Beam <input type="checkbox"/> Header <input type="checkbox"/> Ceiling Joist <input type="checkbox"/> Rafters or Trusses | |

Plumbing

- | | |
|--|--|
| <input type="checkbox"/> Installing or replacing water heater | <input type="checkbox"/> Relocating existing plumbing fixtures |
| <input type="checkbox"/> Installing new water or DWV piping | <input type="checkbox"/> Installing or replacing gas piping |
| <input type="checkbox"/> Replacing existing water or DWV piping | <input type="checkbox"/> Installing new plumbing fixtures |
| <input type="checkbox"/> Installing or replacing backflow device | <input type="checkbox"/> Installing new sump pump |
| <input type="checkbox"/> Other: _____ | |

Additional Information

Attachment: Permit Application (1943 : 108 Raymond Street)



CITY OF JONESBORO

124 North Avenue
Jonesboro, GA 30236
www.jonesboroga.com

PROPERTY OWNER/CORPORATION OFFICER
AFFIDAVIT FOR PERMIT

Name: Oscar Castellanos Date: 06/28/21
Address of Permit Project: 108 Raymond St. Jonesboro GA 30236

Type of Permit Requested:

- Building Electrical Plumbing HVAC

I, the undersigned, do hereby apply for permission to alter, modify, or make repairs at the above indicated location and/or construct an accessory building at the same location.

I certify that, I or a designee(s), do possess the craft skills necessary to perform the work and that the work described on the attached permit application will be accomplished by the undersigned or designee(s) employing no labor for hire or subcontractor assistance.

I understand that compliance with ALL CODES, which are applicable to this project is required.

Signature of Applicant: 

Mailing Address: 108 Raymond St. Jonesboro GA 30236

Phone number: 678 760 9810 Email Address: Oscarrubio2018@gmail.com

Attachment: Permit Application (1943 : 108 Raymond Street)



Image capture: Feb 2021 © 2021 Google

Jonesboro, Georgia



Street View



5.b.b

Attachment: Property Pictures (1943 : 108 Raymond Street)



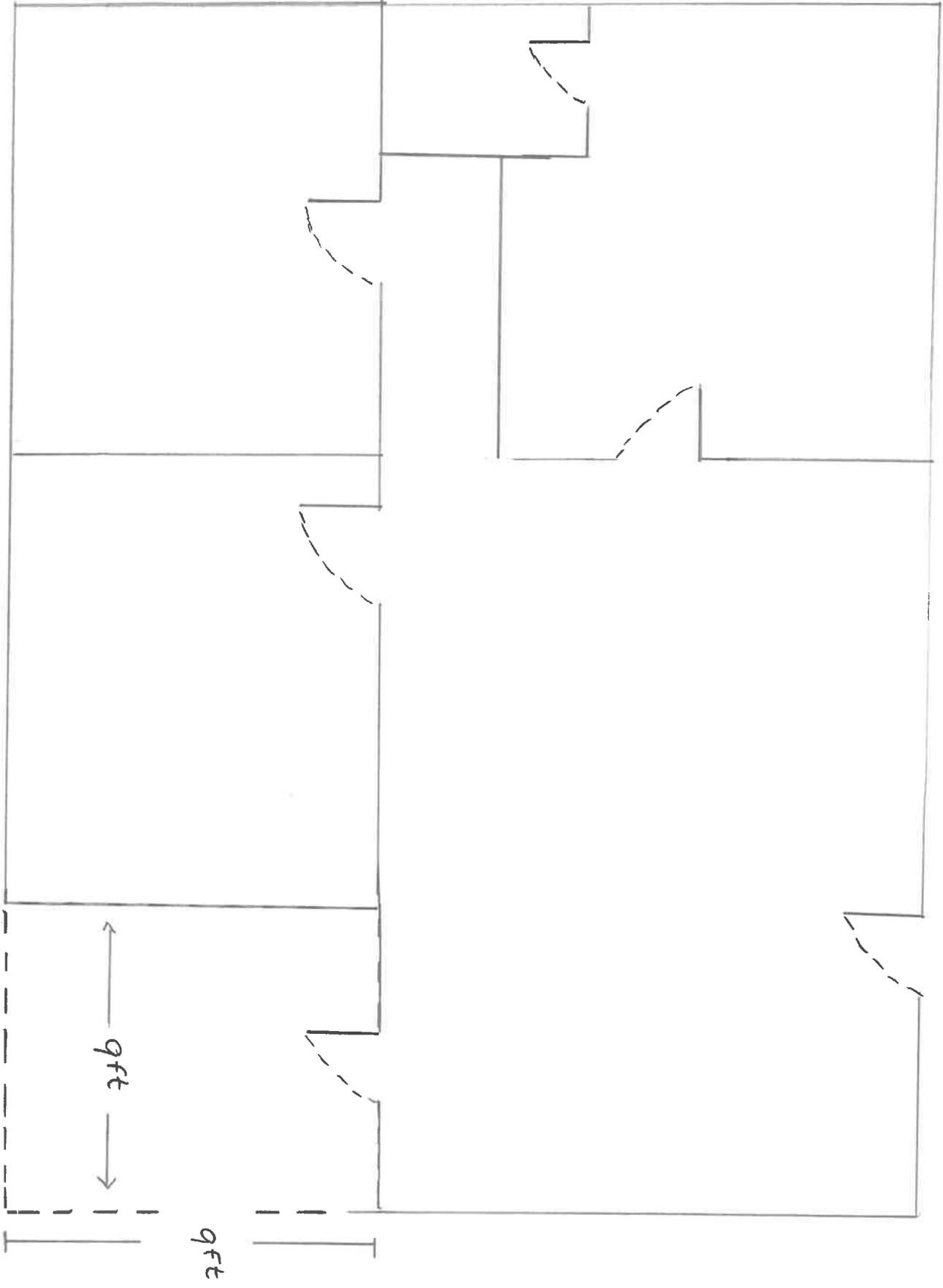
Attachment: Property Pictures (1943 : 108 Raymond Street)

PROPERTY : 108 RAYMOND ST.
JONESBORO GA 30236

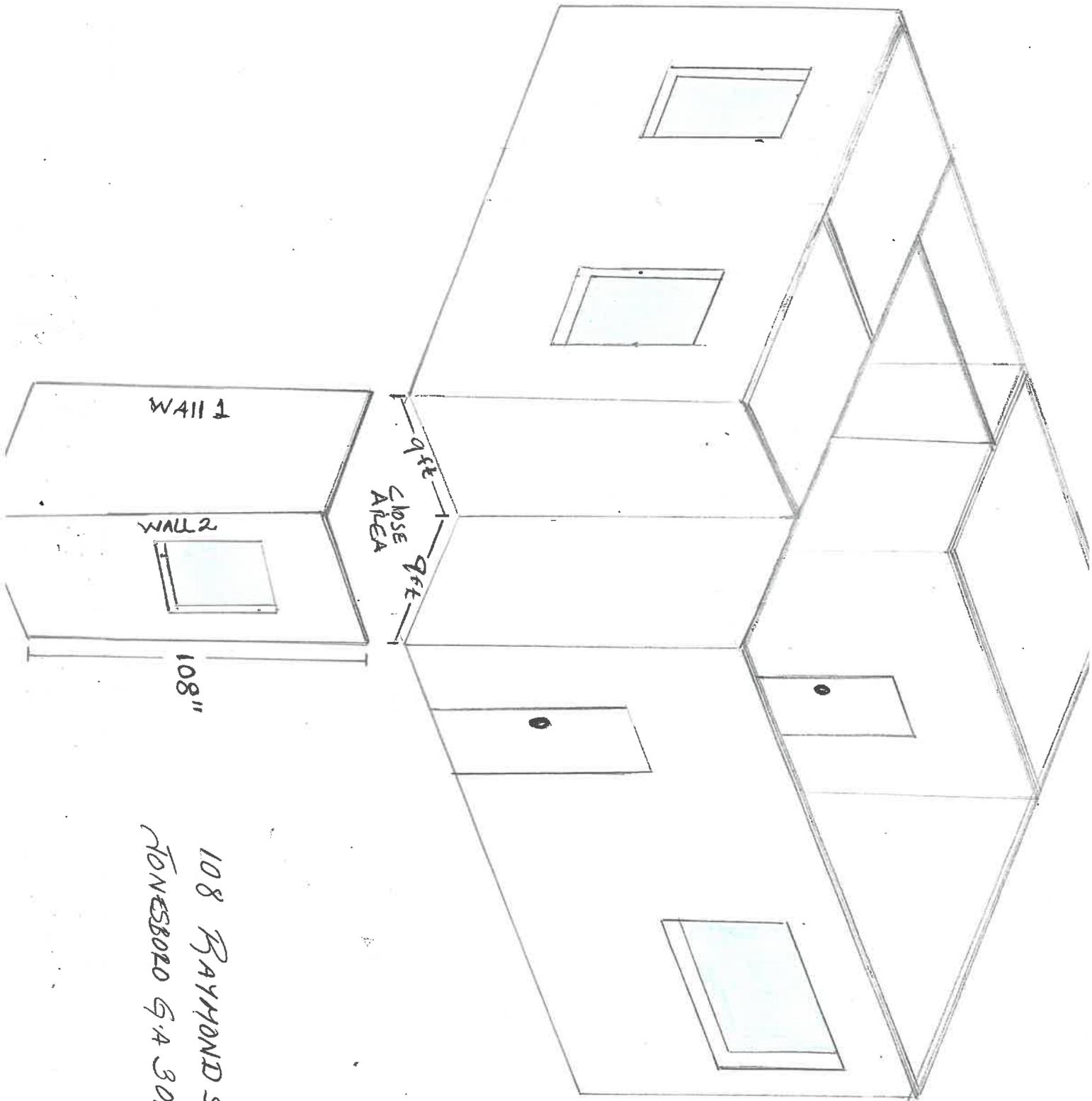
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PREP : ING. OSCAR CASTELLANOS

108 RAYMOND ST. JONESBORO GA. 30236



Attachment: Design Drawings (1943 : 108 Raymond Street)

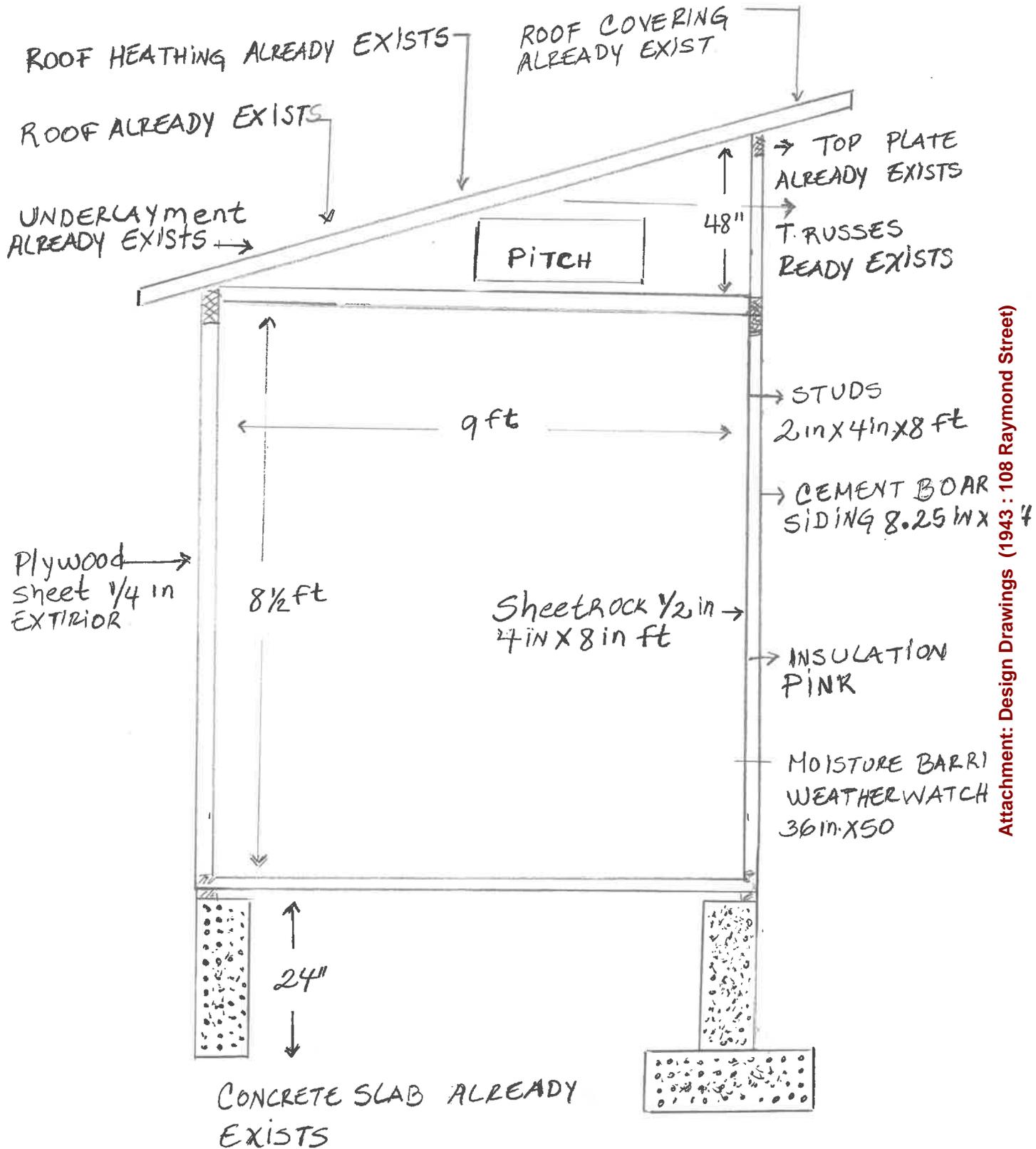


108 RAYMOND ST
 JONESBORO G.A. 30236

Attachment: Design Drawings (1943 : 108 Raymond Street)

CONSTRUCTION DETAILS

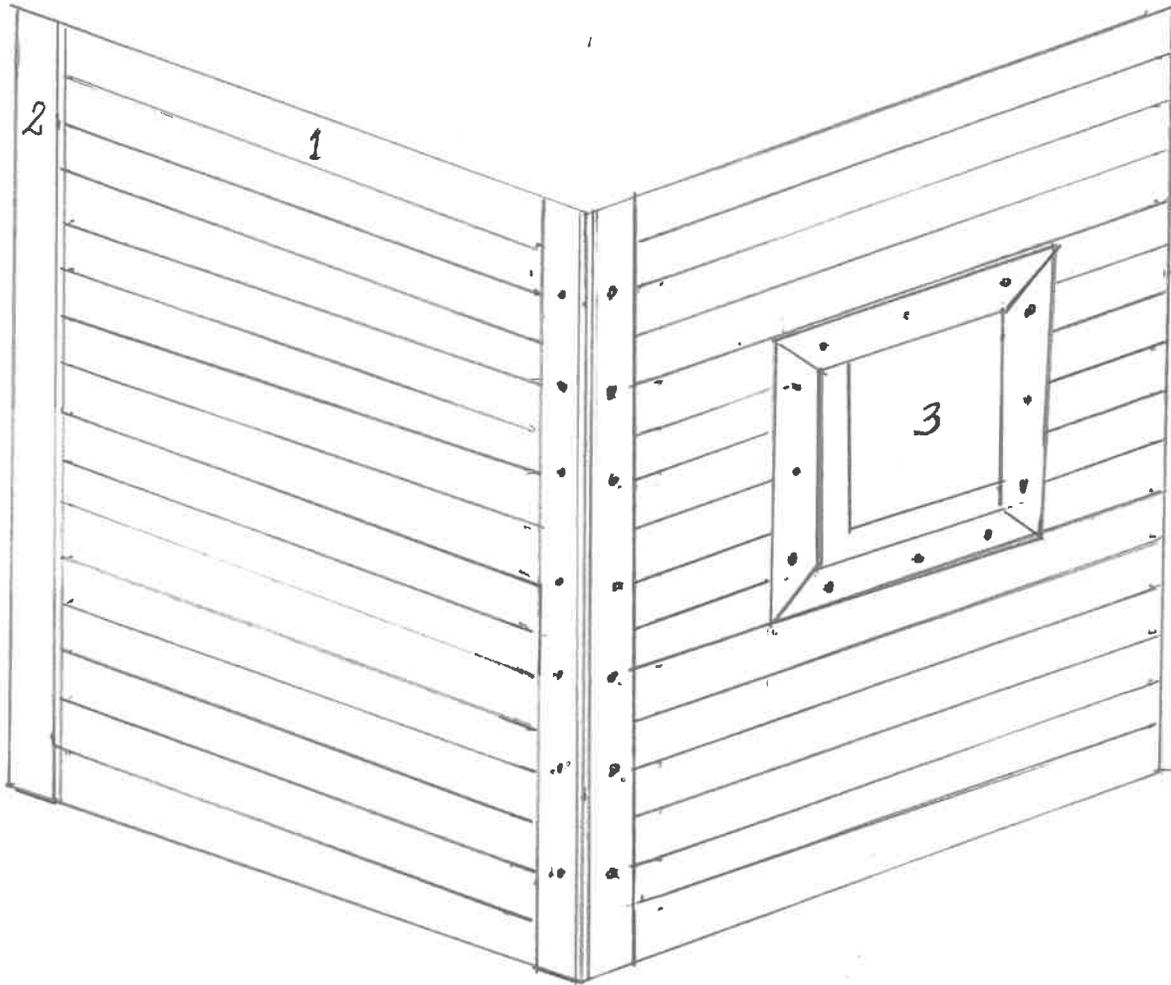
108 RAYMOND ST. TOWNESBORO.



Attachment: Design Drawings (1943 : 108 Raymond Street)

108 RAYMOND ST. JONESBORO GA 30236

THE OUTSIDE VIEW



1. cement siding
2. Siding hearth.
3. window



MEMORANDUM

To: Oscar Castellanos
108 Raymond Street
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: July 27, 2021

Re: Notification of Request for Design Review Commission – Carport Enclosure for Residence; 108 Raymond Street; Parcel No. 12048B B006

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a carport enclosure for the property located at 108 Raymond Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, August 4, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to be "D. Allen", written over a horizontal line.

