



Jonesboro Historic Preservation Commission
1859 CITY CENTER WAY
November 20, 2023 – 5:30 PM

Agenda

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I. CALL TO ORDER – Chairperson Betsy Wester

II. APPROVAL OF AGENDA

III. APPROVAL OF MINUTES

IV. OLD BUSINESS - NONE

1. Historic Preservation Commission to consider a Certificate of Appropriateness for 145 North Main Street; Parcel No. 13241B B015; Exterior color change (brick) in Historic District.

V. NEW BUSINESS - ACTION ITEMS

1. Historic Preservation Commission to Consider a Certificate of Appropriateness for Residence – 0 King Street; Parcel No. 12016A D004; New Residence for Property in Historic Residential Overlay.
2. Historic Preservation Commission to consider a Certificate of Appropriateness for Residence – 108 Pine Circle; Parcel No. 13240D D002; Clarification of allowability of lime washing brick in Historic Residential Overlay.
3. Historic Preservation Commission to consider a Certificate of Appropriateness for Commercial Addition – 211 North Main Street; Parcel No. 13240D D010; New addition to existing business in Historic District.

4. Historic Preservation Commission to consider a Certificate of Appropriateness for First Baptist Church Jonesboro – 142 College Street; Parcel No. 13241C C014; Revised ground sign panel for church in Historic Residential Overlay.
5. Historic Preservation Commission to consider a Certificate of Appropriateness for Residence – 222 Lee Street; Parcel No. 13240D D021; Change of exterior for accessory building in Historic Residential Overlay.
6. Historic Preservation Commission to consider waiving waiting period for proposed demolition of existing building in Historic District at 217 South Main Street; Parcel No. 05241D A001.

VI. ADJOURNMENT



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

4.1

- 1

COUNCIL MEETING DATE
November 20, 2023

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider a Certificate of Appropriateness for 145 North Main Street; Parcel No. 13241B B015; Exterior color change (brick) in Historic District.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-102 Historic District Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Recently, the exterior of the former office building at 145 North Main Street was observed to have been mostly painted over the course of a weekend, several weeks ago. The original color was a standard brick-red and the current color is white, with black shutters and trim. There are a couple of other office buildings nearby with a similar brick-red color. The building was approved for residential condos over a year ago.

This building is in the Historic District, which regulates brick as follows:

c. Building materials.

1. Historic building materials shall be maintained.

2. Unpainted brick facades shall remain unpainted.

3. Damaged exterior materials shall be treated with materials that will not cause further deterioration, including the use of a historic mortar mix of an appropriate color when repointing brick.

The brick appears to have been previously unpainted. At first glance, this needs to be restored to its original color by sandblasting. **However, the Design Review Commission at their October 4th meeting actually recommended the new white color for approval and brought up some valid points:**

1. The code section cited deals mainly with preserving historic building materials. Though this building is in the Historic District, it is not actually a historic building, being only built in 1986 with modern brick.
2. The white color is neutral and not neon or some drastically dark color. The contrast with dark shutters and trim is aesthetically pleasing. The immediate area is very monotone with the same color brick. The staircase on the north side, coupled with the new color, giving off a "villa" feel.
3. The new color distinguishes the new use (residential) of the building from the office use of the adjacent brick buildings.
4. Several other buildings in the historic downtown were approved for significant color changes on their existing brick, including Fig Tree Café and the Mexican
5. The new owner of the building did not knowingly violate code standards.

Tabled from October meeting.

Main reasons for approval of recent brick color change:

1. Not historic material, being built in 1986.

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Melissa Brooks, Interim City Clerk

Date

November, 20, 2023

Signature

City Clerk's Office

2. Not in the heart of the “downtown” historic district, or within direct sight of the downtown historic district buildings.
3. In the midst of other commercial buildings in an office park, and the other buildings will not be negatively affected by the color change.
4. The new color is a neutral color, not a neon or bright color.

Fiscal Impact*(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)*

Private Owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Original
- New Color
- Building Info
- Acceptance Letter - November 2023 HPC

Staff Recommendation *(Type Name, Title, Agency and Phone)***Approval**

Google Maps 143 N Main St



Image capture: Mar 2022 © 2023 Google



Google Maps 151 N Main St

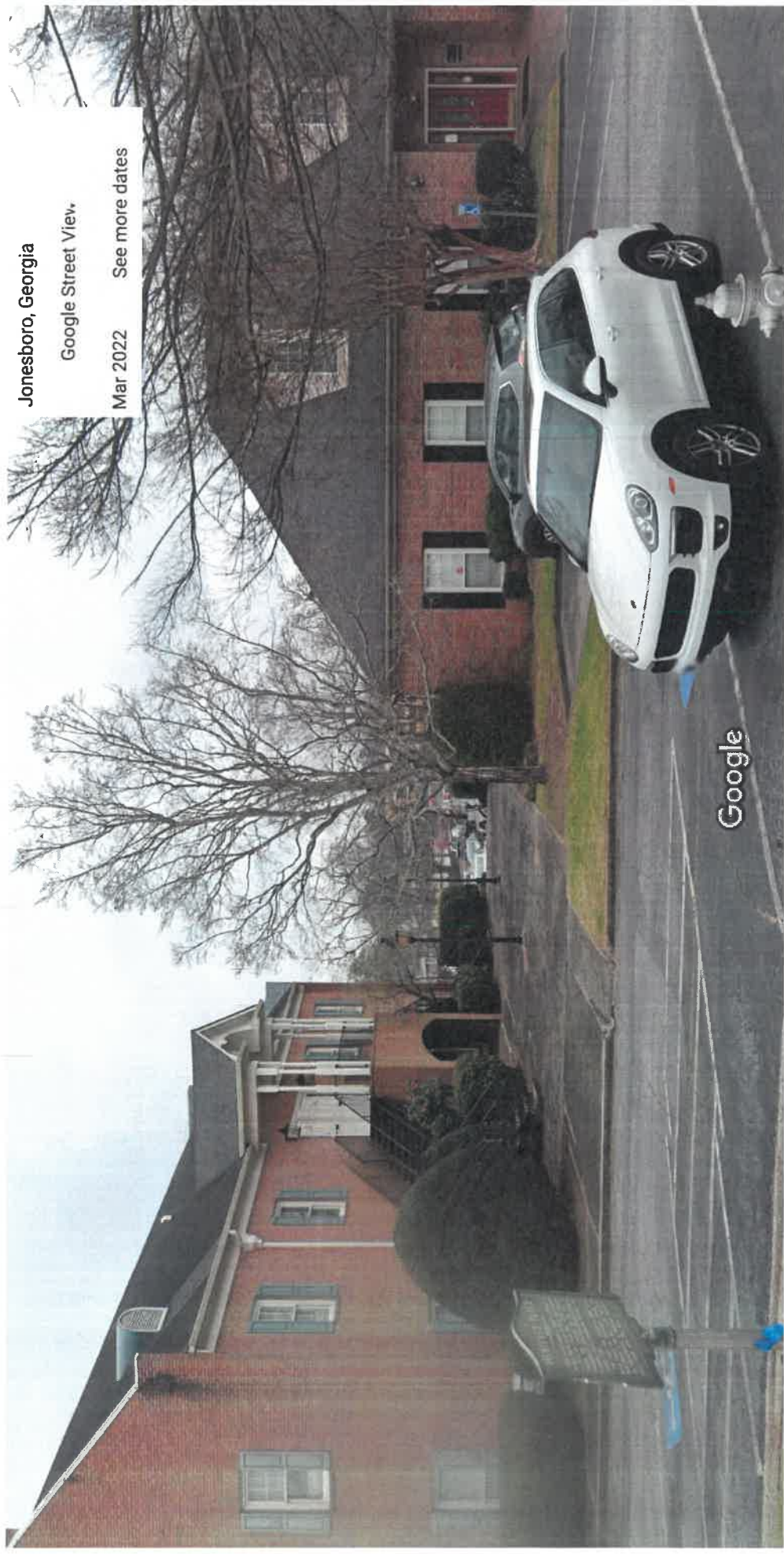
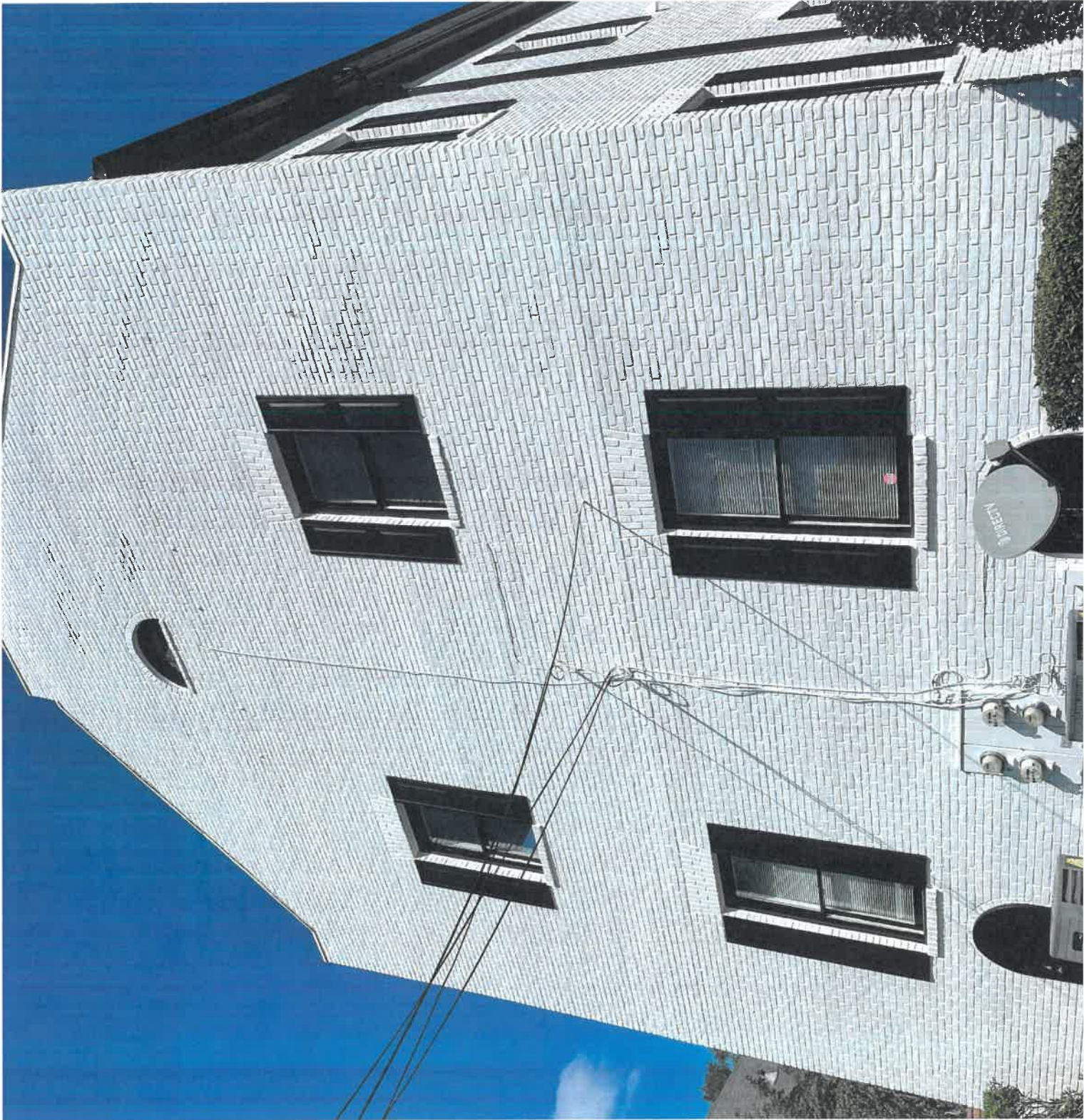