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.c

- c

COUNCIL MEETING DATE

August 4, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make a recommendation for Kroger Shopping Center – 8059 Tara Boulevard; Parcel Nos. 13210D A005, 13210D A006, and 13210D A002; New signage for existing shopping center and signage and exterior for proposed fuel center.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-107 C-2 District Standards; Article XVI Signs

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes Economic Development, Beautification, Community Planning, Neighborhood and Business Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of fuel center design and new signage, with necessary variances; The longtime Kroger shopping center has recently undergone minor renovations – resurfacing of asphalt parking lot, painting of exterior of store, and landscaping maintenance. Now, developers are proposing to upgrade existing shopping center signs along North Avenue and Tara Blvd. and installing a new monument sign along Highway 138. In addition, a new fuel center is proposed at 795 North Avenue, the former Buffalo’s Restaurant site, pending approval of the property being annexed into the City in a few months.

In summary, the proposed changes are:

1. Demolition of the former Buffalo’s Restaurant building at 795 North Avenue, and construction of a new fuel center with overhead canopy, small office, 7 fuel dispensers, and associated parking and signage.
2. Modification and enhancement of the monument shopping center sign along North Avenue.
3. Modification and enhancement of the pylon, “cube” shopping center sign along Tara Boulevard. (Note: the shopping center sign near Pep Boys is not part of this review.
4. Construction of a new monument shopping center sign along Highway 138.

Through lengthy analysis with the applicant, several variances are needed to make the development possible. The approval recommendation for these designs is contingent upon the variances being approved by the City.

1. Parking: per section 86-410, convenience Stores require 1 space for each fuel dispenser and one space for every 200sf of retail space. *There are 7 dispensers with pumps on each side for a total of 14 fueling positions. The kiosk (which customers cannot enter) is 233sf. Thus, we’ve estimated the required parking at 16 spaces. The site plan attached only shows 5 parking spaces (one ADA space, one for the air station and 3 for vendors and/or customers that want to walk up to the kiosk to purchase cigarettes, sodas or other items at the kiosk window).* **Yes. Variance is required, unless you could put more parking on eastern portion of site.**
2. Perimeter Building Landscaping: per section 86-456 & 86-109(f)(4), One nonresidential planting area having a minimum of six feet around the perimeter of each structure; landscaping of the rear face of nonresidential structures shall be at the owner’s option. *The kiosk is partially under the canopy and located in between fuel pumps. Due to the vehicular movement around it for circulation to/from the dispensers, it is not feasible to add landscaping around it.* **Yes. Variance is required. Are you confident there will be no more landscaping variances needed?**
3. Additional Pylon Sign: per section 489(d)(8), shopping centers are allowed 1 freestanding ground sign. *The shopping center already has two existing freestanding ground signs. A pylon sign at the North Avenue entrance and a Kroger “cube” sign at the Tara Blvd. entrance. The shopping center owner would also like to add a new*

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

August, 4, 2021

Signature

City Clerk’s Office

pylon sign at the entrance off of Hwy. 138. Please see the attached renderings of the existing and new sign elevations. Technically, the new pylon sign would be on a different tax parcel than the other two. And that parcel has multiple frontage on Hwy. 138 and Tara Blvd. However, there is a large Dollar General sign already in this area, and per section 86-489 (c)(1)(2) planned centers along Tara Blvd. can't technically have these additional signs. So, a variance is probably best.

4. Electronic Message Signs on Freestanding/Ground Signs: per section 489(c)(1) a maximum of one electronic message sign is allowed per lot. *Since we are planning on adding fuel pricing to both the existing Kroger cube sign off of Tara Blvd. and pylon sign off of North Ave., as well as a new sign at the Hwy. 138 entrance, we will need variance to exceed more than one electronic message sign per lot. Please see the attached renderings of the existing and new sign elevations. Yes. Variance is required.*
5. Electronic Message signs on fuel canopy: per section 489(d)(1), electronic message signs are limited to ground signs. *In addition to fuel pricing on the ground signs, Kroger usually installs a fuel price sign on the canopy elevation that faces the entrance of the Kroger grocery store so that customers coming in/out of the store can see it. The way I read this section leads me to believe that we may need a variance to have fuel pricing on the canopy. Yes. Variance is required.*
6. Kiosk Height: per section 86-109(k), minimum façade height of 18 feet shall be maintained on arterial and collector roadways. *The kiosk's total height is 11 feet, thus it may require a variance since it doesn't meet this height requirement. I've attached an elevation of a fuel center that we just finished up in Lake City that will be very similar in size and architecture to the one proposed here. It shows the height dimensions for the canopy and kiosk. Yes. Variance is required.*
7. Principal Building Entrance Location: also, per section 86-109(k), Principal building entrances shall be oriented to public streets wherever possible. *The attendant kiosk, which is not accessible to the public, will have an entrance for the fuel attendant that will be on the side of the building. It is unclear as to whether we'll need a variance to address this requirement. Not applicable.*
8. Massing, Modulation, Fenestration, Roof Features, etc.: per sections 86-109(k)(10, 11 & 12), massing and modulation, fenestration and roof features are required. *It is unclear whether these sections would apply to a gas station canopy or kiosk. Please review the attached elevation and let me know if they apply and if so, which ones we'll need variances for. Not applicable.*

Fuel Center

1. **Color scheme and logo for canopy are typical for Kroger, a regional chain. Most of office (cashier) and canopy posts will be brick. (The fuel center is not currently subject to Tara Blvd. Overlay requirements. The canopy will be setback over 100 feet from North Avenue.**
2. **The electronic message signs on the canopy (and the Kroger logo) will require a variance, per Sec. 86-489(d)(1), since the canopy is not a ground sign.**
3. **The small pump number signs and logos on the pumps are not being reviewed.**

Sign on North Avenue

1. **Location and bottom portion (multiple business panels) of sign are not changing.**
2. **Sign height is not changing.**
3. **The "Kroger" and "Crossroads South" panels on the upper portion of the sign are being upgraded per the enclosed drawing. There will also be added electronic message signs (gas prices) on this portion of the sign, but since the new "Kroger" panel is smaller than the original, the overall panel area (above the multiple business panels) should remain about the same. The new "Crossroads South" panel will be wider but flatter than the original, resulting in no appreciable change in size from the original.**
4. **The total of the new panels is 180 square feet, which does not exceed the 250 square-foot maximum allowed for planned centers in Sec. 86-489 (d)(8)(b). The percentage of electronic message signage compared to the new, non-electronic panels is approximately 14%. This sign is considered as part of the Tara Blvd. Overlay District.**
5. **All panels will remain internally illuminated.**

“Cube” Sign on Tara Blvd.

1. Location is not changing.
2. Sign height is not changing.
3. The “Kroger” panels are being upgraded, with no change in size.
4. There will be added electronic message signs (gas prices) on the previously unused bottom portion of the sign, but the overall size of the “cube” will not change.
5. The percentage of electronic message signage compared to the new, non-electronic panels is approximately 25%.
6. All panels will remain internally illuminated.

New Monument Sign on Highway 138

1. A completely new sign will have to conform to all sign standards.
2. Per Sec. 86-489 (c)(1), a maximum 6-foot-tall monument sign is allowed for planned centers not located along Tara Boulevard. However, the Kroger planned center has frontage along Tara Boulevard. Per Sec. 86-489 (c)(2), a ground sign with multiple face panels is allowed for planned centers not located along Tara Boulevard. However, the Kroger planned center has frontage along Tara Boulevard. Based on this, and the fact that the sign, though located on Highway 138, is still on a property within the Tara Blvd. Overlay District.

(8) In non-residential zoning districts within the Tara Boulevard overlay district, as defined in section 86-109 of the 2005 zoning ordinance, the following shall apply:

b. A planned center, facing a primary arterial, which building is currently occupied pursuant to a current and valid certificate of occupancy issued by the city, shall be permitted one double-sided ground sign to be located within a minimum of ten feet from but a maximum of 100 feet of the right-of-way of the primary arterial, each side of which shall not exceed 250 square feet signage area. The height of the sign shall not exceed 20 feet.

The proposed monument sign is 15 feet tall, and the total sign face area for each side (including gas prices and smaller store panels is approximately 101 square feet. It will need to be at least 10 feet off of the right-of-way line.

3. All panels will remain internally illuminated.
4. The sign does not conflict with the maximum two ground sign per multiple frontage parcel rule in Sec. 86-489 (1)(b), because it will be located on a separate tax parcel than the other signs.

Overall, the signage upgrades and the other improvements to the shopping center will have a positive impact on the City.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private developer

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

5.c

- Property Pictures
- Fuel Center Site Plan
- Fuel Center Elevation
- Fuel Center Signage
- Kroger #373 - ROAD PYLON - North Avenue
- Tara Blvd Cube Sign Revised Front
- Tara Blvd Cube Sign Revised Back
- Kroger #373 Small Pylon Revision Hwy. 138
- Acceptance Letter
- Kroger Wall Sign

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval



Image capture: Sep 2018 © 2021 Google

Google Street View

Google

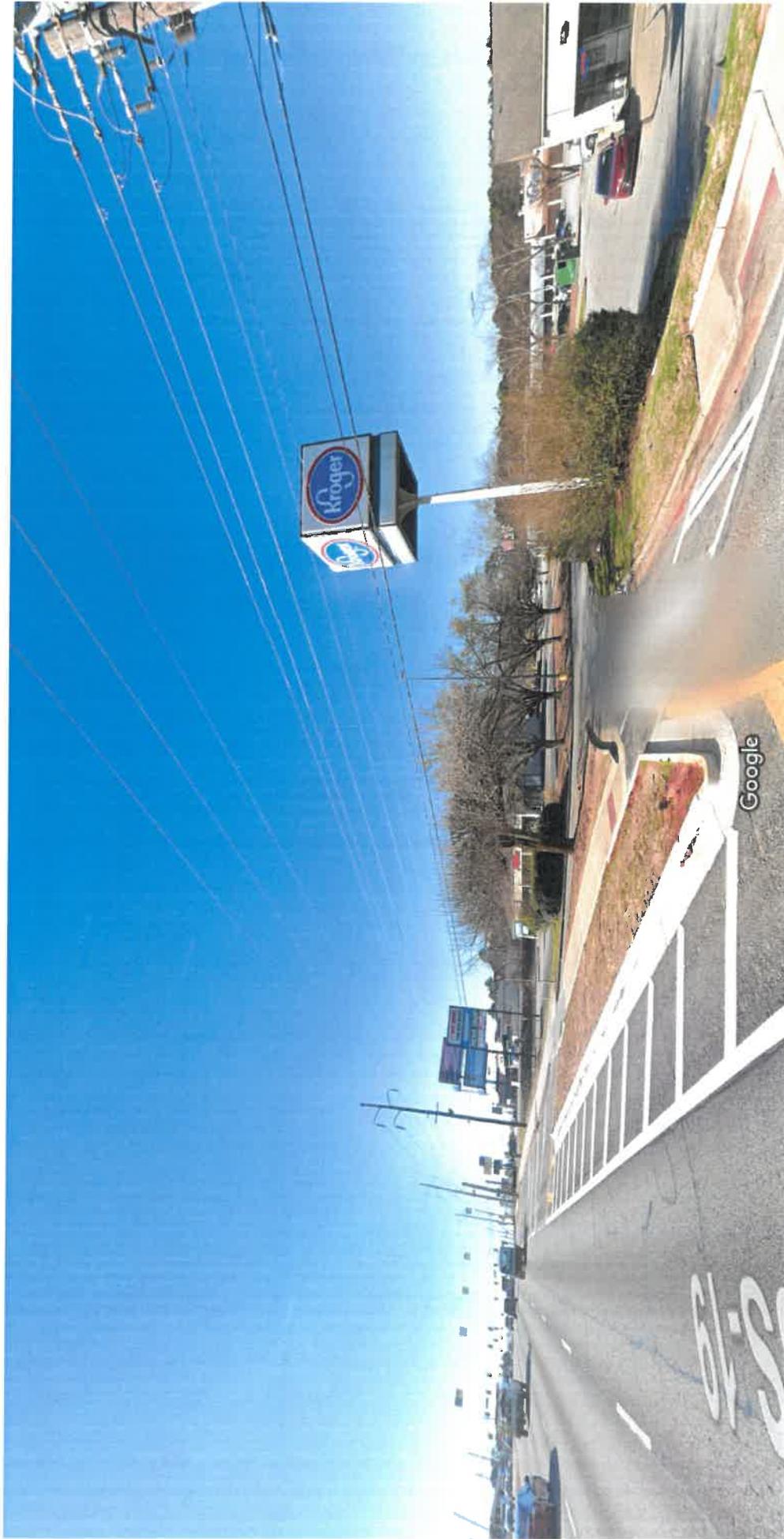


Image capture: Feb 2021 © 2021 Google

Jonesboro, Georgia



Street View

Google Maps GA-138

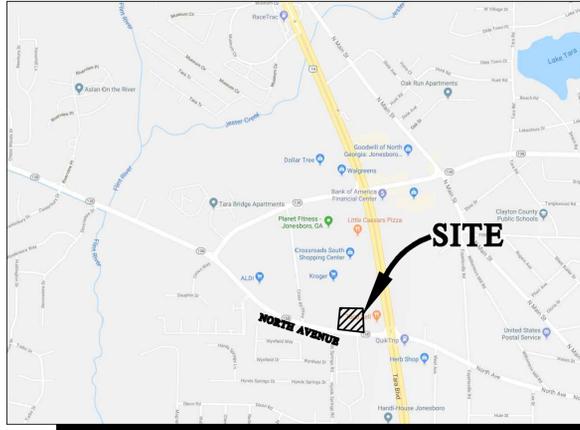
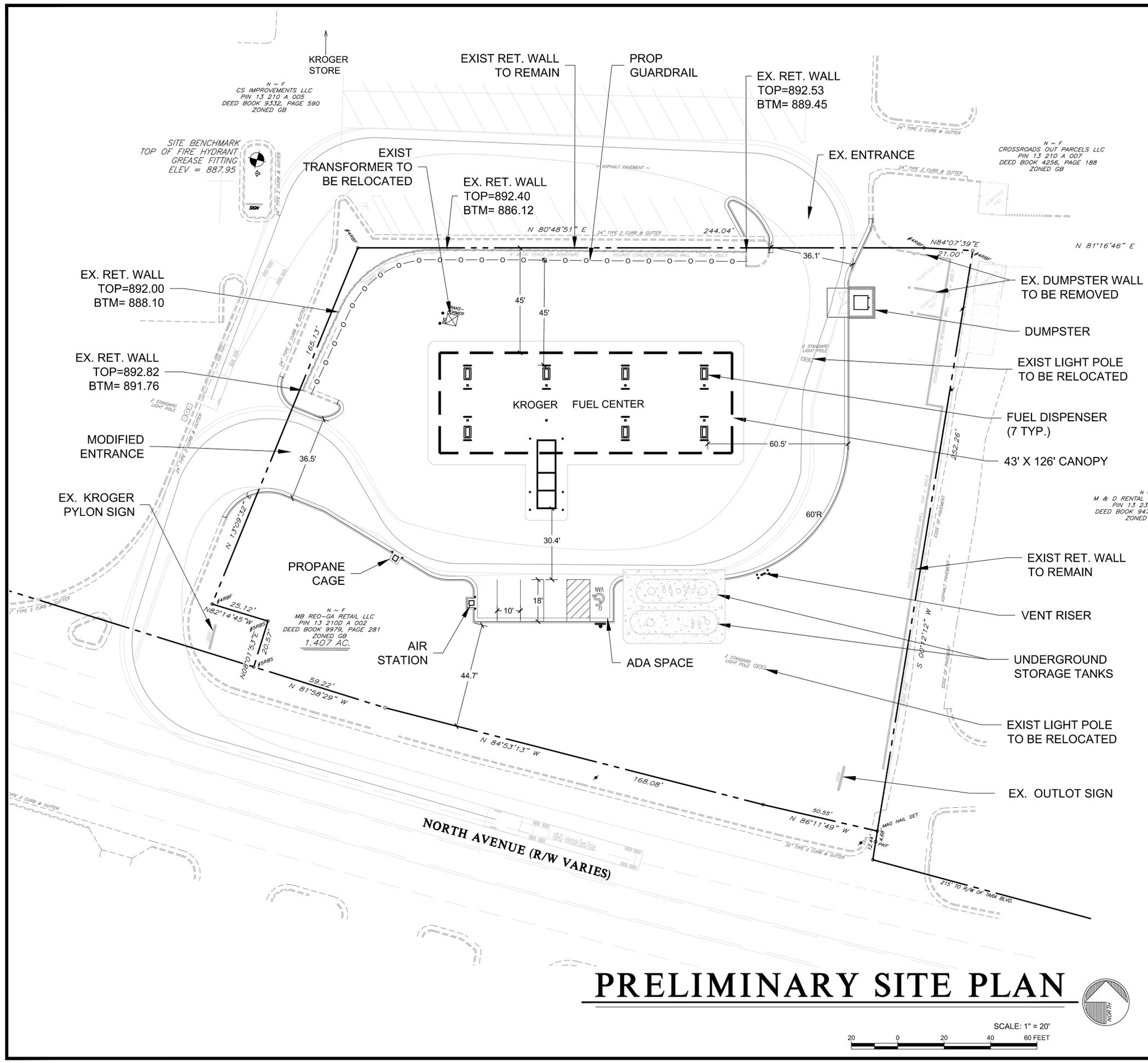


Image capture: Jul 2019 © 2021 Google

Jonesboro, Georgia



Street View



VICINITY MAP
SCALE: NONE

ROBERISON LOIA ROOF
ARCHITECTS & ENGINEERS
3460 Preston Ridge Road, Suite 275, Alpharetta, GA. 30005
770.674.2600 / www.rlrc.com

THIS REPRODUCTION IS NOT A CERTIFIED DOCUMENT

FUEL CENTER STORE GA-373
JONESBORO, GA
Kroger
FOR **THE KROGER COMPANY**
2175 PARKLAKE DR N.E. ATLANTA, GA
(770) 496-5386

REVISIONS

SITE NOTES

- EXISTING BUILDINGS, PARKING, & ACCESS ROAD INFORMATION IS TAKEN FROM A SURVEY BY DANIEL BAKER, PC.
- TRUCK PATH SHOWN IS A WB-62.
- THIS PLAN IS BEING PREPARED WITHOUT SPECIFIC KNOWLEDGE OF ZONING, PARKING, STORMWATER, OR LANDSCAPING REQUIREMENTS.

SITE ANALYSIS

KIOSK AREA	180 S.F.
NUMBER OF DISPENSERS	7
PARKING PROVIDED	5 SPACES
SITE AREA	1.41 ACRES

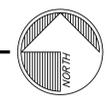
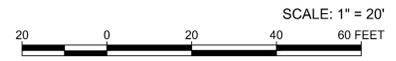
SHEET TITLE
PRELIMINARY SITE PLAN

DATE
10-12-20

PROJECT NUMBER
17-282

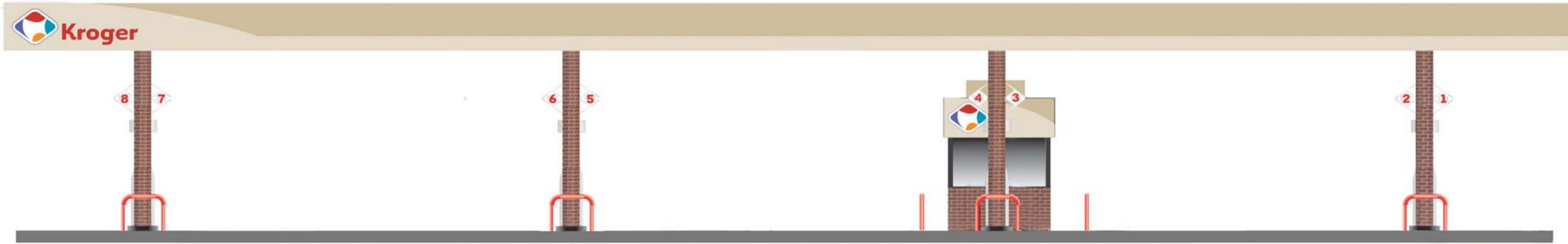
SHEET NUMBER
CPs - 4

PRELIMINARY SITE PLAN



Monday, October 12, 2020 11:56:03am (8/8/2020)
 Image: N:\Projects\17-282\CPs\Drawings\SitePlan.dwg [CPs - 4]

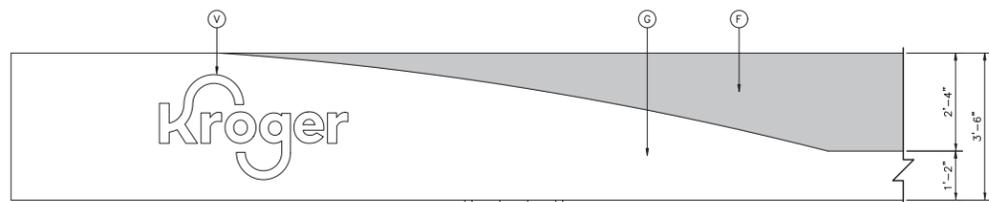
Attachment: Fuel Center Site Plan (1944) : 795 North Avenue Renovations



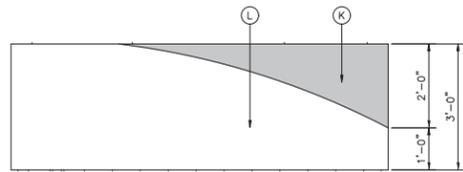
Scale 1/8" = 1'

This is a three inch scale to confirm size of document.

Attachment: Fuel Center Elevation (1944 : 795 North Avenue Renovations)

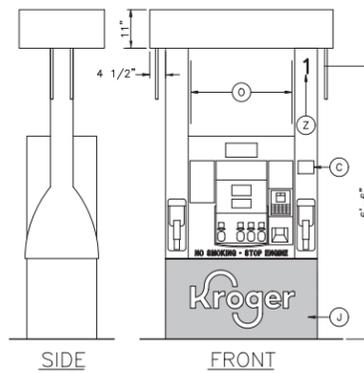


1 CANOPY GRAPHICS
SCALE: 1/2"=1'-0"

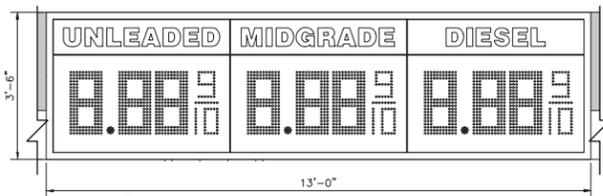


2 KIOSK GRAPHICS
SCALE: 1/2"=1'-0"

CONTRACTOR SHALL SUBMIT: MASONRY, MORTAR, MASONRY VENEER TIES, HORIZONTAL MASONRY VENEER REINFORCING AND PAINT SAMPLES TO OWNER'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.

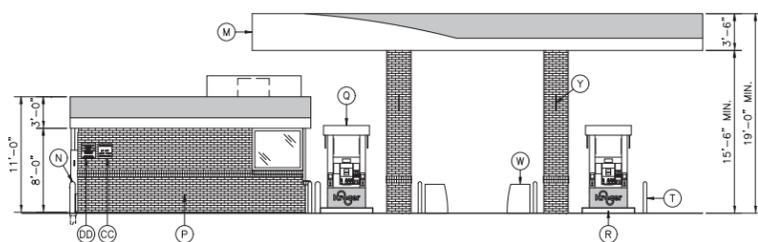


7 DISPENSER ELEVATION
SCALE: 1/2"=1'-0"

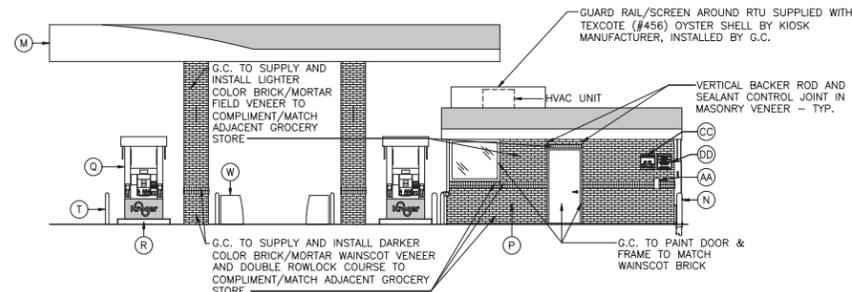


8 CANOPY PRICE SIGN GRAPHICS
SCALE: 1/2"=1'-0"

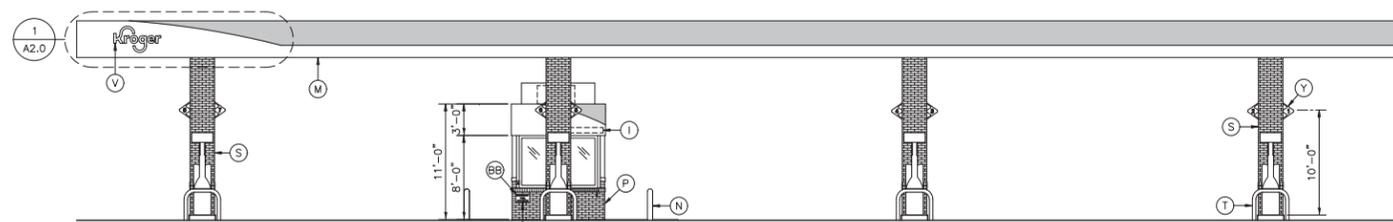
ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	NOT USED					
B	NOT USED					
C	STATIC WARNING DECAL		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
D	NOT USED					
E	NOT USED					
F	CANOPY FASCIA - TEXTCOTE FINISH BY FABRICATOR	DRYVIT #381	TEXTCOTE		CANOPY FABRICATOR	CANOPY FABRICATOR
G	CANOPY FASCIA - TEXTCOTE FINISH BY FABRICATOR	MONASTERY BROWN DRYVIT #456 OYSTER SHELL	TEXTCOTE		CANOPY FABRICATOR	CANOPY FABRICATOR
H	NOT USED					
I	PRE-CUT BLACK VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
J	DISPENSER DOOR GRAPHICS	RED WITH WHITE LETTERS	WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
K	KIOSK FASCIA - TEXTCOTE FINISH BY FABRICATOR	DRYVIT #381	TEXTCOTE		KIOSK FABRICATOR	KIOSK FABRICATOR
L	KIOSK FASCIA - TEXTCOTE FINISH BY FABRICATOR	MONASTERY BROWN DRYVIT #456 OYSTER SHELL	TEXTCOTE		KIOSK FABRICATOR	KIOSK FABRICATOR
M	CANOPY				CANOPY FABRICATOR	CANOPY FABRICATOR
N	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
O	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
P	KIOSK - PREFABRICATED				KIOSK FABRICATOR	GENERAL CONTRACTOR
Q	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
R	ISLAND FORMS		RIVERSIDE		OWNER	GENERAL CONTRACTOR
S	CANOPY COLUMNS				CANOPY FABRICATOR	CANOPY FABRICATOR
T	U-SHAPED BOLLARD - G.C. TO PAINT, 3'-0" IN HEIGHT	SAFETY RED	OPW		OWNER	GENERAL CONTRACTOR
U	LED PRICE SIGN AND CONTROL ANTENNA, SEE DETAIL 8, THIS SHEET		LANDMARK SIGN ALLIANCE		OWNER	SIGN INSTALLER
V	ILLUMINATED CHANNEL LETTERS		CUMMINGS SIGNS		OWNER	SIGN INSTALLER
W	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
X	NOT USED					
Y	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR
Z	4" BLACK VINYL DECAL (DISPENSER NUMBER)				OWNER	GENERAL CONTRACTOR
AA	CALL BOX				OWNER	GENERAL CONTRACTOR
BB	EMERGENCY FUEL SHUTDOWN SIGN		REFER TO A3.1: DETAIL 1		GENERAL CONTRACTOR	GENERAL CONTRACTOR
CC	UNATTENDED WARNING SIGN		REFER TO A3.1: DETAIL 2		GENERAL CONTRACTOR	GENERAL CONTRACTOR
DD	EMERGENCY INSTRUCTION SIGN		REFER TO A3.1: DETAIL 3		GENERAL CONTRACTOR	GENERAL CONTRACTOR



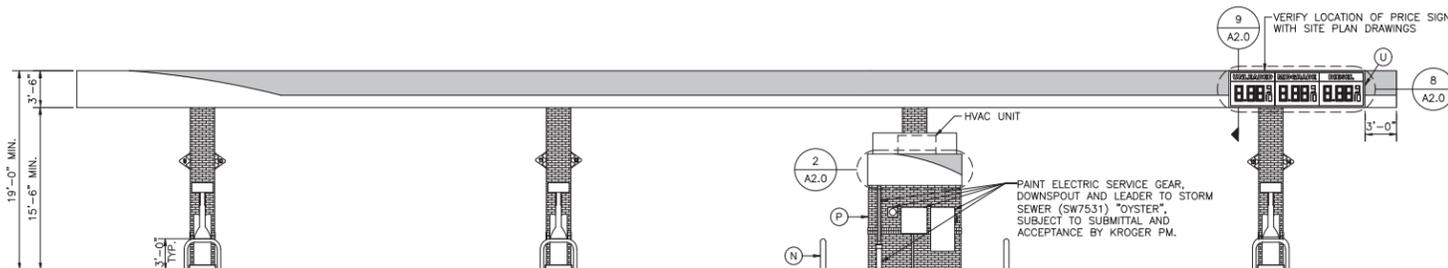
3 LEFT ELEVATION
SCALE: 1/8"=1'-0"



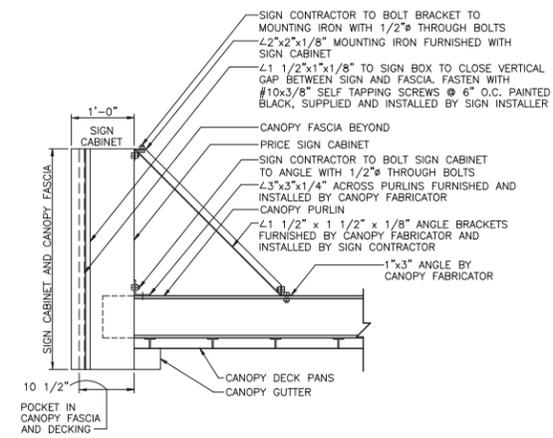
4 RIGHT ELEVATION
SCALE: 1/8"=1'-0"



5 FRONT ELEVATION
SCALE: 1/8"=1'-0"



6 REAR ELEVATION
SCALE: 1/8"=1'-0"



9 SECTION AT CANOPY SIGN
NOT TO SCALE

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The Kroger Co.
Supermarket Petroleum Group
Denver, CO 80229
Phone: (303) 714-5605
Fax: (303) 714-5605

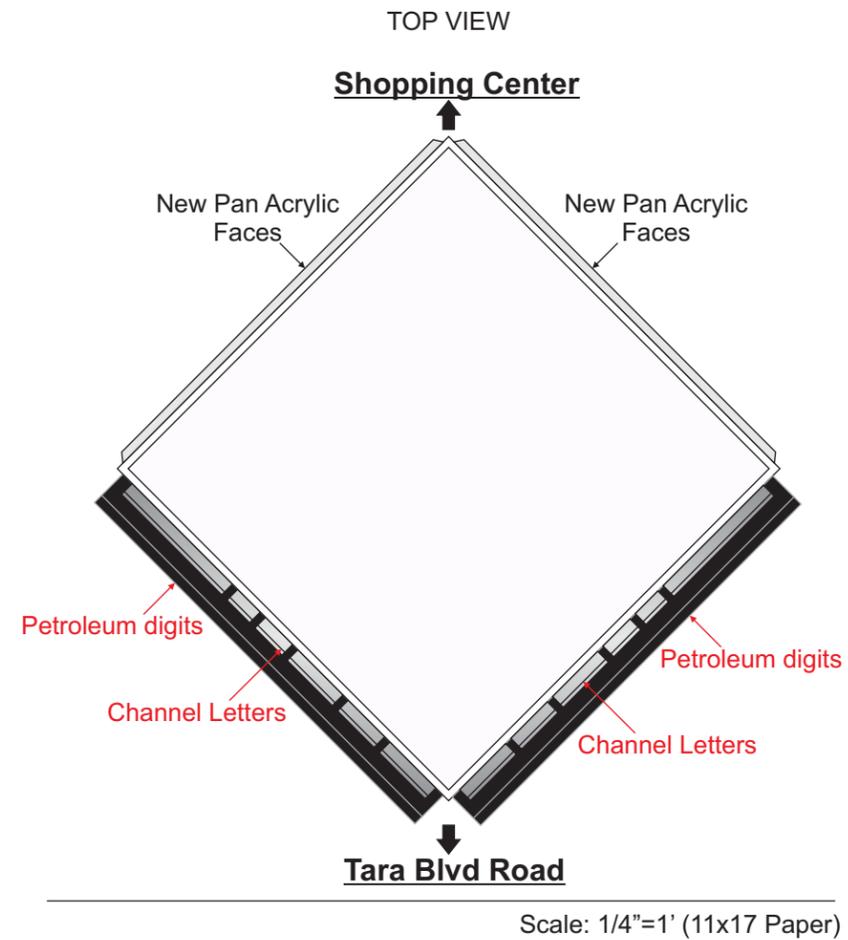
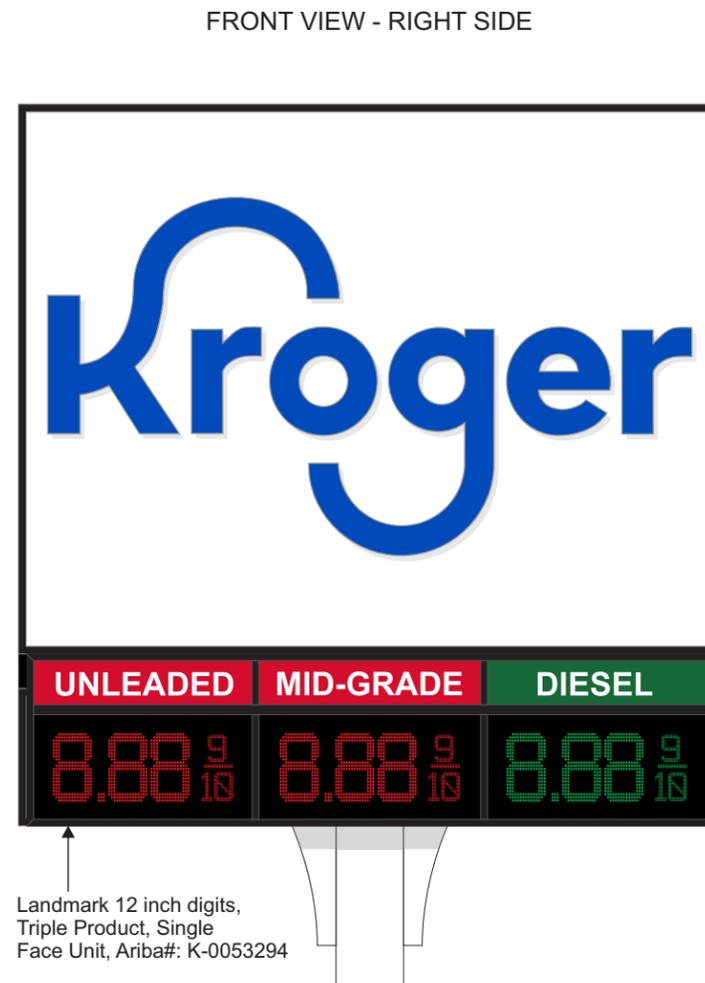
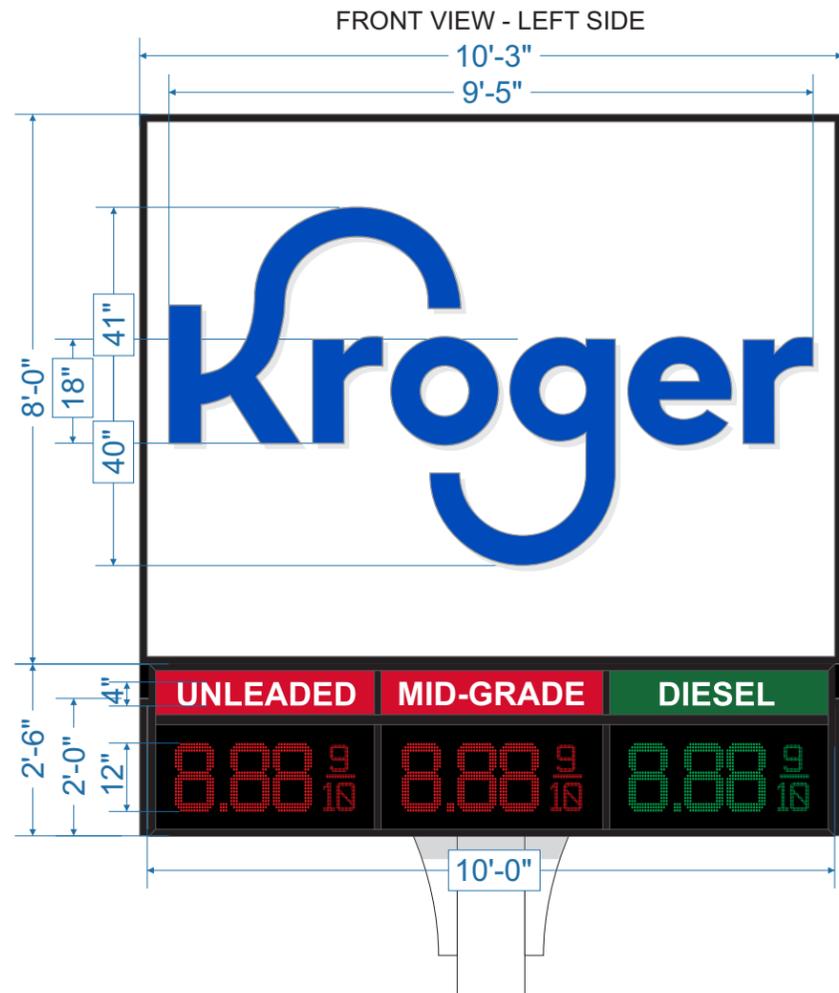


REVISIONS	DATE	DESCRIPTION
No.		