Image capture: Mar 2022 © 2023 Google





Attachment: New Color (3618 : 145 North Main Street Exterior)



Attachment: New Color (3618 : 145 North Main Street Exterior)



Attachment: New Color (3618 : 145 North Main Street Exterior)



Attachment: New Color (3618 : 145 North Main Street Exterior)

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PARID: 132418 B015

GREAT HANDS CAPITALS LLC

NBHD: JB

145 N MAIN ST

1 of 1

[Return to Search Results](#)

Year: 2023 ▼

Commercial Profile

Card	1
Year Built	1986
Effective Year Built	
Improvement Name	CLAYTON HEALTHCARE
Units	
Other Improvements	
Other Imp Value	
Square Footage	4,336
Building Value	325,490

Actions[Printable Summary](#)[Printable Version](#)**Reports**

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8:00 A.M. to 5:00 P.M.
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**TAX ASSESSOR**

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 121 South McDonough Street
 Jonesboro, GA 30236

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 Fax: (770) 477-4566

8:00 A.M. to 5:00 P.M.
 Monday-Friday

Attachment: Building Info (3618 : 145 North Main Street Exterior)



MEMORANDUM

To: Jacob Nehikhuere
2022 Pine Forest Court
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: November 15, 2023

Re: Notification of Request for Historic Preservation Commission – Exterior Brick Color; 145 North Main Street; Tax Map Parcel No. 13241B B015

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a change in exterior brick color for the property located at 145 North Main Street, Jonesboro, Georgia.

This was tabled from the October meeting. A second hearing has been scheduled for Monday, November 20, 2023 at 5:30 pm before the Historic Preservation Commission at 1859 City Center Way to consider the request as described above. Your presence is recommended.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

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COUNCIL MEETING DATE
November 20, 2023

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to Consider a Certificate of Appropriateness for Residence – 0 King Street; Parcel No. 12016A D004; New Residence for Property in Historic Residential Overlay.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

Section 86-98 R-4 District Purpose and Standards; 86-111 Historic Residential Overlay Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of exterior house design**; Recently, the applicant purchased a vacant lot on the north side of King Street, between two developed lots, one with an active residence and the other with a dilapidated residence. (The dilapidated residence was approved last month for a rehabilitation.) The new house will be over 1700 square feet and two-story. It will have to be a narrow, deep design due to the existing lot configuration.

The lot is within the Historic Residential Overlay.

(b) Development standards. Unless otherwise provided in this chapter, uses permitted in the R-4 district shall conform to the following development standards:

(1) Minimum lot area: 10,480 square feet (¼-acre) **8400 sq. feet Grandfathered lot**

(2) Minimum lot width: 75 feet **60 feet Grandfathered lot**

(3) Minimum front yard: 25 feet **Will Comply**

(4) Minimum side yard: 12 feet **Will Comply**

(5) Minimum rear yard: 25 feet **Will Comply**

(6) Minimum floor area per dwelling unit: 1,600 square feet (heated) **Complies**

(7) Maximum building height: Two stories and 35 feet **Complies**

(8) Maximum lot coverage: 35 percent **Complies**

Sec. 86-111 Historic Residential Overlay

(2) New construction. New buildings shall be compatible with surrounding historic structures and shall contribute to the character to the area. Prevalent architectural styles in the overlay shall guide new development. (See article VII, Architectural style and scale for guidance on specific historic styles and building materials traditionally found in

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Melissa Brooks, Interim City Clerk

Date

November, 20, 2023

Signature

City Clerk's Office

Jonesboro.)

a. Scale and form.

1. New buildings shall be compatible with the existing scale, form and placement of nearby historic homes in terms of foundation and story heights, roof height, shape and pitch, number of stories, width, depth and building setback. **The new houses will not depart significantly from the form or size of the existing houses on the street.**
2. The maximum heated floor area of infill development shall not exceed 150 percent of the average heated floor area of single-family detached dwellings located on the same street for a distance of 600 feet in either direction. **The average heated floor area for all the houses on the street is 1077 square feet. The new house would be approximately 166% larger than the existing houses.**
3. The maximum building height for infill development shall be determined by the maximum building height of single-family detached dwellings located on the same street for a distance of 600 feet in either direction. **All houses on the street are one-story. This house would be two-story but would still comply with the code maximum of 35 feet.**

b. Materials and color.

1. The predominant exterior siding material, or a modern material that creates a similar texture or appearance, shall be used. **The Hardiplank will be superior to the vinyl and wood siding on the existing houses on the street.**
 2. The use of brick is encouraged for chimneys. **No chimneys are proposed.**
 3. Prohibited exterior materials include synthetic materials with a false wood grain, vinyl siding, brick veneer, concrete block, and the use of materials that do not complement the architectural or historic style of the structure. **Hardiplank will be used in place of vinyl.**
 4. Brick and paint colors shall be compatible with the style of the structure and with surrounding historic structures. **Earth tone colors will be used – either a light or dark green pastel.**
 5. Neon colors are prohibited. **None proposed.**
 6. Primary colors may be acceptable for trim or accents pending review and approval by the director of downtown development.
- c. Doors and windows.
1. Window and door placement, shape, and dimensions shall be compatible with the pattern on nearby historic structures. **Will comply.**
 2. Blank wall facades are discouraged.

All houses already on the street are one-story and mostly wood or vinyl siding. A few of them have brick. The predominant exterior material on the new house will be Hardiplank siding. (Vinyl siding is not allowed.)

The Board must consider whether a 27-foot tall, two-story house is appropriate on a street with one-story houses. The size is also a little bigger than 150% maximum stated above.

Design Review recommendation, 11.1.23: Approval of presented design; Two-story house sets good precedent; olive green exterior color acceptable.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Property Pictures
- Design
- Construction Plans