Project #: GA-492
Date: JUNE, 2020
Scale: FULL
Disk File: KroG4492_A2.0-ELEV
Model: 7(GD) 1RR Brick
Address: 564 Jonesboro Road, Lake City, GA 30260

EXTERIOR ELEVATIONS & SIGNAGE
Sheet: A2.0

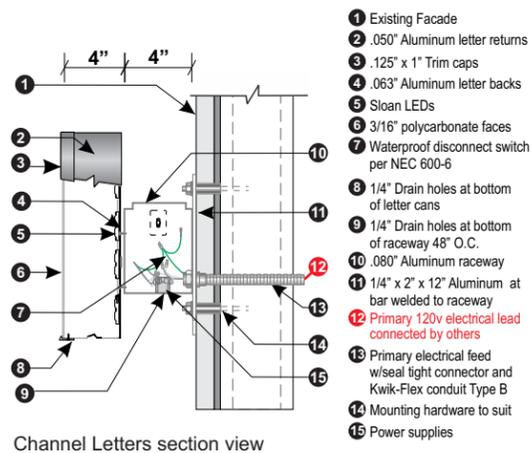
SIGN: Face Replacement FRONT SIDES



Landmark 12 inch digits, Triple Product, Single Face Unit, Ariba#: K-0053294

Scale: 3/8"=1' (11x17 Paper)

Scale: 1/4"=1' (11x17 Paper)



Channel Letters section view
Scale: NTS (11x17 Paper)

SPECIFICATIONS

Face Replacement for Cube Pylon

Replace existing Kroger acrylic faces, sides facing Tara Blvd road with new .080 flat aluminum face painted white; reuse the existing frame.

Install flush to aluminum face Kroger channel letters (1 set on each side) and install to bottom cabinet Petroleum digits cabinet (1 on each side)

QTY 2 Channel Letters: Blue Front-lit LEDs internally illuminated, 3/16" white flat polycarbonate faces with 1st surface vinyl graphics, Silver jewelite trim-cap and aluminum returns painted to match MP Sparkle Silver Metallic. Mounted flush to aluminum face replacement

QTY 2 Petroleum digits: Fabricate a tripe product S/F LED price sign; using 12" LED units. Mounted to bottom of Face with double clip system and 1" support tubing structure.

-Illumination: 12VDC LED backlighting
-Cabinet: Aluminum housing painting black
-Commodity Panels: .177" white acrylic decorated with 3M 3630 vinyl, applied 1st surface

- Green, 3630-26
- Red, 3630-33

COLOR LEGEND	
PMS/PAINT	VINYL
PMS 293C	3M 3730-8537 Kroger Blue
PMS White C/ MP White	N/A
MP Sparkle Silver	N/A
ILLUMINATION	
POWER	LED COLOR
120V	Blue LEDs

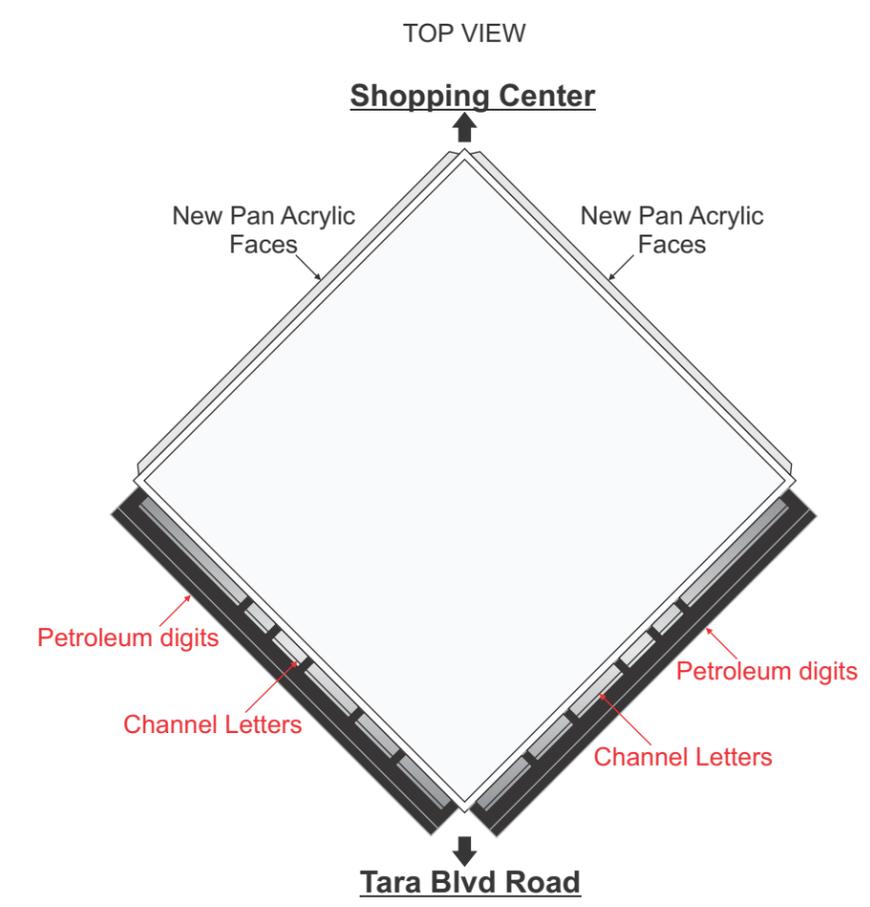


Job Number: 210068
Client: Kroger #373
Address: 8059 Tara Blvd
Jonesboro, GA 30236
Salesperson: Craig Inabnett
Designer: Christina Pineda
Date Originated: 01-21-21
Manufacture By:
Install By:
Conceptual:
Finalized:
Drawing Scale: As Noted
Vector Artwork:
Revision 1:
Revision 2:
Revision 3:
Revision 4:
Revision 5:
Revision 6:
Revision 7:
Customer Approved: _____

Date: _____
Landlord Approved: _____
Date: _____



SIGN: Face Replacement BACK SIDES



Scale: 3/8"=1' (11x17 Paper)

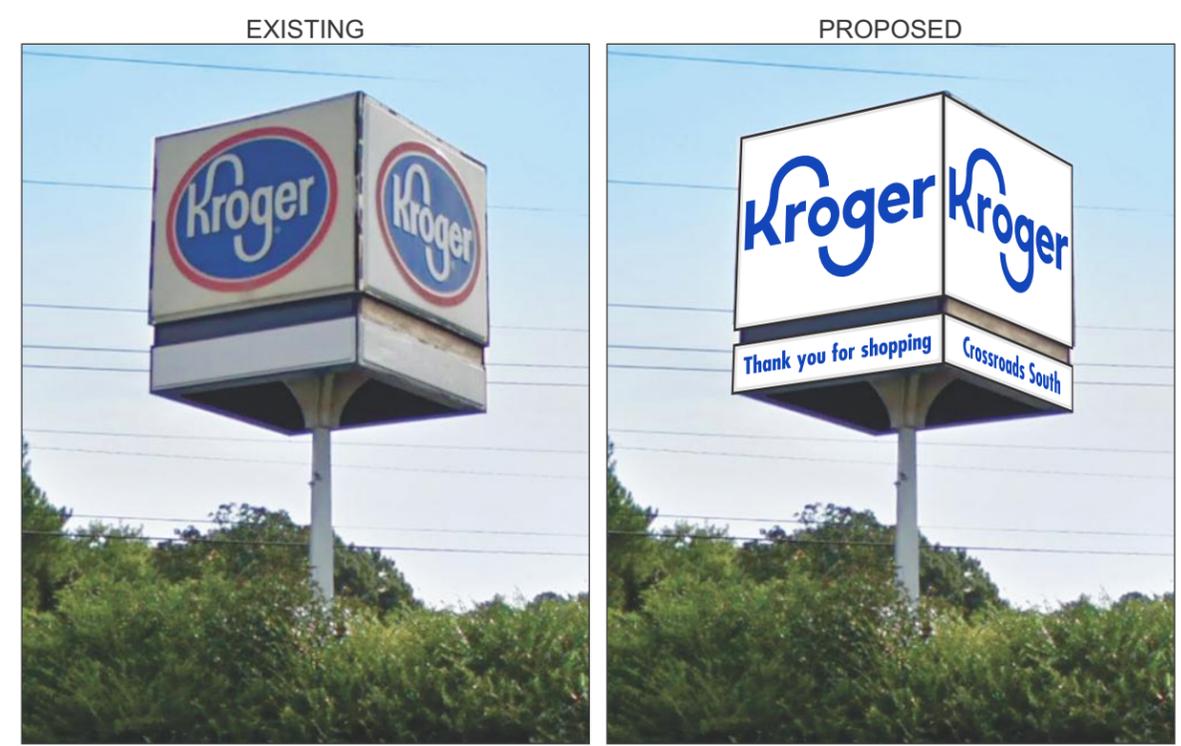
Scale: 1/4"=1' (11x17 Paper)

SPECIFICATIONS

Face Replacement for Cube Pylon

Replace existing Kroger acrylic faces, side facing Shopping center with new 3/16" white pan faces with 1st surface vinyl graphics; reuse the existing frame and the existing bottom cabinet faces clean and applied 1st surface vinyl graphics

COLOR LEGEND	
PMS/PAINT	VINYL
PMS 293C	3M 3730-8537 Kroger Blue
PMS White C/ MP White	N/A



Job Number: 210068
 Client: Kroger #373
 Address: 8059 Tara Blvd
Jonesboro, GA 30236
 Salesperson: Craig Inabinett
 Designer: Christina Pineda
 Date Originated: 01-21-21
 Manufacture By: _____
 Install By: _____
 Conceptual:
 Finalized:
 Drawing Scale: As Noted
 Vector Artwork: _____
 Revision 1: _____
 Revision 2: _____
 Revision 3: _____
 Revision 4: _____
 Revision 5: _____
 Revision 6: _____
 Revision 7: _____
 Customer Approved: _____
 Date: _____
 Landlord Approved: _____
 Date: _____



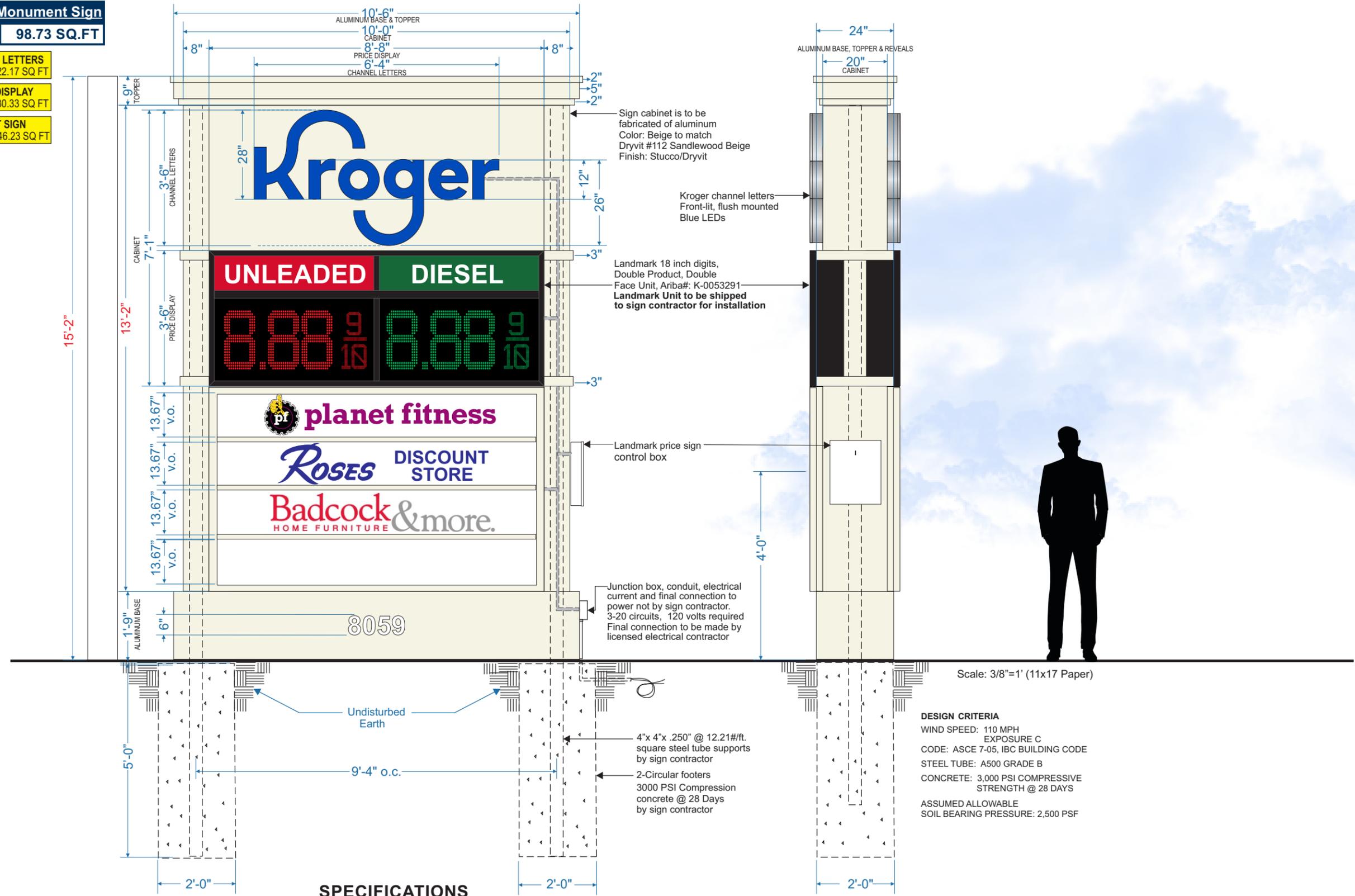
Attachment: Tara Blvd Cube Sign Revised Back (1944 : 795 North Avenue Renovations)



11801 Anderson Road, Greenville, SC 2961
 Phone: (864)295-2287
 Fax: (864)269 7711
 www.masstarsigns.com

SIGN: Monument Sign
SQ.FT: 98.73 SQ.FT

- CHANNEL LETTERS**
3'6"X6'4" = 22.17 SQ FT
- PRICE DISPLAY**
3'6"X8'8" = 30.33 SQ FT
- TENANT SIGN**
5'4"X 8'-8"=46.23 SQ FT



SPECIFICATIONS

COLOR LEGEND	
PMS/PAINT	VINYL
PMS 293C	3M 3730-8537 Kroger Blue
PMS White C/ MP White	N/A
MP Sparkle Silver	N/A
Dryvit #112 Sandlewood	N/A
ILLUMINATION	
POWER	LED COLOR
120V	Blue LEDs

Double sided Monument Sign Cabinet - Stacked Topper & Tenant Sign - Side Reveals & Base
 Made of .050 Aluminum painted to match Dryvit #112 Sandlewood Beige with Stucco/Dryvit finish. Base will have 6" address number made of 1/4" white sintra. Tenant faces are White acrylic, illuminated with White LEDs, divided into three equal spaces with 1.50" extruded aluminum divider bars

QTY 2 Channel Letters
 Blue Front-lit LEDs internally illuminated, 3/16" white flat polycarbonate faces with 1st surface vinyl graphics, Silver jewelite trim-cap and aluminum returns painted to match MP Sparkle Silver Metallic. Mounted flush to both sided of cabinet

QTY 2 Petroleum digits: Fabricate a double product D/F LED price sign; using 18" LED units. Mounted to bottom of Face with double clip system and 1" support tubing structure.
 -Illumination: 12VDC LED backlighting
 -Cabinet: Aluminum housing painting black
 -Commodity Panels: .177" white acrylic decorated with 3M 3630 vinyl, applied 1st surface

Color Legend:
■ - Green, 3630-26
■ - Red, 3630-33

Job Number: 210068
 Client: Kroger #373
 Address: 8059 Tara Blvd Jonesboro, GA 30236
 Salesperson: Craig Inabinett
 Designer: Christina Pineda
 Date Originated: 01-21-21
 Manufacture By:
 Install By:
 Conceptual: ●
 Finalized: ○
 Drawing Scale: As Noted
 Vector Artwork:
 Revision 1: 04-14-21
 Revision 2: 06-24-21
 Revision 3:
 Revision 4:
 Revision 5:
 Revision 6:
 Revision 7:
 Customer Approved:
 Date:
 Landlord Approved:
 Date:



Attachment: Kroger #373 Small Pylon Revision Hwy. 138 (1944 : 795 North Avenue Renovations)



MEMORANDUM

To: Ali Daughtry
Robertson Loia Roof, Architects & Engineers
3460 Preston Ridge Road, Suite 275
Alpharetta, GA 30005

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: July 27, 2021

Re: Notification of Request for Design Review Commission – New Fuel Center and Signage Renovations; 795 North Avenue; Parcel Nos. 13210D A005, 13210D A006, and 13210D A002

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a new fuel center and signage renovations located at and near 795 North Avenue, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, August 4, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

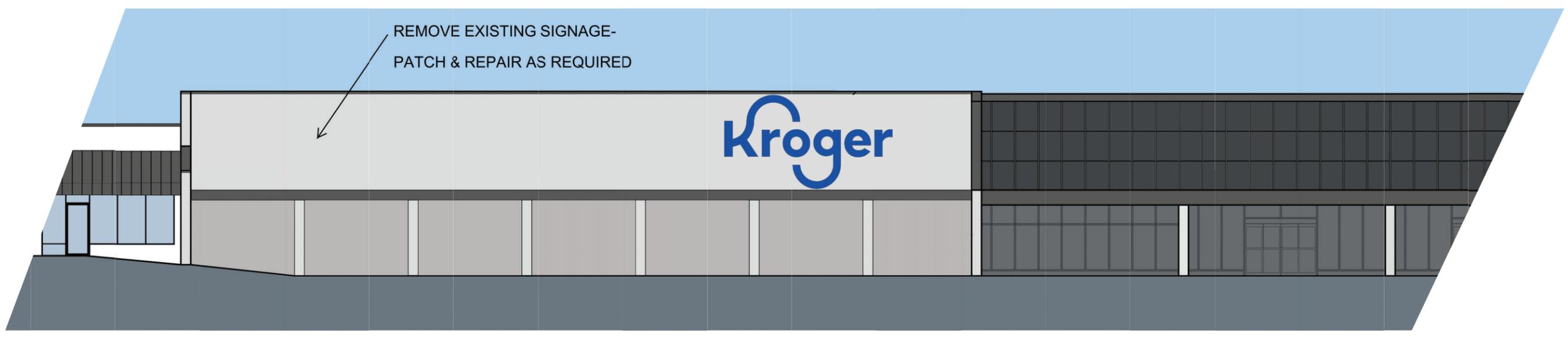
Kroger FRESH FOR EVERYONE™
®

Attachment: Kroger Wall Sign (1944 : 795 North Avenue Renovations)



**KROGER #37:
8059 TARA BLVD
JONESBORO, GA**

QTY.	DESCRIPTION	SQ. FT.
1	96" KROGER LETTER SET - WHITE	265.6



2 KROGER ELEVATION



2 KROGER ELEVATION

VERIFY AVAILABLE FACADE HEIGHT AVAILABLE

KROGER #373
8059 TARA BLVD.
JONESBORO, GA



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CUSTOMER APPROVAL:

DATE: _____

REV. #	DATE	BY	REV. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
674477269.00

DATE: _____
S. Ha _____

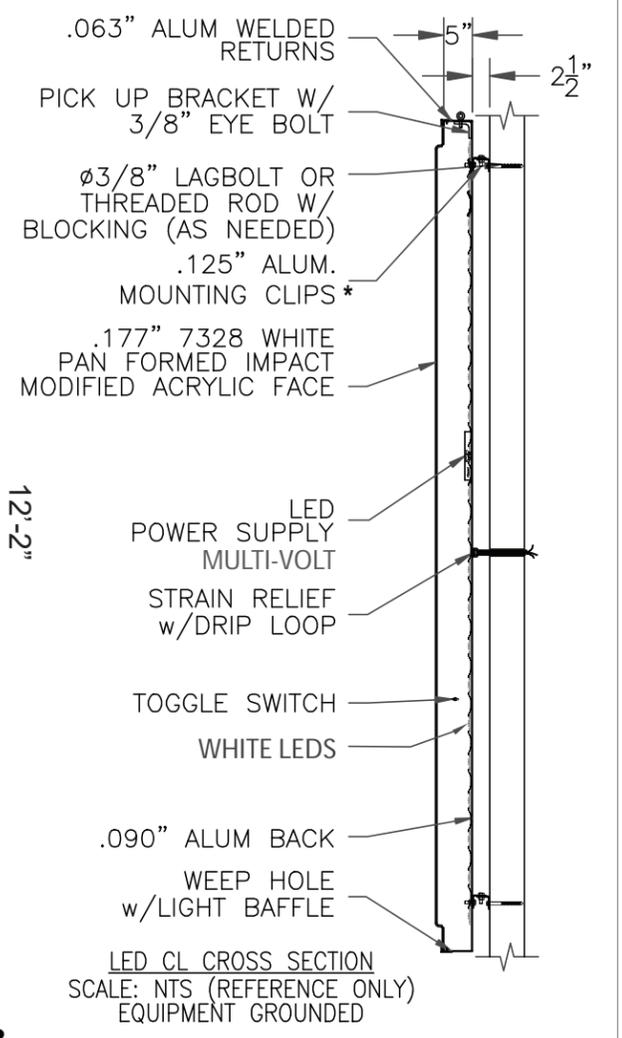
Attachment: Kroger Wall Sign (1944 : 795 North Avenue Renovations)

96" KROGER LETTERS - 2020 IMAGE - PANNED/SELF CONTAINED - STANDARD FOR MTCE, LIGHT ELEVATIONS (BLUE SET)



SCALE: 1/2" = 1'-0"

- 3730-8537 KROGER BLUE
- RETURNS:
AKZO TO MATCH
MATTHEWS P&L 2530
CATTAIL GRAY
(Gloss Level T.B.D.)
- TRIMCAP:
AKZO TO MATCH
MATTHEWS P&L 2530
CATTAIL GRAY
(Gloss Level T.B.D.)



LED CL CROSS SECTION
SCALE: NTS (REFERENCE ONLY)
EQUIPMENT GROUNDED

***MOUNTING CLIPS AS NEEDED
BY SEPARATE ORDER
BASED ON SURVEY OR
BUILDING SPECS**

**265.6 BOXED SQ. FT.
70.1 ACTUAL SQ. FT.**

PART # 403-20-CL96KRG-BLCAT



THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT PLANNED FOR YOU BY CUMMINGS. IT IS NOT TO BE SHOWN OUTSIDE YOUR ORGANIZATION NOR USED, REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION UNLESS AUTHORIZED IN WRITING BY AN OFFICER OF CUMMINGS SIGNS.

CUSTOMER APPROVAL:

DATE: _____

Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	5.27.2021	S.H.	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
100271.06E
DATE: 1-22-2022

Attachment: Kroger Wall Sign (1944 : 795 North Avenue Renovations)



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.d

- d

COUNCIL MEETING DATE

August 4, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action *(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)*

Commission to make a recommendation for Hot Crab – 8071 Tara Boulevard; Parcel No. 13210D A005; New wall signs for new restaurant.

Requirement for Board Action *(Cite specific Council policy, statute or code requirement)*

City Code Section 86-489 and 86-490 – Sign Standards

Is this Item Goal Related? *(If yes, describe how this action meets the specific Board Focus Area or Goal)*

Yes **Economic Development, Beautification, Community Planning, Neighborhood and Business Revitalization**

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of sign design; Recently, the restaurant applied for a building permit and should be finished in several months. The location is the corner suite of the Kroger shopping center, fronting both North Avenue and Tara Boulevard. The applicant plans for two wall signs of equal design, each fronting one side of the building above the entrance. No ground sign is proposed.

The wall sign panels (aluminum with acrylic letters) above the entrances is 35.25 square feet each, the total of which is below the maximum 150 square feet allowed in Code Section 86-490(b). The front sign (nearest Subway and facing Tara Boulevard) will be 9.7% of the east building façade, below the 10% allowed in Code Section 86-489 for properties with two road frontages. The side sign (facing North Avenue) will be 2.5% of the south building façade, below the 10% allowed in Code Section 86-489 for properties with two road frontages. The red, white, and yellow color scheme will be compatible with adjacent businesses. The sign will be internally illuminated.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Application
- Property Pictures
- Sign 1
- Jonesboro Sign Information
- Acceptance Letter

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

August, 4, 2021

Signature

City Clerk's Office

Staff Recommendation *(Type Name, Title, Agency and Phone)*

5.d

Approval



CITY OF JONESBORO
124 North Avenue
Jonesboro, Georgia 30236
City Hall: (770) 478-3800
Fax: (770) 478-3775
www.jonesboroga.com

SIGN PERMIT APPLICATION

ATTACH ADDITIONAL PAGES IF NECESSARY. ALL ATTACHMENTS MUST BE NUMBERED. INDICATE THE PAGE NUMBER OF ATTACHMENT IN THE SPACES PROVIDED FOR EACH RELEVANT ANSWER. USE A SEPARATE PAGE FOR EACH NECESSARY QUESTION/ANSWER ATTACHMENT.

ANY MISSTATEMENT OR CONCEALMENT OF FACT IN THIS APPLICATION SHALL BE GROUNDS FOR REVOCATION OF THE LICENSE ISSUED AND SHALL MAKE THE APPLICANT LIABLE TO PROSECUTION FOR PERJURY. PLEASE DO NOT LEAVE ANY AREAS UNANSWERED.

APPLICATION FEE: \$60.00 (Non-Refundable). The Sign Permit fee is an additional cost. The City of Jonesboro will calculate and advise fees due.

Administrative fee	(flat fee) \$60.00
Area of Sign 1-10ft ²	(flat fee) \$35.00
Area of Sign 11-25ft ²	(flat fee) \$60.00
Area of Sign 26-50ft ²	(flat fee) \$90.00
Area of Sign 51ft ² and greater	(flat fee) \$120.00 ✓
Temporary Signs	(flat fee for second permit) \$30.00

Two permits allowed per property per year.
First is free and a flat fee is required for 2nd permit.

Attachment: Application (1946 : 8107 Tara Blvd Sign)

Date of Application: _____

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ 3980 will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

Description of Permit

Please check:

- New Sign
- Change to Existing Sign
- Ground Sign
- Window Sign
- Subdivision Sign
- Projecting Sign Wall Sign
- Entrance Sign
- Special Event Sign
- Other (describe below)

Property Owner or Applicant Information

Name: Hot Crab Juicy Seafood & Wings

Mailing Address: 986 Ensign Peak Ct

City: Lawrenceville State: GA Zip: 30044

Phone: (Day) 706-495-7338 (Evening) _____

Attachment: Application (1946 : 8107 Tara Blvd Sign)

Jonesboro Property Information

Existing Uses and Structures: METAL STUB,

Surrounding Uses and Structures: (See Official Zoning Map):

Surrounding Zoning:

North: South: [check] East: West:

Property Address of Sign: 8107 Tara Blvd suite 100 Jonesboro GA 30236

Complete dimensions and total area of the sign: 36 SQFT

What is the position of the sign in relation to nearby buildings/structures and other signs?

CORNER OF THE LOCATION LEFT SIDE

What is the position of the sign in relation to nearby buildings/structures and other signs?

NO

What are the setbacks from right-of-ways, property lines and easements?

Name of person, firm, corporation or association erecting the sign is:

HONG HING TONY KONG

Name of business/activity at the address where the sign is to be erected:

HONG HING 986 Ensign Peak Ct Lawrenceville, GA 30044

Is this in a planned development?

NO

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

Attachment: Application (1946 : 8107 Tara Blvd Sign)

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-740

I HEREBY CERTIFY THAT THE ABOVE INFORMATION AND ALL ATTACHED INFORMATION IS TRUE AND CORRECT:

Date: 7/3/21

Signed: _____

Notary: Kathy Le 7/3/21



FOR OFFICE USE ONLY:

Date Received: 7/14/21

Received By: [Signature]

Fee Amount Enclosed: \$ 100.00

Date Approved: ___/___/20___

Date Denied ___/___/20___

Permit Issued ___/___/20___

Comment:

Attachment: Application (1946 : 8107 Tara Blvd Sign)





Attachment: Property Pictures (1946 : 8107 Tara Blvd Sign)



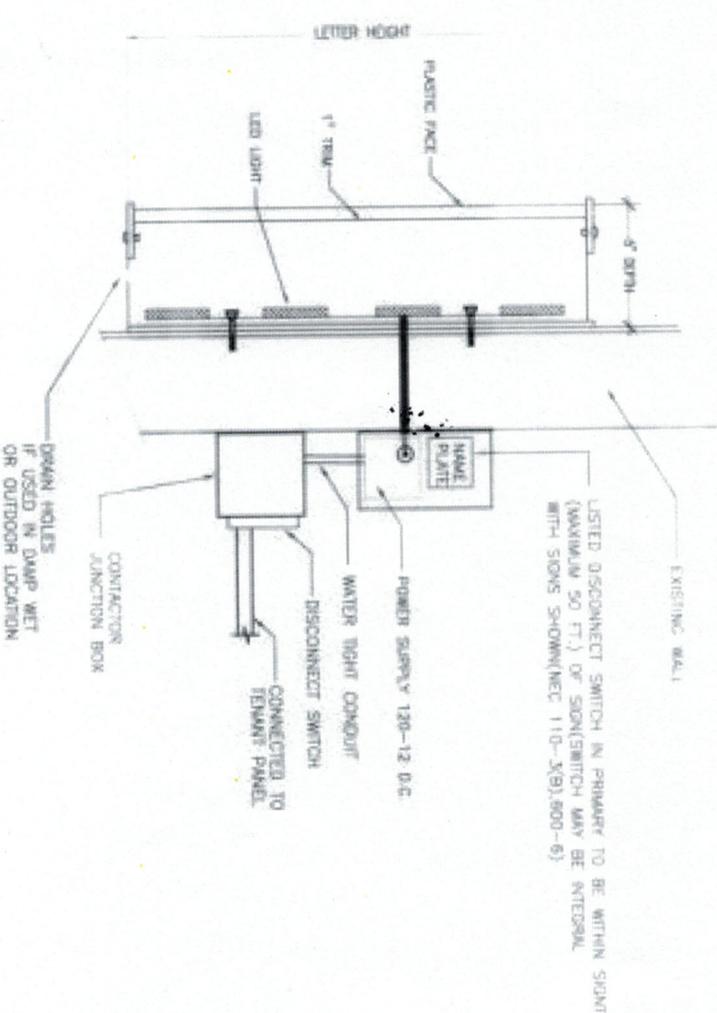
SIGNAGE DETAILS

1. 10', 12', 36" INDIVIDUAL CHANNEL LETTERS
2. 1/8" RED & WHITE ACRYLIC FOR LETTERS COVER
3. 0.125" X 1" WHITE PLASTIC TRIM CAP
4. 0.04 WHITE ALUMINUM RETURN
5. LED LIGHT: WHITE-SAMSUNG MODULES, WHITE 3 LENS COMPONENT.
6. THE SIGN WILL HAVE UL LABEL ATTACHED
7. WATERPROOF DISCONNECT SWITCH PER NEC 600-6
8. PRIMARY ELECTRICAL FEED-120V

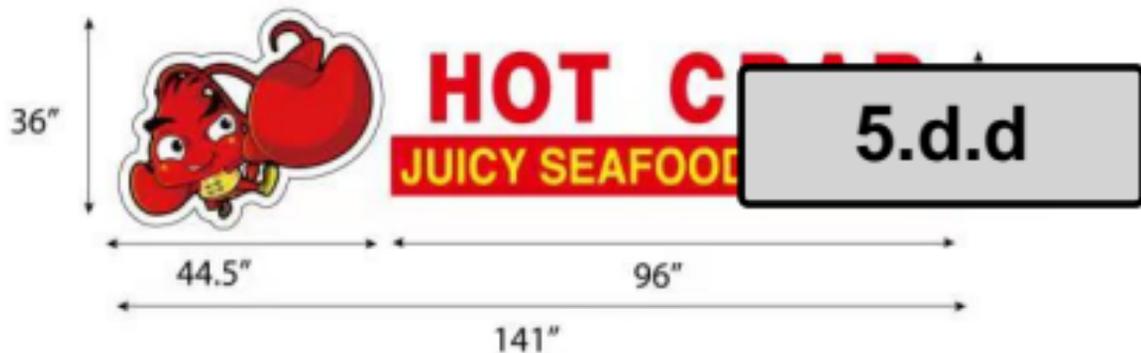
SIGN FACTORY:

DELANCEY BRIGHT SIGN INC
 565 JOHNSON AVE
 BROOKLYN, NY 11237

UL FILE # E 188851
 FACTORY CONTACT PHONE: 212-219-2627



LETTER INSTALLATION DETAIL

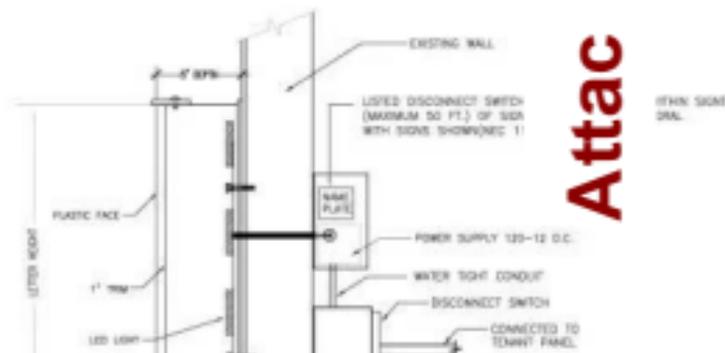


SIGNAGE DETAILS

1. 10", 12", 36" INDIVIDUAL CHANNEL LETTERS
2. 1/8" RED & WHITE ACRYLIC FOR LETTERS COVER
3. 0.125" X 1" WHITE PLASTIC TRIM CAP
4. 0.04 WHITE ALUMINUM RETURN
5. LED LIGHT: WHITE-SAMSUNG MODULES, WHITE 3 LENS COMPONENT, 3WATT, 140 LUMENS PER FOOT, 2 MODULES PER FOOT. DRIVEN BY MEANWELL 60 WATT DRIVER
6. THE SIGN WILL HAVE UL LABEL ATTACHED
7. WATERPROOF DISCONNECT SWITCH PER NEC 800-6
8. PRIMARY ELECTRICAL FEED-120V

SIGN FACTORY:
 DELANCEY BRIGHT SIGN INC
 565 JOHNSON AVE
 BROOKLYN, NY 11237

UL FILE # E 188851
 FACTORY CONTACT PHONE 212-219-2627



Packet Pg. 75

LETTER INSTALLATION DETAIL

IF USED IN DAMP, WET, OR OUTDOOR LOCATION



MEMORANDUM

To: Hot Crab Juicy Seafood & Wings
986 Ensign Peak Court
Lawrenceville, GA 30044

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: July 28, 2021

Re: Notification of Request for Design Review Commission – Restaurant Sign; 8107
Tara Blvd; Parcel No. 13210D A005

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of signage located at 8107 Tara Boulevard, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, August 4, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in blue ink, appearing to be "D. Allen", is written below the word "Sincerely,".

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (1946 : 8107 Tara Blvd Sign)



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.e

- e

COUNCIL MEETING DATE

August 4, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make a recommendation for Tara Package – 8525 Tara Boulevard; Parcel No. 13242D A017; New addition at rear of building.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-107 – C-2 Zoning Standards; Section 86-109 Tara Boulevard Overlay Standards;

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes **Economic Development, Beautification, Community Planning, Neighborhood and Business Revitalization**

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of addition**; The recently approved liquor store located at 8525 Tara Boulevard has proposed to put an 1800 square-foot addition (14 feet wide by 128.5 feet long) on the rear of the existing building. The addition will be used for internal storage. Although the addition cannot really be seen from Tara Boulevard, only the side road Robert E. Lee Parkway, staff that the addition was large enough to warrant Design Review Commission review.