- Olive
- Acceptance Letter - HPC

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

Google Maps 204 King St



Image capture: Jan 2022 © 2022 Google



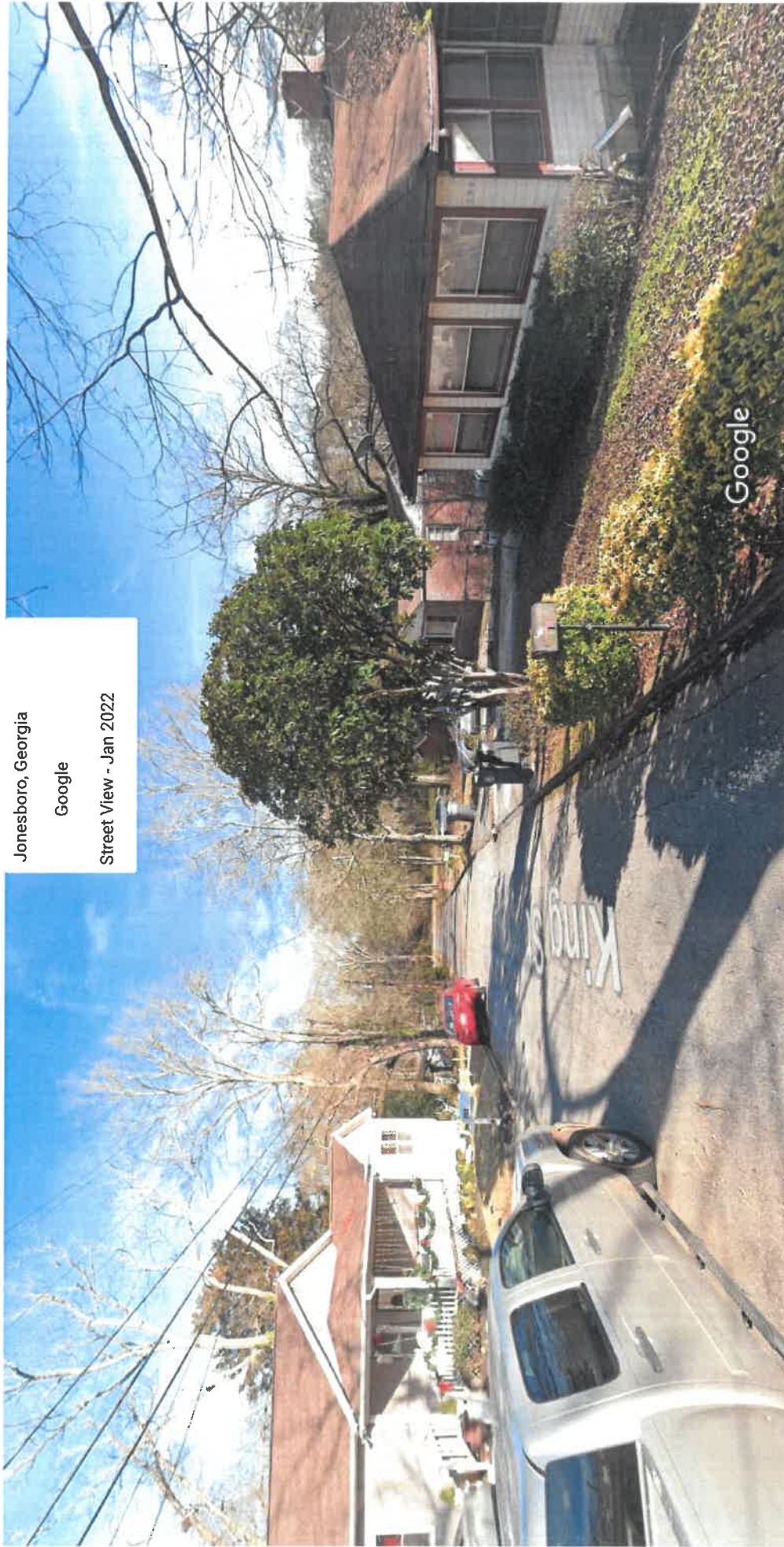
204 King St

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Street View & 360°



Google Maps 208 King St



Jonesboro, Georgia

Google

Street View - Jan 2022

Image capture: Jan 2022 © 2022 Google



204 King St

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Street View & 360°

Google Maps 210 King St



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Email address

SUBMIT

PLAN 48-510



Photographs may show modified designs.

Attachment: Design (3612 : 0 King Street Residence)

Home > Style > Traditional Home Plans

KEY SPECS

Cost to Build

Modify Plan

Get Help

 House Plan Design - Traditional Floor Plan - Main Floor Plan #48-510

Floor Plan - Upper Floor

Reverse

 House Plan Design - Traditional Floor Plan - Upper Floor Plan #48-510

FULL SPECS & FEATURES

DIMENSION	Depth : 51' Height : 27' 11" Width : 31'
AREA	First Floor: 831 sq/ft Garage: 384 sq/ft Second Floor: 959 sq/ft <i>* Total Square Footage typically only includes conditioned space and does not include garages, porches, bonus rooms, or decks.</i>
CEILING	Main Ceiling : 9'
ROOF	Primary Pitch : 9:12 Roof Framing : Truss

Attachment: Design (3612 : 0 King Street Residence)

EXTERIOR WALL FRAMING	Exterior Wall Finish : Shingle/Siding Framing : 2"x6"
BEDROOM FEATURES	Upstairs Bedrooms Upstairs Master Bedrooms Walk In Closet
KITCHEN FEATURES	Breakfast Nook
ADDITIONAL ROOM FEATURES	Den Office Study Computer Great Room Living Room Main Floor Laundry
GARAGE FEATURES	Front Entry Garage
LOT CHARACTERISTICS	Suited For Narrow Lot
ROOMS	Bedroom 3: 119 sq/ft width 10' 10" x depth 11' Dining Room: 125 sq/ft width 12' 6" x depth 10' Garage: 360 sq/ft width 18' x depth 20' Great Room: 196 sq/ft width 14' x depth 14'

WHAT'S INCLUDED IN THIS PLAN SET

[See a sample plan set](#)

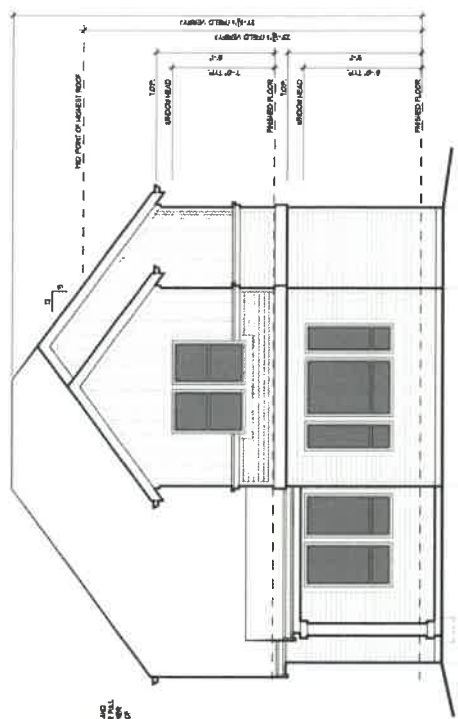
- Exterior Elevations

In addition to the front exterior, your drawing set will include drawings of the rear and sides of your house as well. These drawings give notes on exterior materials and finishes. Particular attention is given to cornice detail, brick and stone accents, or other finish items that make your home unique.

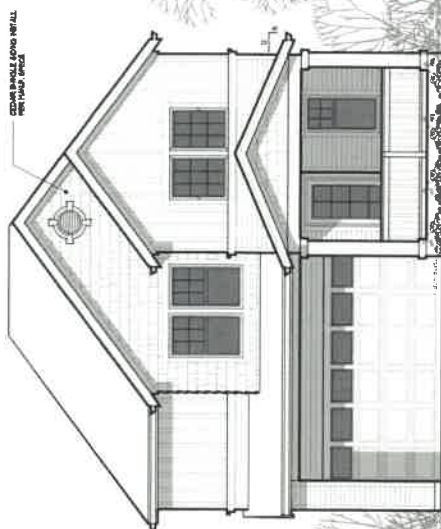
- Foundation Plan

The foundation page dimensions, concrete walls, footings, pads, posts, beams, bearing walls

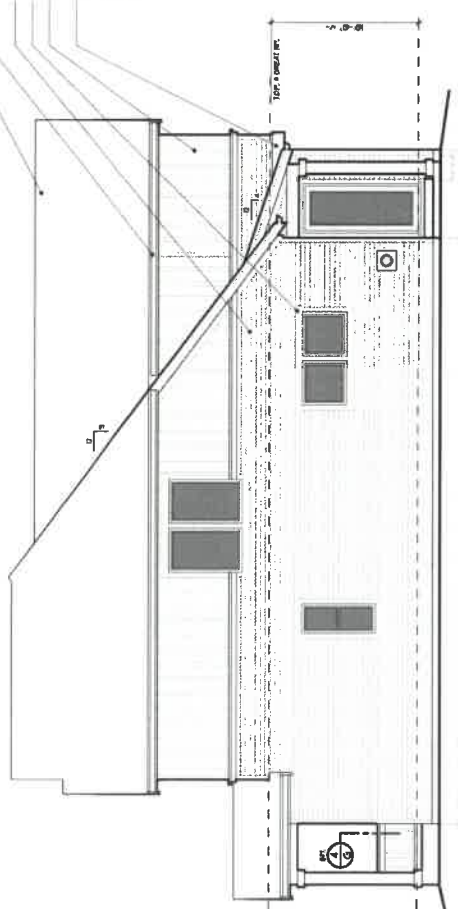
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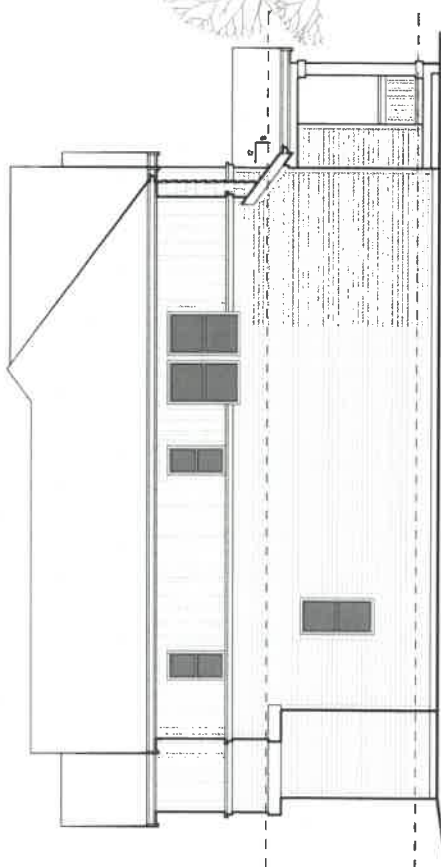
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LEFT SIDE ELEVATION
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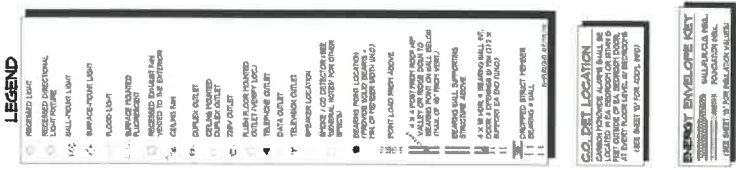
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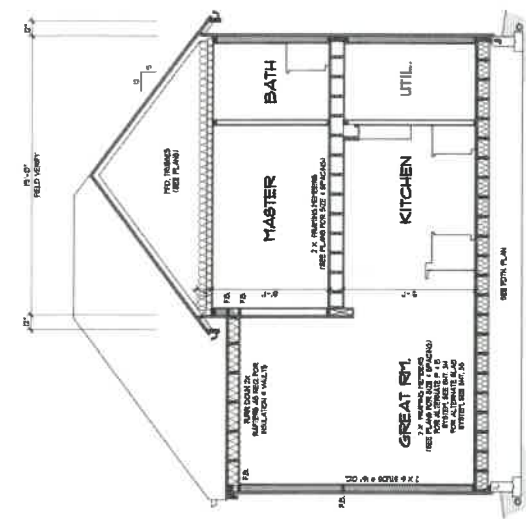
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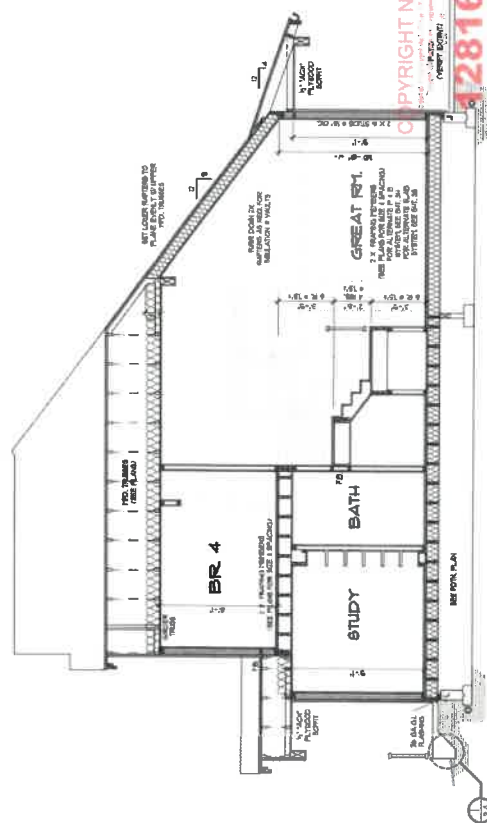
REQUIREMENTS FOR LATERAL SPECIFICATIONS

1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100. 101. 102. 103. 104. 105. 106. 107. 108. 109. 110. 111. 112. 113. 114. 115. 116. 117. 118. 119. 120. 121. 122. 123. 124. 125. 126. 127. 128. 129. 130. 131. 132. 133. 134. 135. 136. 137. 138. 139. 140. 141. 142. 143. 144. 145. 146. 147. 148. 149. 150. 151. 152. 153. 154. 155. 156. 157. 158. 159. 160. 161. 162. 163. 164. 165. 166. 167. 168. 169. 170. 171. 172. 173. 174. 175. 176. 177. 178. 179. 180. 181. 182. 183. 184. 185. 186. 187. 188. 189. 190. 191. 192. 193. 194. 195. 196. 197. 198. 199. 200. 201. 202. 203. 204. 205. 206. 207. 208. 209. 210. 211. 212. 213. 214. 215. 216. 217. 218. 219. 220. 221. 222. 223. 224. 225. 226. 227. 228. 229. 230. 231. 232. 233. 234. 235. 236. 237. 238. 239. 240. 241. 242. 243. 244. 245. 246. 247. 248. 249. 250. 251. 252. 253. 254. 255. 256. 257. 258. 259. 260. 261. 262. 263. 264. 265. 266. 267. 268. 269. 270. 271. 272. 273. 274. 275. 276. 277. 278. 279. 280. 281. 282. 283. 284. 285. 286. 287. 288. 289. 290. 291. 292. 293. 294. 295. 296. 297. 298. 299. 300. 301. 302. 303. 304. 305. 306. 307. 308. 309. 310. 311. 312. 313. 314. 315. 316. 317. 318. 319. 320. 321. 322. 323. 324. 325. 326. 327. 328. 329. 330. 331. 332. 333. 334. 335. 336. 337. 338. 339. 340. 341. 342. 343. 344. 345. 346. 347. 348. 349. 350. 351. 352. 353. 354. 355. 356. 357. 358. 359. 360. 361. 362. 363. 364. 365. 366. 367. 368. 369. 370. 371. 372. 373. 374. 375. 376. 377. 378. 379. 380. 381. 382. 383. 384. 385. 386. 387. 388. 389. 390. 391. 392. 393. 394. 395. 396. 397. 398. 399. 400. 401. 402. 403. 404. 405. 406. 407. 408. 409. 410. 411. 412. 413. 414. 415. 416. 417. 418. 419. 420. 421. 422. 423. 424. 425. 426. 427. 428. 429. 430. 431. 432. 433. 434. 435. 436. 437. 438. 439. 440. 441. 442. 443. 444. 445. 446. 447. 448. 449. 450. 451. 452. 453. 454. 455. 456. 457. 458. 459. 460. 461. 462. 463. 464. 465. 466. 467. 468. 469. 470. 471. 472. 473. 474. 475. 476. 477. 478. 479. 480. 481. 482. 483. 484. 485. 486. 487. 488. 489. 490. 491. 492. 493. 494. 495. 496. 497. 498. 499. 500. 501. 502. 503. 504. 505. 506. 507. 508. 509. 510. 511. 512. 513. 514. 515. 516. 517. 518. 519. 520. 521. 522. 523. 524. 525. 526. 527. 528. 529. 530. 531. 532. 533. 534. 535. 536. 537. 538. 539. 540. 541. 542. 543. 544. 545. 546. 547. 548. 549. 550. 551. 552. 553. 554. 555. 556. 557. 558. 559. 560. 561. 562. 563. 564. 565. 566. 567. 568. 569. 570. 571. 572. 573. 574. 575. 576. 577. 578. 579. 580. 581. 582. 583. 584. 585. 586. 587. 588. 589. 590. 591. 592. 593. 594. 595. 596. 597. 598. 599. 600. 601. 602. 603. 604. 605. 606. 607. 608. 609. 610. 611. 612. 613. 614. 615. 616. 617. 618. 619. 620. 621. 622. 623. 624. 625. 626. 627. 628. 629. 630. 631. 632. 633. 634. 635. 636. 637. 638. 639. 640. 641. 642. 643. 644. 645. 646. 647. 648. 649. 650. 651. 652. 653. 654. 655. 656. 657. 658. 659. 660. 661. 662. 663. 664. 665. 666. 667. 668. 669. 670. 671. 672. 673. 674. 675. 676. 677. 678. 679. 680. 681. 682. 683. 684. 685. 686. 687. 688. 689. 690. 691. 692. 693. 694. 695. 696. 697. 698. 699. 700. 701. 702. 703. 704. 705. 706. 707. 708. 709. 710. 711. 712. 713. 714. 715. 716. 717. 718. 719. 720. 721. 722. 723. 724. 725. 726. 727. 728. 729. 730. 731. 732. 733. 734. 735. 736. 737. 738. 739. 740. 741. 742. 743. 744. 745. 746. 747. 748. 749. 750. 751. 752. 753. 754. 755. 756. 757. 758. 759. 760. 761. 762. 763. 764. 765. 766. 767. 768. 769. 770. 771. 772. 773. 774. 775. 776. 777. 778. 779. 780. 781. 782. 783. 784. 785. 786. 787. 788. 789. 790. 791. 792. 793. 794. 795. 796. 797. 798. 799. 800. 801. 802. 803. 804. 805. 806. 807. 808. 809. 810. 811. 812. 813. 814. 815. 816. 817. 818. 819. 820. 821. 822. 823. 824. 825. 826. 827. 828. 829. 830. 831. 832. 833. 834. 835. 836. 837. 838. 839. 840. 84

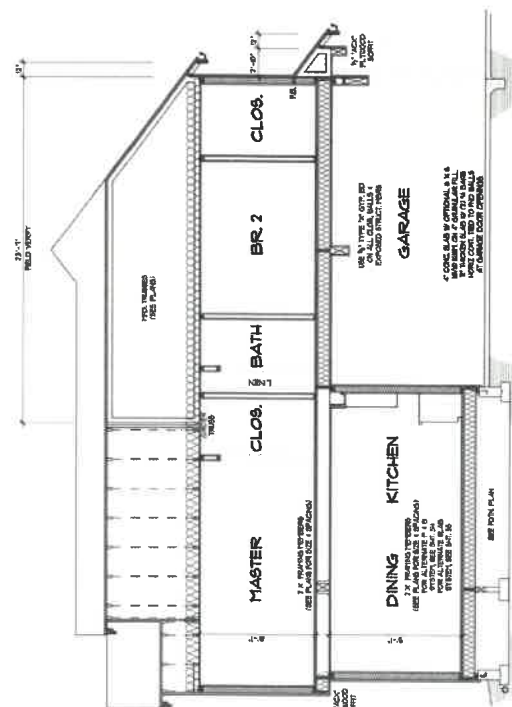
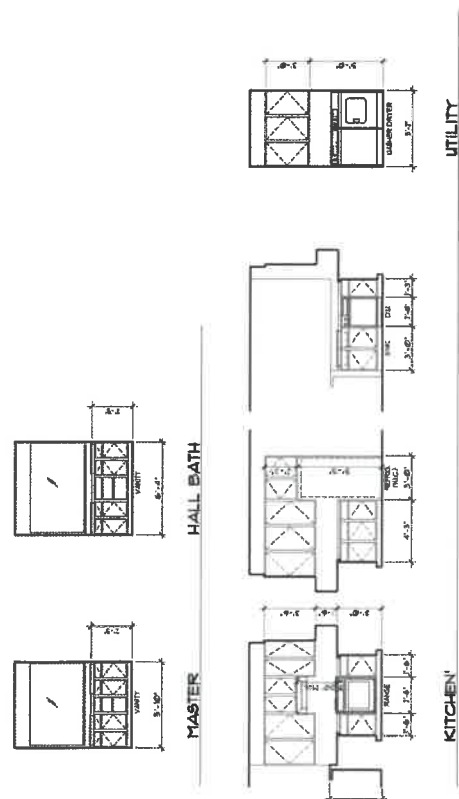
© 2006 ALVIN MARGOLD DESIGN ASSOCIATES



C BUILDING SECTION
SCALE: 1/4" = 1'-0"



A BUILDING SECTION
SCALE: 1/4" = 1'-0"



B BUILDING SECTION
SCALE: 1/4" = 1'-0"

COPYRIGHT © 2008 ALAN WARDRO DESIGN ASSOCIATES INC.