The Commission shall be authorized to:

g. Make recommendations to the City Manager and Community Development Director regarding significant exterior modifications to existing developments, buildings and structures (including signs) that do not require public zoning hearings and do not lie within the Historic District or Overlays.

The current primary material for the building is smooth-face concrete masonry units (built in the late 1990s). Normally, this material is not allowed in the Tara Blvd. Overlay District.

(5) Prohibited materials. Metal siding, vinyl siding, metal canopies and smooth faced concrete masonry units are prohibited.

However, it is more critical that the proposed addition, which is economically necessary for the liquor store be of the same material, color, and style as the rest of the building.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Permit Application

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

August, 4, 2021

Signature

City Clerk's Office

- Property Pictures
- Elevation
- Site plan for Variance
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval



City of Jonesboro
 124 North Avenue
 Jonesboro, GA 30236
 (770) 478-3800 • Fax (770) 478-3775
Building Permit Application
Minimum Fee \$100.00

BL# _____ County **Clayton**
 Date 07 08 2021
 Permit No. 223

Application is hereby made according to the laws and ordinances of Jonesboro for a permit to erect, alter, and/or use a structure as described herein or shown in accompanying plans and specifications, to be located as shown on plot plan and, if granted, will conform to all laws and ordinances regulating same.

Sook @ arconenterprises.com

Address 8525 Tara Blvd.				Project/Subdivision:			
City Jonesboro		State GA Zip 30236		LL:	District:	Zoning: C	
Lot Dimensions	F:	D:	R:	Acres: 0.92	Lot: 242D	Block:	Plan#
Purpose of Permit: <input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Demolition - Repair <input type="checkbox"/> Remodel <input type="checkbox"/> Demolition - Demolish <input type="checkbox"/> Other				Describe Use of Construction <p align="center">STORAGE</p>		Size of Structure <p align="center">14' x 142'-2"</p>	
Structure Type: <input type="checkbox"/> Residential (1, 2, 3, 4) <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Apartment <input type="checkbox"/> Fee Simple <input type="checkbox"/> Condo <input type="checkbox"/> Sign-Attached <input type="checkbox"/> Sign-Free <input type="checkbox"/> Swimming Pool <input checked="" type="checkbox"/> Storage Bldg. <input type="checkbox"/> Other _____							
Foundation: <input checked="" type="checkbox"/> Slab <input type="checkbox"/> Crawl Space <input type="checkbox"/> Basement		Heated Area: Main 1,870 Upper _____ Lower _____ Other _____ Total 1,870					
Unfinished Area		Carport		Garage		Total Area N/A	
No. Stories 1	Height	No. Units	No. Rooms	No. Bedrooms	No. Baths		
Sewage: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Septic Tank		Georgia Power		Cooling: <input type="checkbox"/> Gas <input checked="" type="checkbox"/> Electric	Heating: <input type="checkbox"/> Gas <input checked="" type="checkbox"/> Electric	Fireplace: <input type="checkbox"/> Prefab <input type="checkbox"/> Masonry	
Exterior Finish Material				Estimated Construction Cost \$240,000			
Land Owner Joong Chul Tak				Contractor Arcon Enterprises, Inc			
Address 8501 Tara Blvd.				Address 6527 New Peachtree Rd.			
City Jonesboro		State GA Zip 30236		City Doraville		State GA Zip 30340	
Telephone 404-277-9514 /Other				Telephone 770-458-1513 /Other			

HSM I hereby certify that the above permitted structure shall be built in accordance with the 1992 Georgia State Energy Code for Buildings. This code regulates the design, erection, construction, alteration and renovation of buildings. Compliance is mandatory.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulating construction or the performance of construction.

Date 7/8/21 Printed Name: Sook Chun Signature: _____

NOTICE: Separate permits are required for electrical, plumbing, heating, ventilation, air conditioning or prefab fireplaces. This permit becomes null and void if work authorized is not commenced within six (6) months or if work is suspended or abandoned for a period of six months at anytime after it is begun. Proper permits must be obtained before work is begun or fees shall be doubled.

Do not complete the following – Office Use Only

TEMPORARY POLE (#) _____ \$30.00 _____			
Building – Sq. Ft. _____ x .20 = _____	Fireplace (#) _____ x 26.25 = _____		
Electrical _____ x .035 = _____	Garbage Disposal (#) _____ x 12.50 = _____		
Plumbing _____ x .035 = _____	Low Voltage (Minimum) _____ x 50.00 = _____		
HVAC _____ x .035 = _____			
SBCCI \$ _____	Temp # _____ Date _____		

F/P: Yes No Approved by: _____ Input by: _____ Permit Cost: 1440.00 C.O. Fee _____ Total Fee 1440.00
 Issued by: _____ Payment Amt: 1440.00 Payment Type Cash Check

Attachment: Permit Application (1947 : 8525 Tara Blvd Addition)



CITY OF JONESBORO

124 North Avenue
Jonesboro, GA 30236
www.jonesboroga.com

BUILDING PERMIT APPLICATION SCOPE OF WORK

Name: Tara Package Date: 3/4/2020
Address: 8525 Tara Blvd., Jonesboro, GA 30236

Rooms work is to take place in:

- | | | |
|--------------------------------------|---|--|
| <input type="checkbox"/> Basement | <input type="checkbox"/> Living Room | <input type="checkbox"/> Bedroom 3 |
| <input type="checkbox"/> Kitchen | <input type="checkbox"/> Master Bedroom | <input type="checkbox"/> Bedroom 4 |
| <input type="checkbox"/> Bathroom | <input type="checkbox"/> Bedroom 1 | <input type="checkbox"/> Exterior |
| <input type="checkbox"/> Master Bath | <input type="checkbox"/> Bedroom 2 | <input checked="" type="checkbox"/> Other <u>Storage</u> |

Electrical and Mechanical

- | | |
|--|---|
| <input type="checkbox"/> New or upgrade of electric service | <input checked="" type="checkbox"/> Adding or replacing electric circuits |
| <input type="checkbox"/> Installing smoke detectors | <input type="checkbox"/> Adding or relocating receptacles or switches |
| <input type="checkbox"/> Installing new furnace | <input checked="" type="checkbox"/> Installing new AC condenser |
| <input type="checkbox"/> Installing new fireplace or heating stove | <input type="checkbox"/> New chimney or vent |
| <input type="checkbox"/> Installing new bathroom exhaust fan | <input type="checkbox"/> Installing or replacing range hood |
| <input type="checkbox"/> Other: _____ | |

Framing

- | | |
|---|---|
| <input type="checkbox"/> New deck, porch, or stairs | <input type="checkbox"/> Roofing (Replacing decking and shingles) |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Installing or relocating load bearing walls |
| <input type="checkbox"/> Detached garage, carport, or storage building | <input type="checkbox"/> Altering or relocating existing window/doors |
| <input type="checkbox"/> Replacing deck, porch, stairs or railing | <input type="checkbox"/> Sheathing |
| <input type="checkbox"/> New attached garage or carport | <input type="checkbox"/> Installing new drywall |
| <input type="checkbox"/> New pool, spa or hot tub | <input type="checkbox"/> Installing sunroom or other pre-manufactured |
| <input type="checkbox"/> Installing or relocating non-load bearing walls | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Replacing or repairing damaged: | |
| <input type="checkbox"/> Floor joist <input type="checkbox"/> Stud <input type="checkbox"/> Beam <input type="checkbox"/> Header <input type="checkbox"/> Ceiling Joist <input type="checkbox"/> Rafters or Trusses | |

Plumbing

- | | |
|--|--|
| <input type="checkbox"/> Installing or replacing water heater | <input type="checkbox"/> Relocating existing plumbing fixtures |
| <input type="checkbox"/> Installing new water or DWV piping | <input type="checkbox"/> Installing or replacing gas piping |
| <input type="checkbox"/> Replacing existing water or DWV piping | <input type="checkbox"/> Installing new plumbing fixtures |
| <input type="checkbox"/> Installing or replacing backflow device | <input type="checkbox"/> Installing new sump pump |
| <input type="checkbox"/> Other: _____ | |

Additional Information

This permit for additional new storage building 3(three) side 8" CMU Block wall

Attachment: Permit Application (1947 : 8525 Tara Blvd Addition)



Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



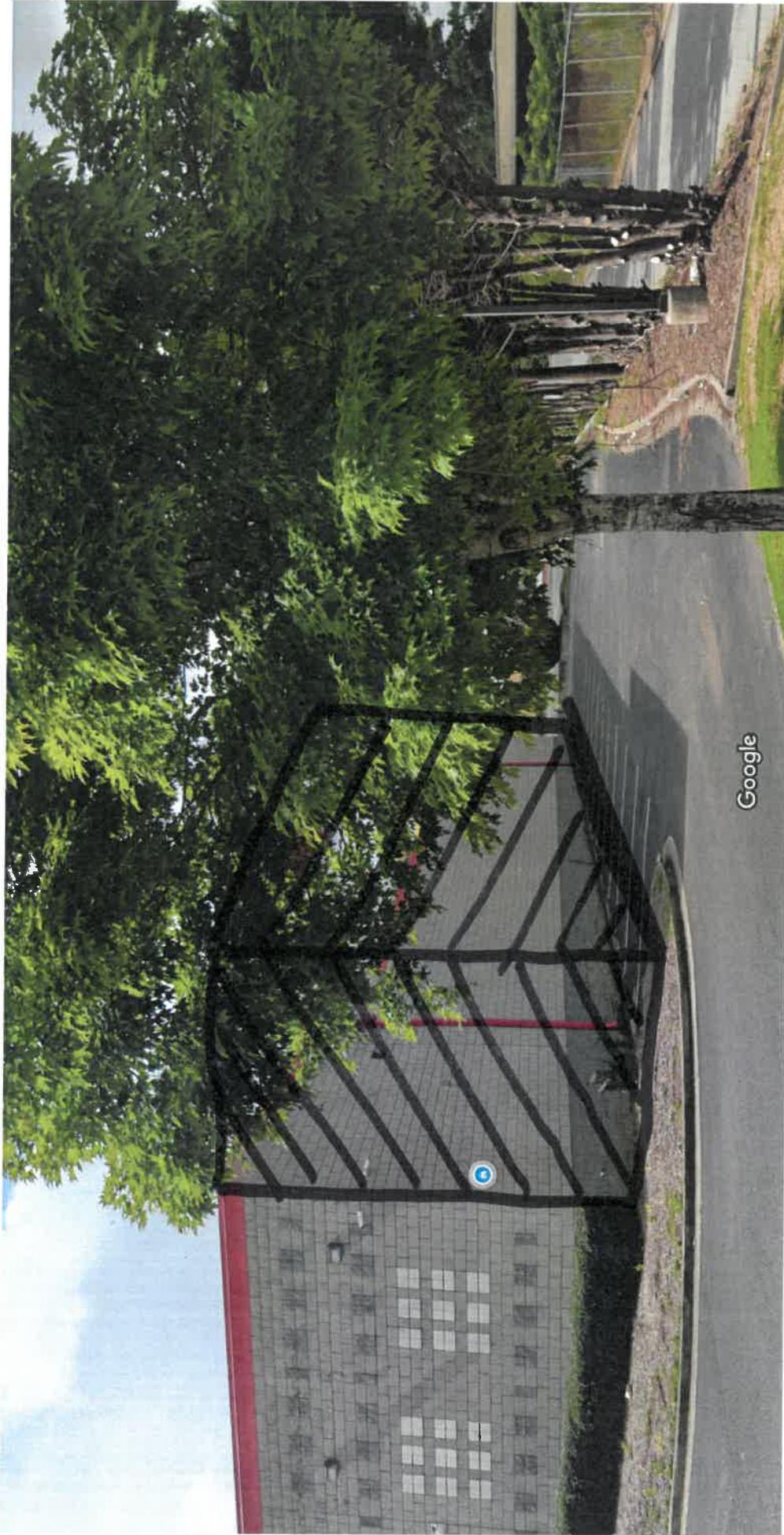
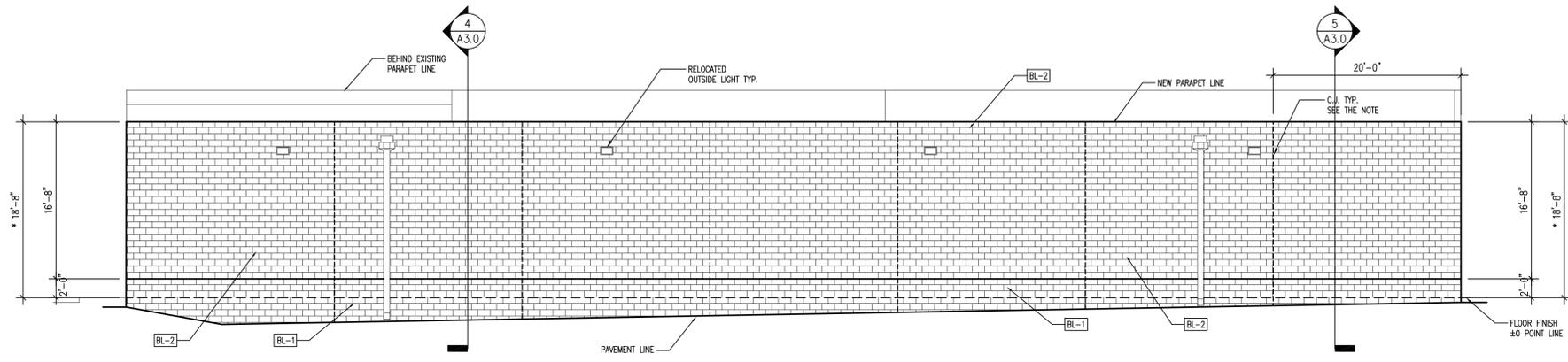


Image capture: Jun 2019 © 2021 Google

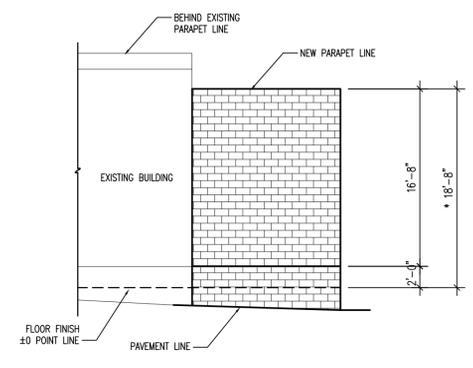
Jonesboro, Georgia



Street View



2 ELEVATION
SCALE: 1/8"=1'-0"



1 ELEVATION
SCALE: 1/8"=1'-0"

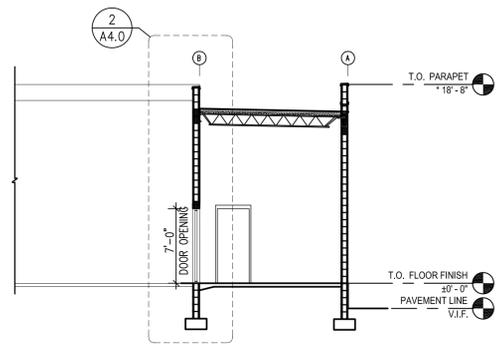
EXTERIOR FINISH LEGEND & NOTE

BLOCK TYPE

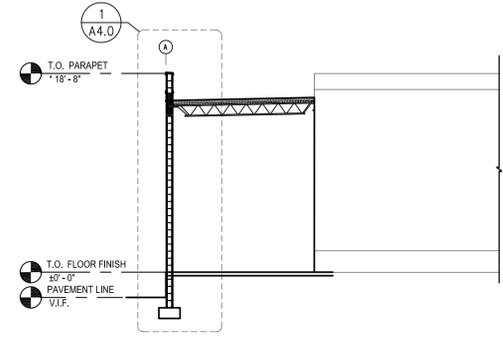
BL-1 REGULAR BLOCK
EQUAL TO "DRYVIT", STANDARD MATCH
-COLOR: BLACK
W/ CHARCOAL GROUT

BL-2 SPLIT BLOCK
EQUAL TO "DRYVIT", STANDARD MATCH
-COLOR: BLACK
W/ CHARCOAL GROUT

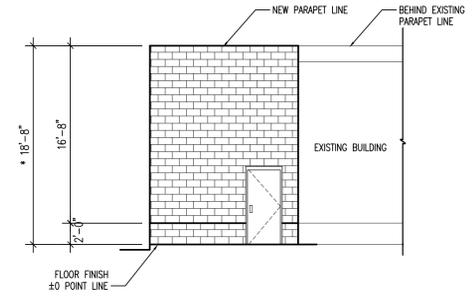
NOTE: 1. C.J. - CONTROL JOINT: EQUAL OR LESS THAN 25' SEE 7/AS.1 MORE DETAILS AND INFORMATION
2. V.I.F - VERIFY IN FIELD
3. *18'-8" - SAME HEIGHT AS EXISTING HEIGHT AND VERIFY IN FIELD
4. SEE STRUCTURE PLAN FOR MORE DETAILS



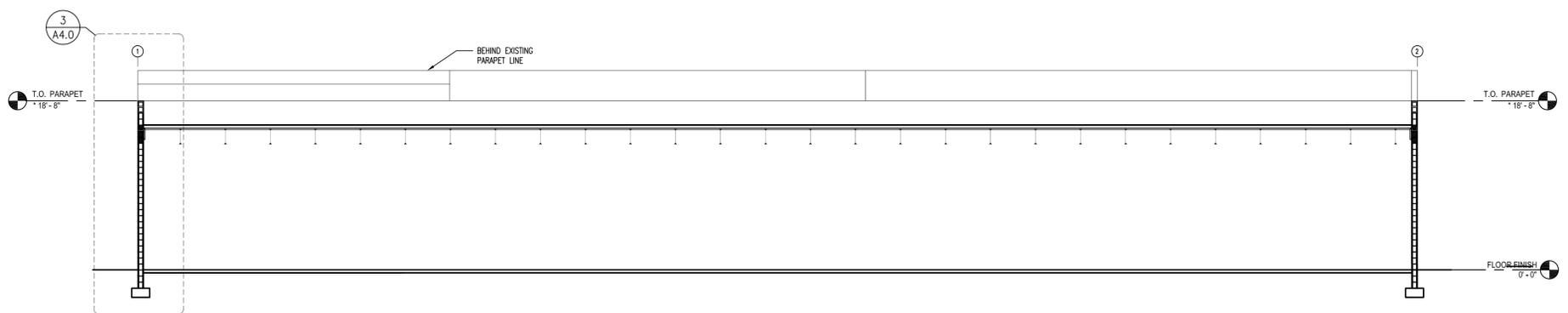
5 BUILDING SECTION
SCALE: 1/8"=1'-0"



4 BUILDING SECTION
SCALE: 1/8"=1'-0"



3 ELEVATION
SCALE: 1/8"=1'-0"



6 BUILDING SECTION
SCALE: 1/8"=1'-0"

ARCON ENTERPRISES
6527 NEW PEACHTREE ROAD
JONESBORO, GA 30236
TEL: 770.458.1513 FAX: 770.458.1516
E-MAIL: info@arconenterprises.com

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STAMP
Professional Seal of Charles E. Bytthook, No. 8078, State of Georgia, Professional Architect.