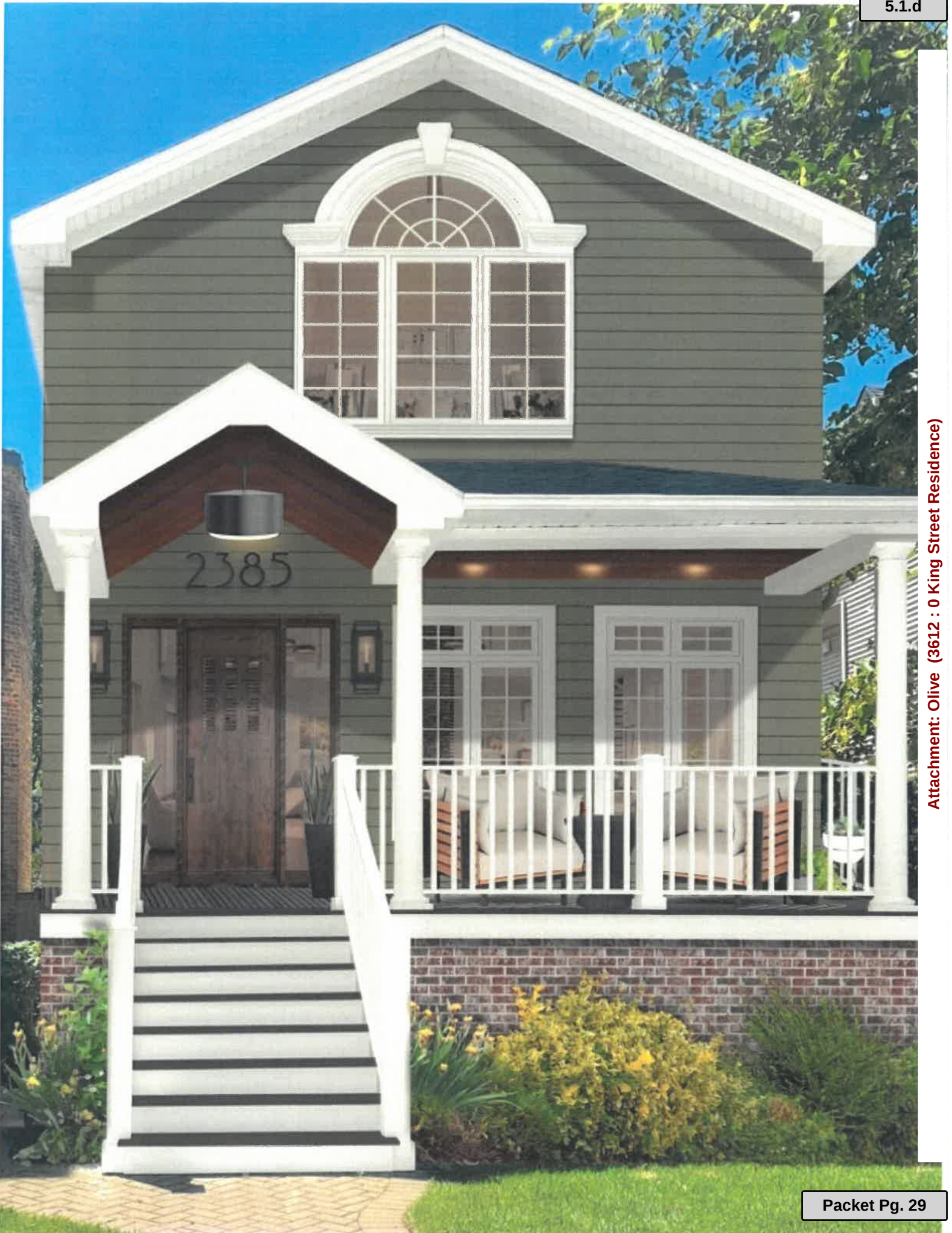
5.1.c



UPPER FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

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Attachment: Construction Plans (3612 : 0 King Street Residence)



Attachment: Olive (3612 : 0 King Street Residence)



MEMORANDUM

To: Patrick Jackson
Jackson Executive Consultants

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: November 14, 2023

Re: Notification of Request for Historic Preservation Commission – New House, 0 King St, Parcel No. 12016A D004

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for a review of a new house design located at 0 King Street, Jonesboro, Georgia 30236.

A hearing has been scheduled for Monday, November 20, 2023 at 5:30 pm before the Historic Preservation Commission at 1859 City Center Way, Jonesboro to consider the request as described above. You are invited to attend if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.2

- 2

COUNCIL MEETING DATE
November 20, 2023

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider a Certificate of Appropriateness for Residence – 108 Pine Circle; Parcel No. 13240D D002; Clarification of allowability of lime washing brick in Historic Residential Overlay.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

Section 86-98 R-4 District Purpose and Standards; 86-111 Historic Residential Overlay Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Denial**; Recently, the applicant purchased the existing residence at 108 Pine Circle. A few months ago, he informed me about doing some minor renovations to the residence, including painting the exterior brick. I informed him that this was not allowed in the Historic Residential Overlay. **Later, he came back with a counter proposal of “lime washing” the exterior brick.**

(g) Architectural design standards. The following standards shall control renovation, new construction and development in the historic residential overlay:

(1) Rehabilitation. Careful maintenance of the existing historic design, materials and details of structures in the overlay is encouraged. Rehabilitative efforts shall include the use of materials compatible with the architectural style of the historic structure (see article VII, Architectural style and scale for guidance on specific historic styles and building materials traditionally found in Jonesboro).

b. Building materials.

1. Historic building materials shall be maintained.

2. **Unpainted brick facades shall remain unpainted.**

3. Damaged exterior materials shall be treated with materials that will not cause further deterioration, including the use of an historic mortar mix of an appropriate color when repointing brick.

4. Maintenance of all building materials shall adhere to the secretary of interior's standards for rehabilitation and other resources on file with the office of downtown development.

Limewash is a type of whitewash made from crushed limestone and water. Color pigments are often added to limewash. Limewash is painted on the brick with brushes and, like paint, is capable of slowing the deterioration of the brick.

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Melissa Brooks, Interim City Clerk

Date

November, 20, 2023

Signature

City Clerk's Office



The Design Review Commission must address two issues:

1. Do they consider lime washing the same as painting?
2. If not, what are the pros and cons of lime washing?

Pros and Cons

Pros

- Non-toxic
- Inexpensive
- Breathable
- Bacteria- and mold-resistant
- Will not peel or chip

Cons

- Difficult to clean
- Limited color range
- Scuffs off
- Cannot be washed
- Inconsistent

In terms of overall aesthetics, the cons seem to outweigh the pros.

Design Review Commission recommendation, 11.1.23: Lime wash acceptable; not considered paint; Will you paint the rest (non-brick) of the house? Grey or white; Navy blue elements?

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- House Pictures

- Lime Wash
- Acceptance Letter HPC

5.2

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Denial



Attachment: House Pictures (3613 : 108 Pine Circle Exterior)



Attachment: House Pictures (3613 : 108 Pine Circle Exterior)

HOME IMPROVEMENT > PAINTING > EXTERIOR PAINTING

Limewashed Brick: Everything You Need to Know

By [LEE WALLENDER](#) | Updated on 07/27/23Reviewed by [JOHNATHAN BREWER](#)

Ronda Kimbrow Photography / Getty Images

Trending Videos

IN THIS ARTICLE

[What Is Limewashed Brick?](#)[Appearance](#)[SKIP TO CONTENT](#) [wash Paint](#)

so cook them in
recipes with lots of
other strong ingredients.”

Emilie Berner, Institute of Culinary Education

Attachment: Lime Wash (3613 : 108 Pine Circle Exterior)

[Pros and Cons](#)[Application Methods](#)[How to Limewash Brick](#)[Tips for Limewashing Brick](#)[FAQs](#)

Limewashed brick is distinctive and instantly recognizable for its textured patina that lets brick look like brick, instead of like painted brick. Limewash's semi-transparent consistency can improve brick that has a monotonous appearance by giving it a rich look akin to historical buildings.

Limewashing brick is an alternative to painting brick with [latex paint](#), which negates much of brick's rich feel and is often viewed as an irreversible step. When limewash is made from raw ingredients, it's also a cost-saver over paint.