"ISSUED / RELEASED FOR CONSTRUCTION"

No.	Revision Description	Date

Tara Package Storage Addition

8525 TARA BLVD.
JONESBORO, GA 30236

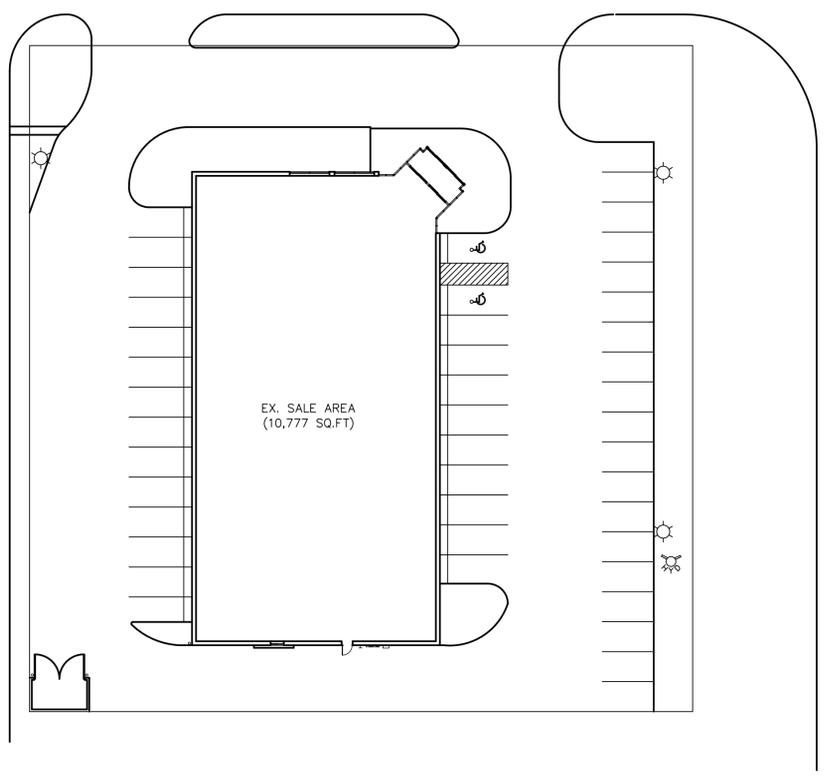
A3.0

ELEVATIONS AND BUILDING SECTIONS

DATE: 06/03/2021

GRID NORTH - GEORGIA WEST ZONE

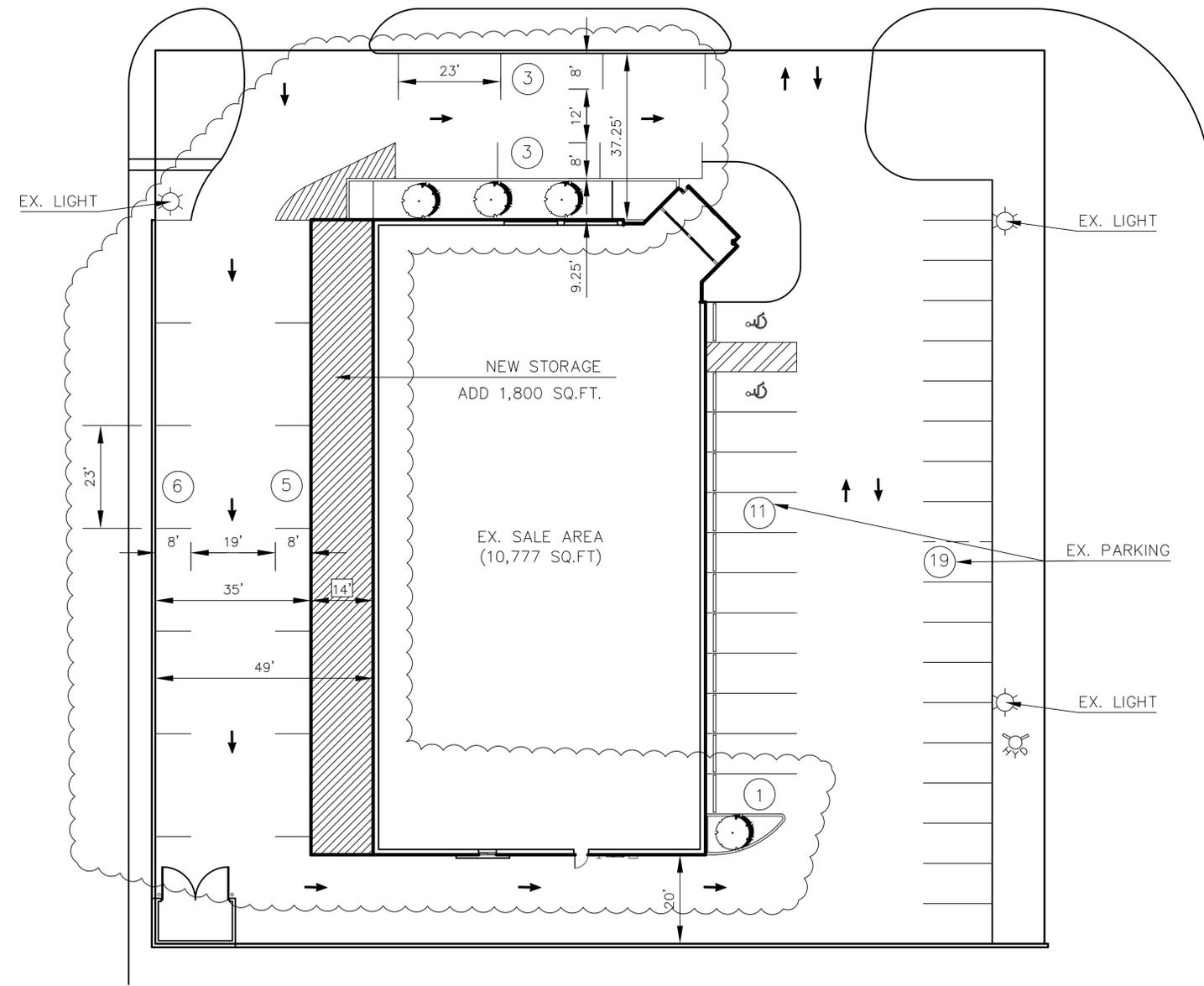
ROBERT E. LEE PKWY (R/W VARIES)



2 EXISTING PARKING LOT PLAN
SCALE : N.I.S.

ROBERT E. LEE PKWY (R/W VARIES)

TARA BLVD. (R/W VARIES)



1 NEW PARKING LOT LAYOUT PLAN
SCALE : 1:16

EX. PARKING LOTS	: 42
HANDICAP PARKING	: 2
ADDITION SPACE REQUIRED	: 9 = 1,870 SQ.FT.
<hr/>	
TOTAL REQUIRED	: 53 EA
TOTAL VARIANCE	: 5 EA
TOTAL PROVIDED	: 48 EA

NOTE :  NEW PARKING LOT LAYOUT AREA



MEMORANDUM

To: Sook Chun
Arcon Enterprises
6527 New Peachtree Road
Doraville, GA 30340

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: July 28, 2021

Re: Notification of Request for Design Review Commission – Building Addition;
8525 Tara Blvd; Parcel No. 13242D A017

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a building addition located at 8525 Tara Boulevard, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, August 4, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to be "D. Allen", with a long horizontal stroke extending to the right.

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.f

- f

COUNCIL MEETING DATE

August 4, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make a recommendation for residence – 105 Pine Circle; Parcel No. 13240D C012; New metal carport at side of residence.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-270 Accessory Building Standards; Sec. 86-111 Historic Residential Overlay Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Community Planning, Neighborhood and Business Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Denial of Certificate of Appropriateness application in proposed location; Mr. David owns 105 Pine Circle and applied for a permit and a Certificate of Appropriateness for a 10-foot by 15-foot (150 square feet) new carport in the side yard of his home. There is currently a 1341 square-foot brick home with a small, built-in carport on the side, which predates the Zoning Code. The applicant would like to expand his concrete driveway and install the new, detached carport for more parking area. The property is zoned R-2 residential, but lies within the Historic Residential Overlay, which requires a Certificate of Appropriateness for new structures, per Sec. 86-111(e).

Section 86-270 gives standards for accessory buildings in the City:

No accessory building shall exceed the height of the principal dwelling in any residential district, nor shall the combined total area of all accessory buildings on a lot exceed the larger of 800 square feet in area or 25 percent of the floor area of the principal dwelling. Calculation of floor area shall not include basement areas. All accessory buildings shall be set back a minimum of 100 percent of the front yard setback for the district; however, no accessory building other than a detached garage may be located between the principal dwelling and the public right-of-way. A minimum side yard and rear yard setback of five feet shall apply to accessory building located a distance greater than 20 feet from the principal dwelling; otherwise, the building setbacks for the principal dwelling shall apply to the accessory building.

All accessory structures established on the street side of a corner lot and located a distance equal to or less than the dimension of the required side yard for principal dwellings in the zoning district in which the lot is situated shall be screened through the installation of landscaping or stockade-type fence. Such screening shall comply with provisions of article XV of this chapter.

The exterior finishes and color of all accessory structures shall be identical to the exterior finish and color of the principal dwelling on which the accessory structures are located. For brick construction, only the characteristics of the trim work shall apply to the accessory buildings.

No accessory structure shall be located upon a lot until construction of the principal building has been completed and a certificate of occupancy has been issued. No plumbing beyond a wash sink shall be permitted in an accessory structure.

The number of individual structures accessory to a residential use shall be controlled by the following schedule:

Lot Size Number of Structures

Up to 1 acre 1

Above 1 acre 2

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

August, 4, 2021

Signature

City Clerk's Office

NOTE: This schedule provides for the indicated number of structures and one detached garage.

Staff response: The proposed carport enlargement is 150 square-feet, below the maximum size requirement. It will be fully behind the front setback line. It will be totally open with no sinks or any other features. It will be metal but will not be readily seen from the adjacent residential property to the east, due to existing vegetation. The problem with the placement of the new carport lies with the required setbacks. The carport would not be at least 20 feet from the house, which would make it have to comply with the regular side setback of 15 feet, instead of the normal 5-foot setback for accessory buildings. The current distance of the house (without a new carport) from the closest property line is approximately 17 feet. Thus, the 15-foot side setback could not be met for a new, 10-foot-wide carport. Thus, a variance would be required for approval in its proposed location.

Section 86-111 gives further standards for accessory buildings in the Historic Residential Overlay:

e. Accessory structures.

1. Historic accessory structures, or outbuildings, shall be maintained in accordance with guidelines for dwellings in the overlay.
2. New accessory structures, including, but not limited to carports, garages and storage sheds, shall be located behind the facade line of the dwelling.
3. The design, scale, placement and materials of new accessory structures within public view shall be compatible with those of the principal dwelling.

Staff response: The proposed carport will be metal but will be largely obscured in the side yard by existing vegetation.

Without an approved variance for the side setback, staff cannot recommend approval for the carport in its proposed location. There are other metal carports in the City, but placement of the carport is more of an issue than the material used.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Property Picture
- Setbacks
- Site Plan
- Carport Design
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Denial in Current Location



Image capture: Jun 2019 © 2021 Google

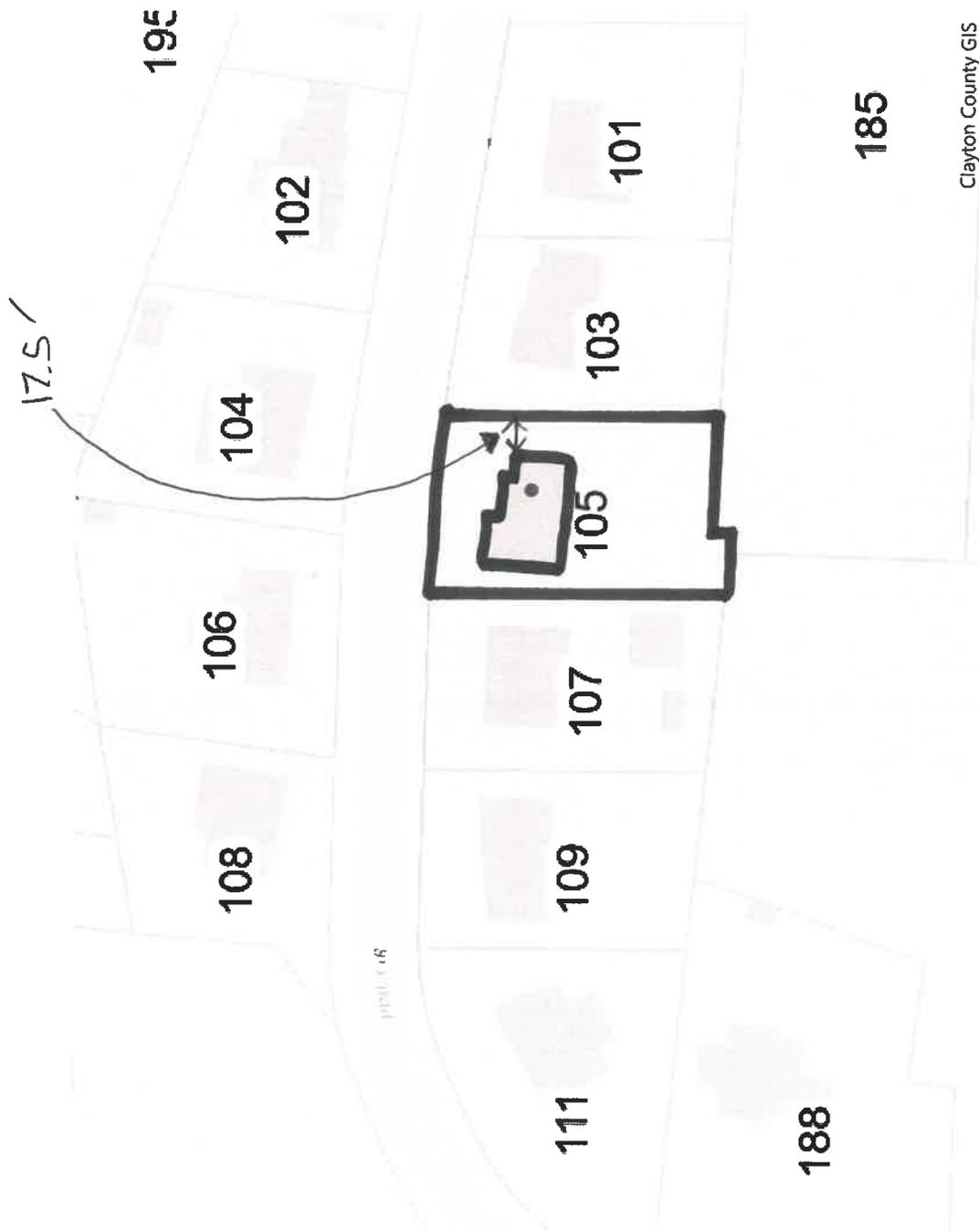
Jonesboro, Georgia



Street View

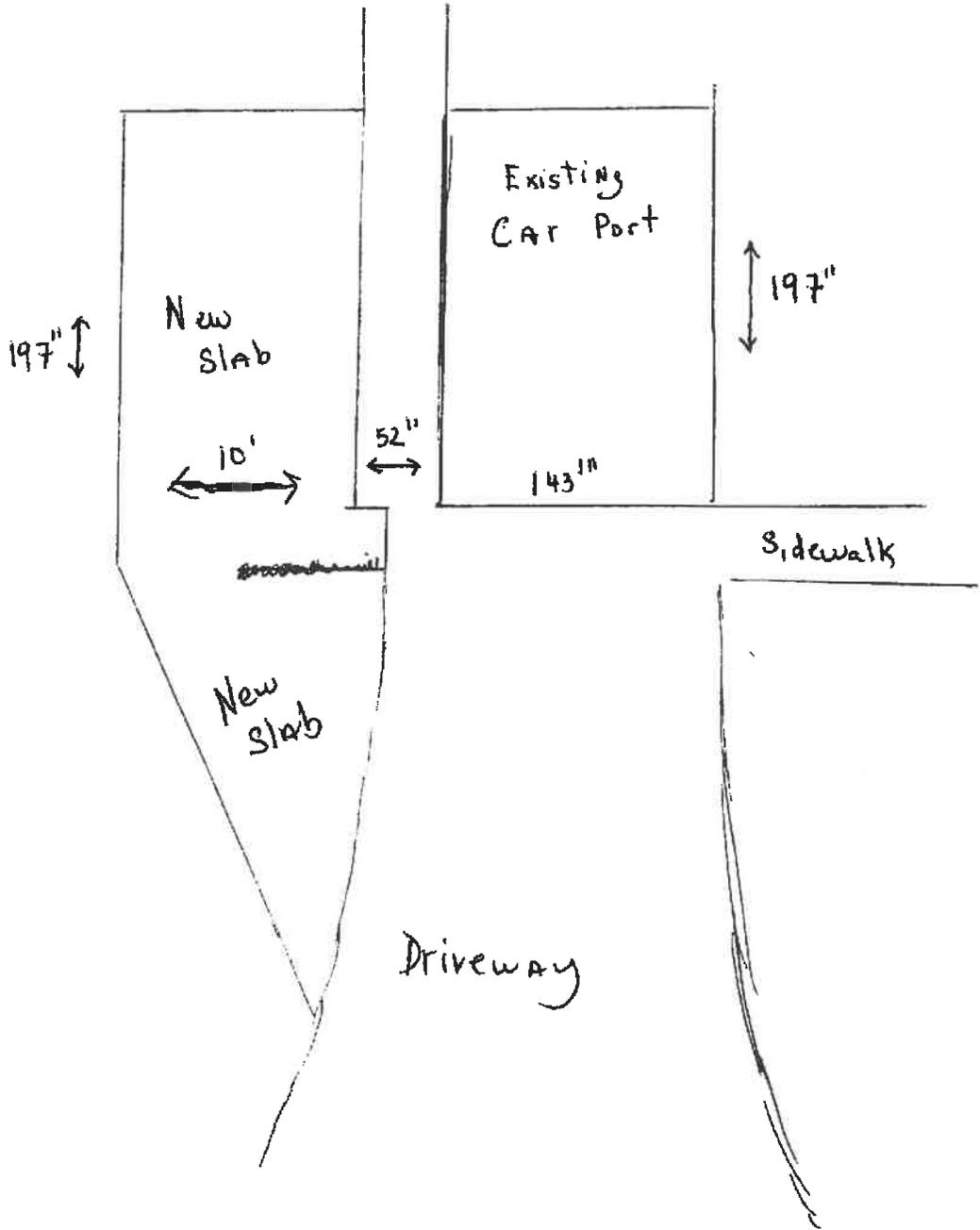
Google





Attachment: Setbacks (1948 : 105 Pine Circle Carport)

105 Pine Circle
Jonesboro, GA



Attachment: Site Plan (1948 : 105 Pine Circle Carport)

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Description

The 10 x 15 ft. Carport from Arrow Sheds is a more compact all-steel carport fit for smaller vehicles, sedans, outdoor equipment and more. Get reliable shade and shelter with the Arrow Carport - featuring a heavy-duty galvanized steel roof and a all-steel, premium powder coated tube frame. Snow and wind rated, the Arrow Carport is the ultimate shade, shelter and multi-use carport that's perfect for vehicles, boats, tractors, outdoor picnic areas and much more.

Features

- 10'x15'x7' Carport (3 BOXES)
- Featuring a 2 in. square tube frame, the Arrow 10 x 15 ft. Carport provides stability and strength to the unit, increasing it's wind and snow load capability.
- An all-weather carport that will protect your vehicle or outdoor space all-year long: the Arrow 10 x 15 ft. Carport is built to take on even tough weather - winds up to 100 mph, and a snow load of 35 PSF.
- Built for easier, faster assembly: its unique design features a slip-fit frame connection with pilot ing screws for assembly that's faster, more convenient right out of the box

4.5 Google Customer Reviews

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Attachment: Carport Design (1948 : 105 Pine Circle Carport)



MEMORANDUM

To: Al David
105 Pine Circle
Jonesboro, GA 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: July 29, 2021

Re: Notification of Request for Design Review Commission – Carport; 105 Pine Circle; Parcel No. 13240D C012

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of a carport located at 105 Pine Circle, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, August 4, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (1948 : 105 Pine Circle Carport)



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

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COUNCIL MEETING DATE

August 4, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action *(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)*

Commission to make a recommendation for YeYe's Botanica – 841 Highway 138; Parcel No. 13210D B004; New wall signs for new business.

Requirement for Board Action *(Cite specific Council policy, statute or code requirement)*

City Code Section 86-489 and 86-490 – Sign Standards

Is this Item Goal Related? *(If yes, describe how this action meets the specific Board Focus Area or Goal)*

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of panel; Recently, YeYe's Botanica (a store selling candles, incense, and crystals) received a business license for two suites in the commercial center at 847 Highway 138 Spur. Recently, several wall signs and window signs were observed at the business without a sign permit. (This was the last one that slipped through the cracks before the communication with new businesses about signs was improved. Per the owner, she occupies two contiguous suites and wanted the most visibility she could get, since her suites are setback further from the road than the rest of the suites in the commercial center. She would like to eventually put a panel on the only ground sign for the commercial center, near the middle of the property along Highway 138 (see enclosed picture). The property is currently zoned MX (Mixed Use) and only has frontage on Hwy.138.

Per the enclosed pictures, the following signs were observed at the business:

1. Wall sign above the westernmost entrance (the suite actively being used now by the business).
2. Wall sign above the easternmost entrance (suite not being used right now). This wall sign is in the only existing "sign cabinet" on the building.
3. A long, slender wall sign between the suite entrances.
4. A wall sign at the western corner of the building.
5. A flashing "open" sign in the window.
6. Two window stickers on the doors of the active suite.

All of the wall signs are metal panels bolted into the wall.

Regarding wall signs on single-frontage lots:

Sec. 86-489. - General regulations.

- (a) Messages. Any sign allowed under this article may contain any message, except those displaying any statement, word, character or illustration of an obscene nature.
- (b) Non-residential zoning districts. In non-residential zoning districts signs shall be permitted in the following combination of wall and ground signs subject to the provisions hereinafter stated:
 - (1) Lot with one building, which building is currently occupied pursuant to a current and valid certificate of occupancy issued by the city.
 - a. **Combination of one wall sign and one ground sign, subject to the respective size limitations in section 86-490. In addition to section 86-490, each wall sign shall not exceed 7.5 percent of the exterior building facade, without an approved variance.**
 - b. Single building on multiple frontage lots are allowed a total of ten percent of the exterior building facade for wall signs, and may have one additional wall sign, and one additional ground sign (subject to the size limitations in section 86-490). When calculating their allowed square footage, buildings on multiple frontage lots shall base their calculations on the facade with the primary entrance and/or architectural features of the building. Otherwise, the facade used shall be that facade which faces the

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

August, 4, 2021

Signature

City Clerk's Office

- (3) *Each building or unit with a separate entrance, not accessible by other tenants, located in a planned center (not along Tara Boulevard) shall be permitted one wall sign with a maximum area of 7.5 percent of the main building facade which it is mounted upon (see the definition of "building facade"), but not to exceed 150 square feet, whichever is less. Additional wall signs per section 86-490(b) are not allowed for multiple facade frontages. If two or more tenants, as in the case of an office building, share an entrance to a building, wall signs on the exterior of the building are not permitted. As an example: a building constructed as a shopping center will be allowed wall signs. A building constructed as an office building will not be allowed wall signs.*

Sec. 86-490. - Regulated signs.

- (a) *Ground signs, which are permanent, shall be permitted in non-residential zoning districts. No ground sign shall have a height greater than six feet above normal grade, or a sign face area greater than 35 square feet (each side) for lots with a single building and 45 square feet (each side) for planned centers. No portion of a ground sign shall not be located within ten feet of a street right-of-way or within 50 feet of any other permanent sign, major structure or building. Changeable copy shall not exceed 33 percent of the area of the sign face. Ground signs are allowed only on lots upon which there is a building which is currently occupied pursuant to a current and valid certificate of occupancy issued by the city or which is currently being developed under an active building permit issued by the city.*
- (b) *Wall signs shall be permitted in non-residential zoning districts. Permitted area of wall signs shall not exceed 150 square feet. No single building or unit shall be permitted more than one wall sign except for multiple frontage lots as provided in section 86-489(b)(l). Wall signs are allowed only upon a building which is currently occupied pursuant to a current and valid certificate of occupancy issued by the city or which is currently being developed under an active building permit issued by the city.*
- (c) *Electronic message center signs are permitted freestanding signs in a non-residential zoning district subject to the following:*
- (1) *A maximum of one electronic message center sign is allowed per lot;*
 - (2) *An electronic message center sign shall not exceed 33 percent of the total sign face area of the freestanding sign on which the electronic message center sign is located;*
 - (3) *Each message (electronic changeable copy) displayed on an electronic message center sign shall remain static for at least ten seconds following the completion of its transition from the previous message. As used in this subsection, "static" shall mean a display that is fixed in one position with no portion of the display being in motion or changing in color or intensity. An exception will be made to this restriction for electronic, real-time displays of time and temperature.*
 - (4) *Electronic message center signs shall have automatic dimming capability that adjusts the brightness to the ambient light at all times of the day and night so as to comply with the provisions stated in sections 86-493(j) and (k); and*
 - (5) *No display of flashing or moving graphics or animation shall be allowed;*

Sec. 86-488. - Exempt signs.

The following signs are allowed and exempt from the authorization and permit provisions in this article but, notwithstanding, must comply with all other applicable requirements in this article, the 2005 zoning ordinance, and this Code:

- (1) *Except as limited by section 86-495, window signs so long as they do not exceed 25 percent of the total window area exposed to view to the public.*

1. **Wall sign above the westernmost entrance (the suite actively being used now by the business). The provision of Sec. 86-489(c)(3) would not apply to this separate business. So only one wall sign would be allowed.**
2. **Wall sign above the easternmost entrance (suite not being used right now). This wall sign is in the only existing "sign cabinet" on the building. The provision of Sec. 86-489(c)(3) would not apply to this separate business. So only one wall sign would be allowed. Though this entrance already has a sign cabinet installed, this is not the most visible spot for a wall sign, being against the wall of the building.**
3. **A long, slender wall sign between the suite entrances. The provision of Sec. 86-489(c)(3) would not apply to this separate business. So only one wall sign would be allowed.**
4. **A wall sign at the western corner of the building. The provision of Sec. 86-489(c)(3) would not apply to this separate business. So only one wall sign would be allowed.**
5. **A flashing "open" sign in the window. This needs to be on a setting where it is not flashing.**
6. **Two window stickers on the doors of the active suite. The window stickers can be kept since they are less than 25% of the total window surface, and they do not need a permit.**

Staff does not have a problem with the color scheme, logo design, or wording on the signs. However, the excessive amount of wall signs cannot be approved as is. Staff recommendation:

1. **Take the wall sign above the easternmost entrance (in sign cabinet) down, as this is ineffective due to poor visibility.**

2. Take the sign on the western corner of the building down, as the two window stickers are identical to it.
3. Take the slender, middle wall sign down and compensate with window stickers (complying with the 25% max. coverage) on the middle windows.
4. Set the "Open" sign on continuous display and not flashing.
5. Contact the property owner about installing a sign panel on the ground sign at Highway 138, for maximum visibility. It looks like there is a framework for another sign below the Sell Out Center panel, which staff would allow to be used for another sign panel.

Fiscal Impact

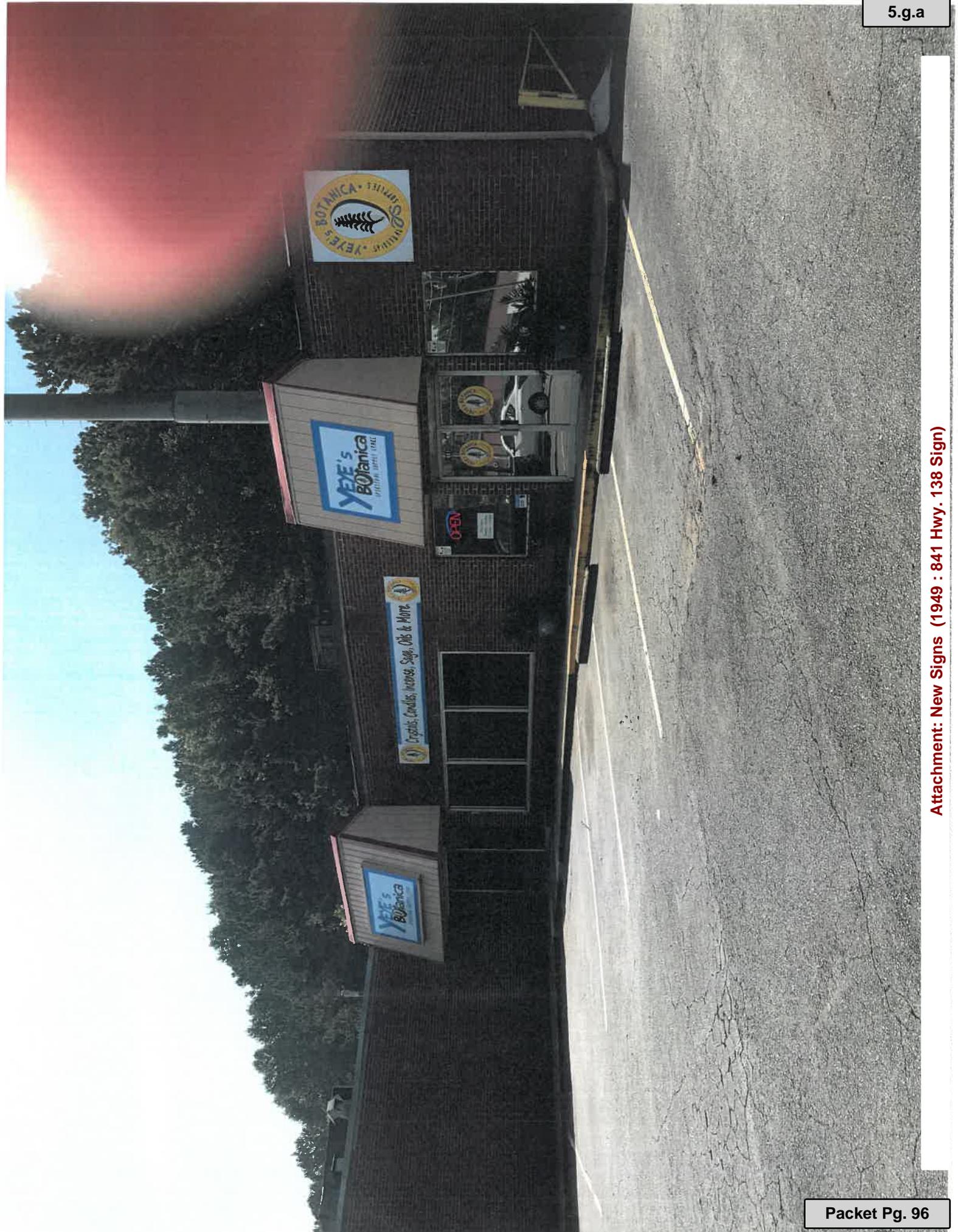
(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private owner

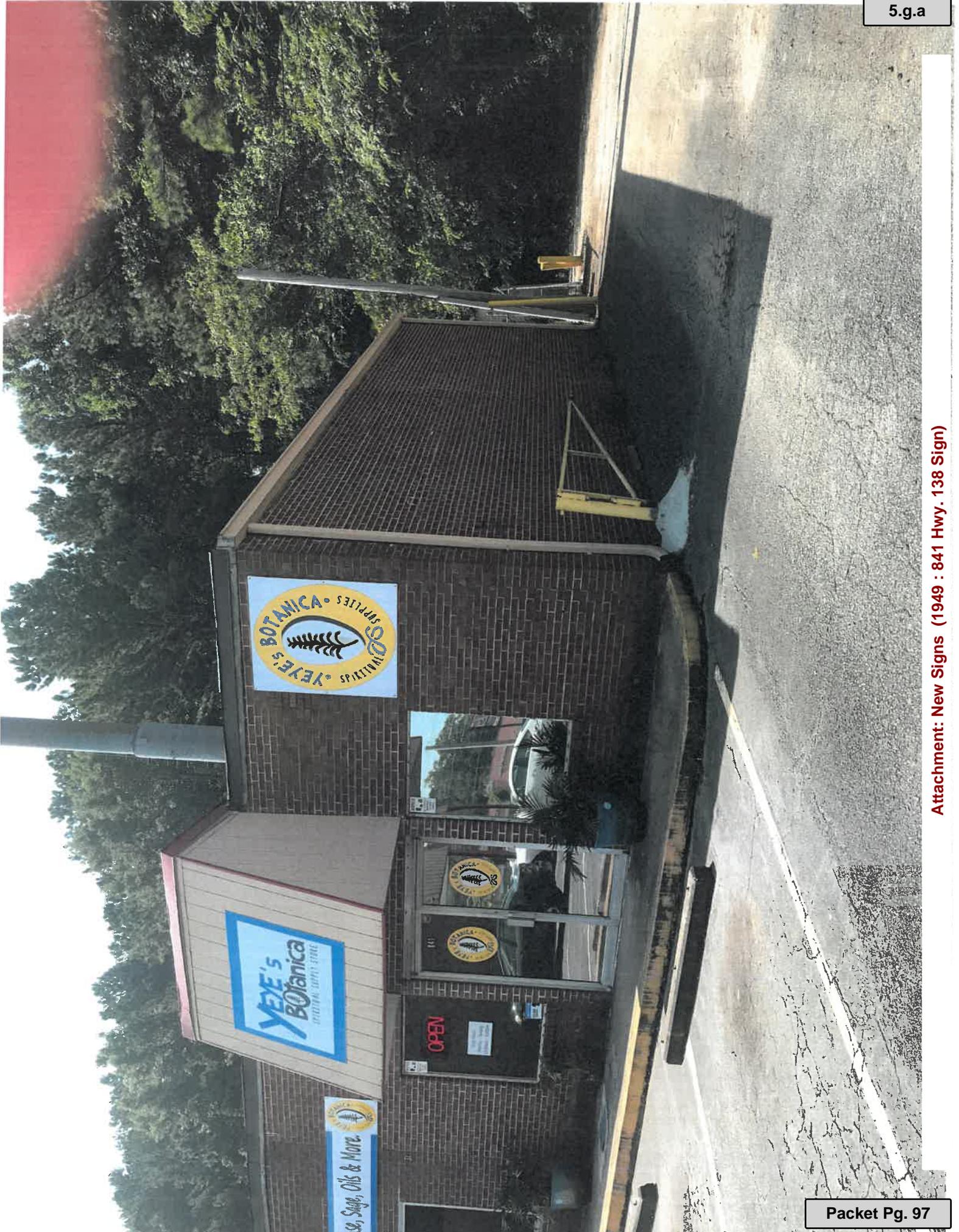
Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- New Signs
- Acceptance Letter
- Property Pictures

Staff Recommendation *(Type Name, Title, Agency and Phone)***Denial of Current Number of Signs**



Attachment: New Signs (1949 : 841 Hwy. 138 Sign)



Attachment: New Signs (1949 : 841 Hwy. 138 Sign)



Attachment: New Signs (1949 : 841 Hwy. 138 Sign)



Attachment: New Signs (1949 : 841 Hwy. 138 Sign)

als, Candles, Incense



Attachment: New Signs (1949 : 841 Hwy. 138 Sign)



MEMORANDUM

To: Marquita Miles
YeYe's Botanica
841 Hwy. 138
Jonesboro, GA 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: July 29, 2021

Re: Notification of Request for Design Review Commission – Signs; 841 Hwy. 138;
Parcel No. 13210D B004

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for review of signs located at 841 Hwy. 138, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Wednesday, August 4, 2021 at 4:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in black ink, appearing to be "D. Allen", with a long horizontal flourish extending to the right.

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (1949 : 841 Hwy. 138 Sign)



Image capture: Sep 2018 © 2021 Google

Google
Street View



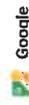
Image capture: Sep 2018 © 2021 Google

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Street View



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Jonesboro, Georgia



Street View