What Is Limewashed Brick?

Limewash is a [type of whitewash](#) made from crushed limestone and water. Color pigments are often painted on the brick with brushes, but this can lead to the deterioration of the brick.

Trending Videos

Latex [house paint](#) forms a coating that can also trap moisture inside. While paint is breathable, as it allows the pores to breathe, trapped moisture is one reason why paint can cause brick to deteriorate.

[SKIP TO CONTENT](#)

Limewash is an option for anyone who wants the look of whitewashed brick but is hesitant to use paint polymers on the brick since true limewash is always 100-percent mineral-based.

Appearance

With a flat and chalky finish, limewash is semi-transparent with one coat and becomes more opaque with added coats or thicker batches.

Much of the color of brick will show through one coat of limewash. Two or more coats of limewash produce a color closer to that of [exterior house paint](#), though some brick color will show through in places.

With multi-colored brick, the darker bricks will show through the limewash for a variegated appearance.

Tip

One reason limewash gives brick an older, historic look is that limewash was widely used on buildings in Europe and the Mediterranean as a low-cost and effective way to slow deterioration, reduce heat gain, and to repel insects.

Trending Videos

Buying Limewash

Purchasing pre-mixed limewash is a convenient way to limewash

The limewash paint may also be available in a variety of colors, including neutral or earthy tones.

[SKIP TO CONTENT](#)

Whitewash can be made with highly diluted latex house paint, but only limewash is made specifically from limestone and other minerals. Whitewash made from latex paint tends to sit on the surface of the brick more than limewash, which more easily soaks into the brick's pores.

Paint-based whitewash may be a better choice, though, if you want more color choices since paint's palette of colors runs into the thousands.

Pros and Cons

Pros

- Non-toxic
- Inexpensive
- Breathable
- Bacteria- and mold-resistant
- Will not peel or chip

Cons

- Difficult to clean
- Limited color range
- Scuffs off
- Cannot be washed
- Inconsistent

Trending Videos

[SKIP TO CONTENT](#)

How long does limewashing brick last?

Limewashed brick generally will last from five to seven years before it needs to be reapplied.

Does limewash change the color of brick?

Limewash will change the color of the brick. Thin limewash can be mixed so that the brick's color is only minimally changed, with much of the brick color showing through. Thicker limewash can be mixed or more coats applied for a more uniform color consistency, much like house paint.

Is limewash expensive?

Limewash that you mix yourself from hydrated lime and water is inexpensive. Fifty pounds of hydrated lime costs \$20 to \$30. Pre-mixed limewash paint costs about the same as latex exterior house paint or about \$50 to \$60 per gallon. One gallon of limewash paint will cover about 250 square feet of brick.

READ NEXT: [How to Remove Paint From Brick With Paint Stripper](#)

Article Sources 

Trending Videos

More frc

SKIP TO CONTENT



MEMORANDUM

To: Vin Kelty
108 Pine Circle
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: November 14, 2023

Re: Notification of Request for Historic Preservation Commission – Exterior Change,
108 Pine Circle, Parcel No. 13240D D002

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for a review of an exterior change located at 108 Pine Circle, Jonesboro, Georgia 30236.

A hearing has been scheduled for Monday, November 20, 2023 at 5:30 pm before the Historic Preservation Commission at 1859 City Center Way, Jonesboro to consider the request as described above. You are invited to attend if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter HPC (3613 : 108 Pine Circle Exterior)

| | | |
|---|---|---|
|  | CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary | Agenda Item #
<div style="border: 1px solid black; padding: 2px; display: inline-block; background-color: #f0f0f0;">5.3</div>
- 3 |
| | | COUNCIL MEETING DATE
November 20, 2023 |
| Requesting Agency (Initiator)
Office of the City Manager | Sponsor(s)
Community Development Director Allen | |
| Requested Action <i>(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)</i>
Historic Preservation Commission to consider a Certificate of Appropriateness for Commercial Addition – 211 North Main Street; Parcel No. 13240D D010; New addition to existing business in Historic District. | | |
| Requirement for Board Action <i>(Cite specific Council policy, statute or code requirement)</i>
City Code Section 86-102 H-1 Historic District Standards | | |
| Is this Item Goal Related? <i>(If yes, describe how this action meets the specific Board Focus Area or Goal)</i>
Yes Economic Development, Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation | | |
| Summary & Background <i>(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)</i>

<div style="color: red;"> Agency recommendation – Approval of exterior design of addition; 211 North Main Street has been a functioning gas station for many years and is one of the more modern looking buildings in the Historic District. Recently, the owner has proposed an addition to the south side of the building for a future ice cream shop, requiring Design Review Commission and Historic Preservation Commission review. The gas station has always been a block / stucco structure, and the addition will continue the same materials and color scheme (blue/white) as the existing store.

 Though unsightly in terms of historic design standards, it is best if the addition does not depart significantly in appearance from the rest of the existing building. The addition will have more glass than the older portion of the building.

 Design Review Commission recommendation, 11.1.23: Revise and bring back; Distinguish visually the new business addition from the convenience store / gas station; Add parapet, sign cabinet area, awning, slight color change from convenience store, and outdoor patio seating area; provide planters or landscaping where possible; dual entry – outside of convenience store and inside also. </div> | | |
| Fiscal Impact <i>(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)</i>

Private owner | | |
| Exhibits Attached <i>(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)</i>

<ul style="list-style-type: none"> Property Pictures Addition - Original Acceptance Letter | | |
| Staff Recommendation <i>(Type Name, Title, Agency and Phone)</i>
Denial | | |

| FOLLOW-UP APPROVAL ACTION (City Clerk) | | |
|---|-----------------------------------|--|
| Typed Name and Title
Melissa Brooks, Interim City Clerk | Date
November, 20, 2023 | |
| Signature | City Clerk's Office | |

Google Maps 213 N Main St

Jonesboro, Georgia

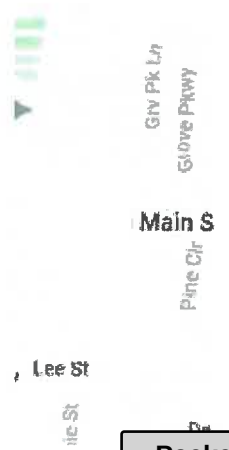
Google Street View

Nov 2022

See more dates



Image capture: Nov 2022 © 2023 Google



Google Maps 213 N Main St

Jonesboro, Georgia

Google Street View

Nov 2022 See more dates



Image capture: Nov 2022 © 2023 Google

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Google Maps 209 N Main St



Jonesboro, Georgia

Google Street View

Nov 2022

See more dates

Image capture: Nov 2022 © 2023 Google

ICE CREAM SHOP EXTENSION

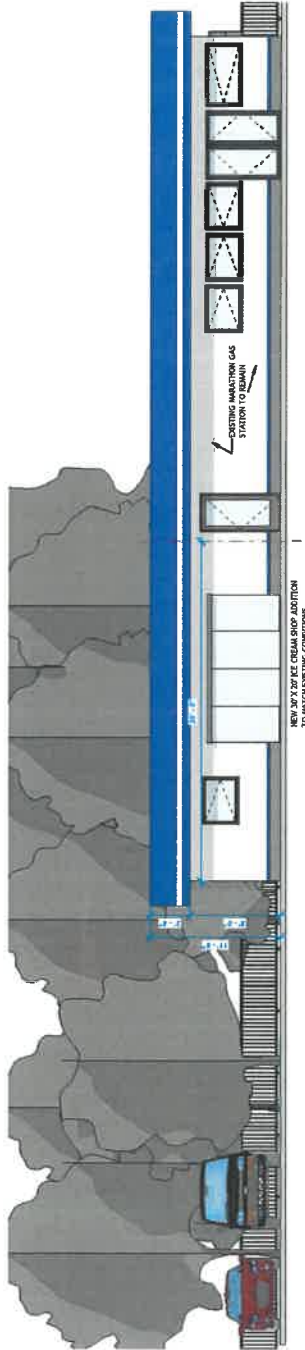
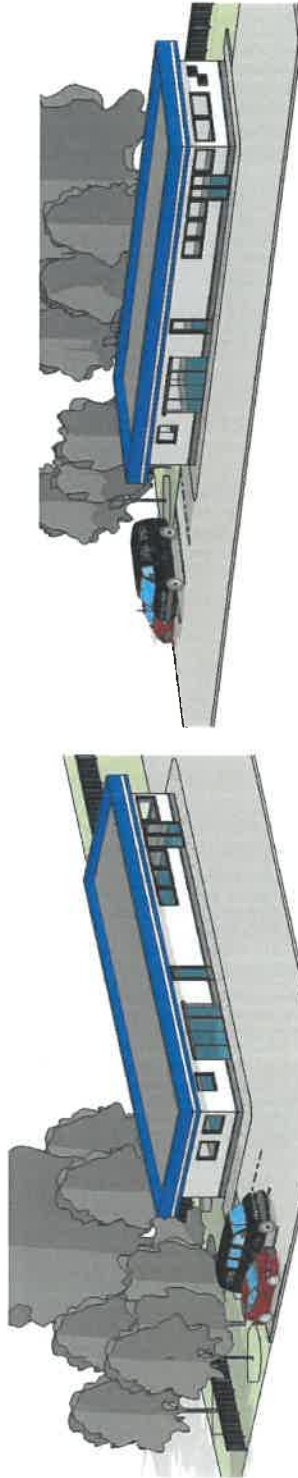
General Notes

| NO. | REVISION/ISSUE | DATE |
|-----|----------------|------|
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| | | |
| | | |

SCADS LLC
328 Goldenrod Drive
Stockbridge, GA 30281

MARATHON PETROLEUM
200 N MAIN STREET
JONESBORO, GA 30236

| | |
|--------------|------------|
| Project Name | MARATHON |
| Date | 10-20-2023 |
| Scale | NTS |
| A1 | |





MEMORANDUM

To: Stephen Clinkscale
211 North Main Street
Jonesboro, Ga 30236

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: November 14, 2023

Re: Notification of Request for Historic Preservation Commission – Building Addition, 211 North Main Street, Parcel No. 13240D D010

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for a review of a building addition located at 211 North Main Street, Jonesboro, Georgia 30236.

A hearing has been scheduled for Monday, November 20, 2023 at 5:30 pm before the Historic Preservation Commission at 1859 City Center Way, Jonesboro to consider the request as described above. You are invited to attend if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

| | | |
|--|---|---|
|  | CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary | Agenda Item # 5.4
- 4 |
| | | COUNCIL MEETING DATE
November 20, 2023 |
| Requesting Agency (Initiator)
Office of the City Manager | Sponsor(s)
Community Development Director Allen | |
| Requested Action <i>(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)</i>
Historic Preservation Commission to consider a Certificate of Appropriateness for First Baptist Church Jonesboro – 142 College Street; Parcel No. 13241C C014; Revised ground sign panel for church in Historic Residential Overlay. | | |
| Requirement for Board Action <i>(Cite specific Council policy, statute or code requirement)</i>
City Code Section 86-111 H-1 Historic Residential Overlay Standards | | |
| Is this Item Goal Related? <i>(If yes, describe how this action meets the specific Board Focus Area or Goal)</i>
Yes Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation | | |
| Summary & Background <i>(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)</i>
<p style="color: red; margin-top: 10px;"> Agency recommendation – Approval of replacement panel; First Baptist Church of Jonesboro has been in its location off of College Street for many decades. The large brick sign framework at the main entrance has had digital animated display for some time. Recently, the church asked about changing the digital sign to be a sign with a non-digitized panel in it. The size, height, location, and material (brick) of the sign would stay the same. The panels would be changed out per season – Easter, Christmas, etc. </p> <p>The same color scheme of the church would apply. Historic areas are usually restricted from having digitized displays.</p> <p style="color: red; margin-top: 10px;"> Design Review Commission recommendation, 11.1.23: Approval; Would like to see samples of each seasonal panel; Would they have to get approval for each new seasonal panel? Same logo and colors of church now? </p> | | |
| Fiscal Impact <i>(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)</i>

Private Owner | | |
| Exhibits Attached <i>(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)</i> <ul style="list-style-type: none"> Existing Sign Existing Sign2 Replacement Panel Acceptance Letter - HPC | | |

| FOLLOW-UP APPROVAL ACTION (City Clerk) | | |
|---|-----------------------------------|--|
| Typed Name and Title
Melissa Brooks, Interim City Clerk | Date
November, 20, 2023 | |
| Signature | City Clerk's Office | |

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

Google Maps 142 College St

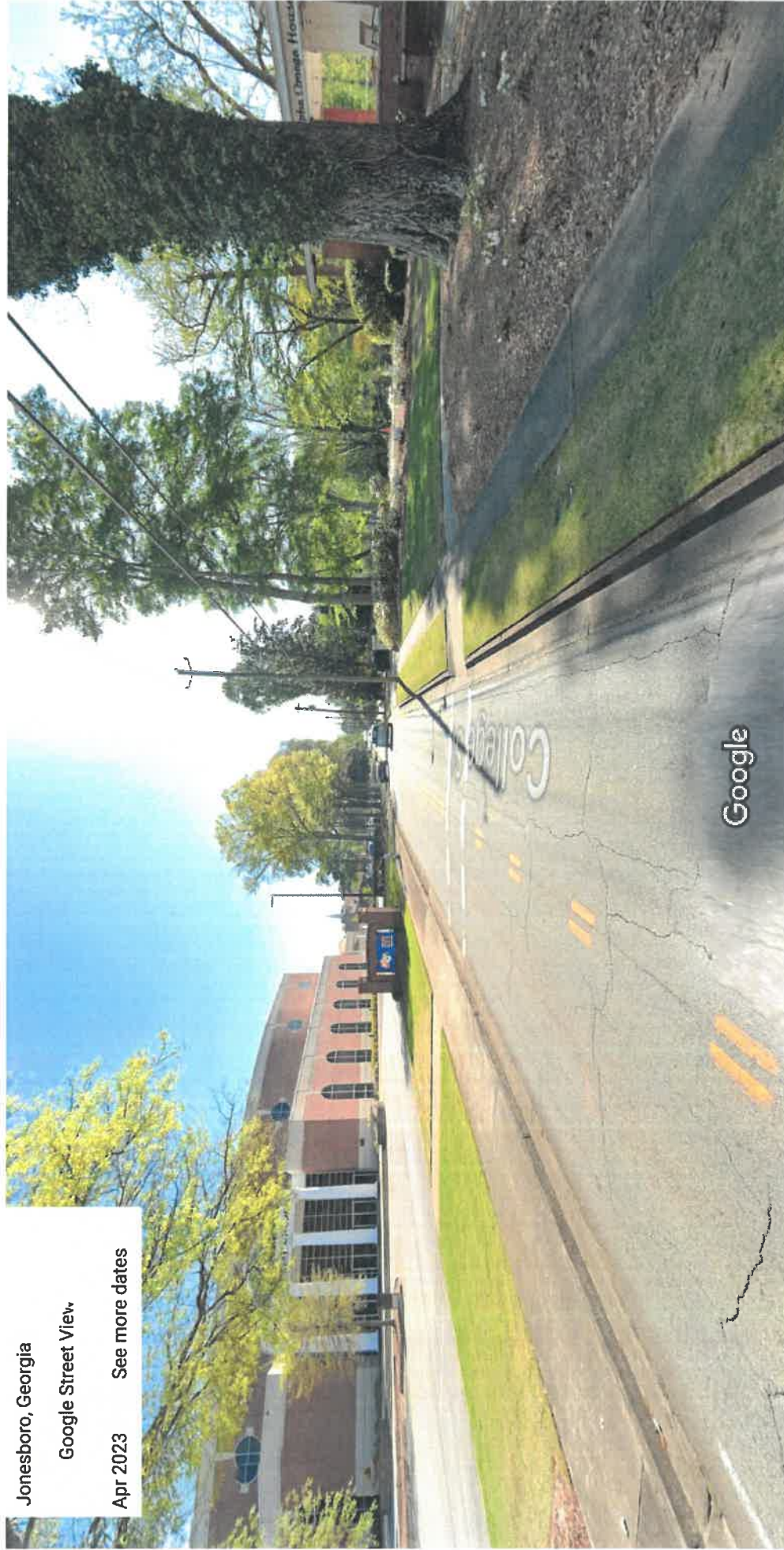


Image capture: Apr 2023 © 2023 Google



Google Maps 142 College St

Jonesboro, Georgia

Google Street View

Apr 2023 See more dates

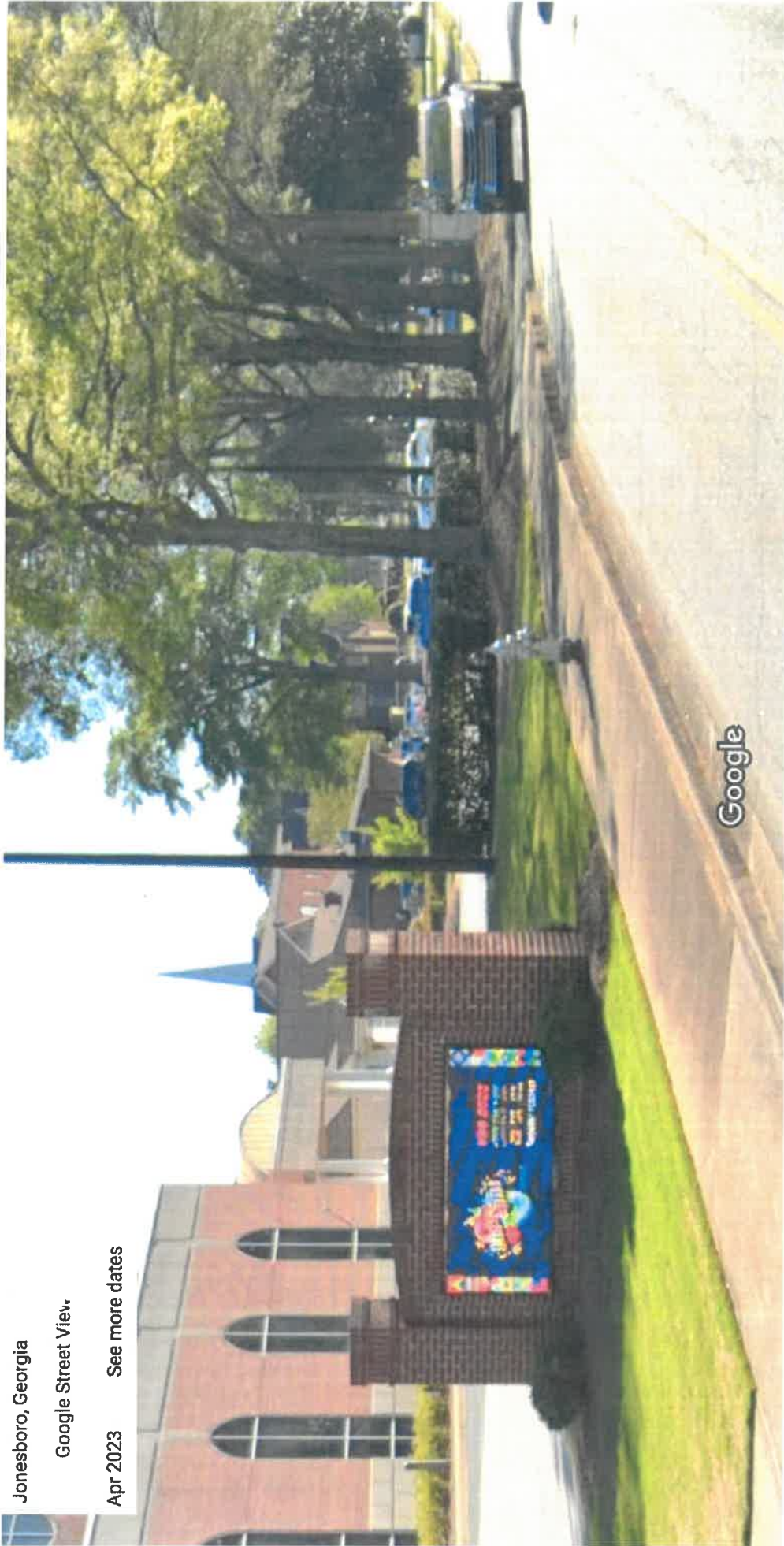
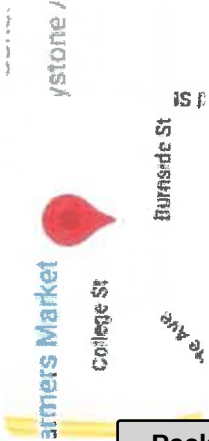


Image capture: Apr 2023 © 2023 Google





Attachment: Existing Sign2 (3615 : 142 College Street Sign)



Attachment: Existing Sign2 (3615 : 142 College Street Sign)

David Allen

From: Gary Lewis <glewis@fbcjonesboro.com>
Sent: Monday, October 23, 2023 1:19 PM
To: David Allen
Subject: Sign change at FBC Jonesboro
Attachments: Mount Paran Outdoor Sign B.pdf

Hello Mr. Allen,

In light of your role as Interim City Manager, I was unaware if you were still my "go to" with regards to sign changes on our church campus.

If so, we want to change our digital sign located along College Street to be a sign with a non-digitized sign in it. If you look at the picture attached, you will see an example from Mt. Paran Church (2055 Mt Paran Rd NW, Atlanta, GA 30327) and what they did in replacing their digital sign which is very similar to what we want to do to our sign.

I look forward to hearing from you,

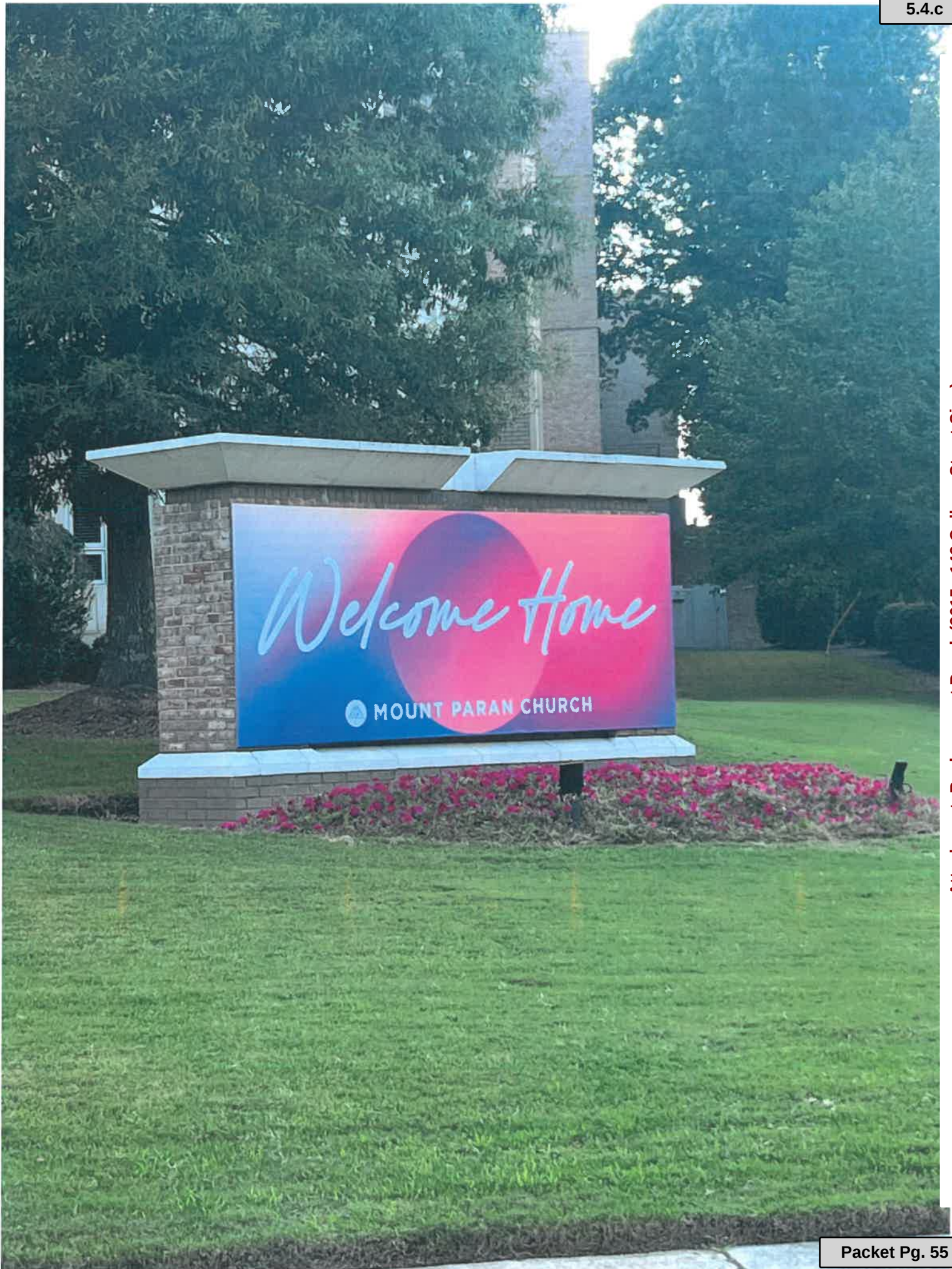
GARY LEWIS

Executive Pastor



Office 770.478.6710
Cell 678.373.2103
Email glewis@fbcjonesboro.com

Attachment: Replacement Panel (3615 : 142 College Street Sign)



Attachment: Replacement Panel (3615 : 142 College Street Sign)



MEMORANDUM

To: Gary Lewis
First Baptist Church of Jonesboro
Jonesboro, Ga 30236

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: November 14, 2023

Re: Notification of Request for Historic Preservation Commission – Replacement
Sign Panel, 142 College Street, Parcel No. 13241C C014

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for a review of a sign panel located at 142 College Street, Jonesboro, Georgia 30236.

A hearing has been scheduled for Monday, November 20, 2023 at 5:30 pm before the Historic Preservation Commission at 1859 City Center Way, Jonesboro to consider the request as described above. You are invited to attend if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter - HPC (3615 : 142 College Street Sign)



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

5.5

- 5

COUNCIL MEETING DATE

November 20, 2023

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Board Member Sartor

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider a Certificate of Appropriateness for Residence – 222 Lee Street; Parcel No. 13240D D021; Change of exterior for accessory building in Historic Residential Overlay.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

Sec. 86-97. R-2 Single Family Residential Regulations; Sec. 86-111. Historic Residential Overlay Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of accessory building exterior**; Recently, the new property owner began taking off the existing wood siding on the accessory building just behind the house on the property. Per the applicant:

We are currently working on the residential property exterior garage located at 222 Lee Street. No changes will be made to the original structure. We are simply making minor renovations for safety and aesthetic purposes. Please let me know if you have any concerns regarding this. The cement coating will protect it from water and he told me he intends to put back similar colored siding on the side facing the street.

The size, location, and configuration of the doors and windows for the shed have remained the same. Most of the shed now display a new siding similar in color to the previous siding. The stone skirt at the bottom is earth tone in color and compliments the new driveway. The shed is definitely upgraded from its original state. However, when the owner was asked to stop work until the November Historic Preservation hearing, he still completed the project.

Other items on the property:

1. The existing driveway and front sidewalk, which was deteriorated concrete, was recently replaced with nice stone pavers in the same location as before. Normally, the City does not require a permit for a replacement driveway in the same place as the original that does not require a new curb cut. The stone pavers give a more "historic" feel to the property.
2. The brick foundation skirt for the home was recently replaced by the owner, despite this not being communicated to the Community Development office nor approved by the Historic Preservation Commission. Although the stone coordinates well with the newly renovated shed and the driveway, Per Historic Residential Overlay standards:

d. Foundations.

- 1. The original design and materials of the foundation, open pier foundation and porch pier foundation shall be maintained.*
- 2. Unpainted historic masonry foundations shall not be painted.*
- 3. Concrete block is not permitted as a foundation material.*

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Melissa Brooks, Interim City Clerk

Date

November, 20, 2023

Signature

City Clerk's Office

Fiscal Impact*(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)*

Private Owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Existing Exterior
- Renovated Exterior
- Acceptance Letter - HPC

Staff Recommendation *(Type Name, Title, Agency and Phone)***Approval of Accessory Building**

Google Maps 218 Lee St

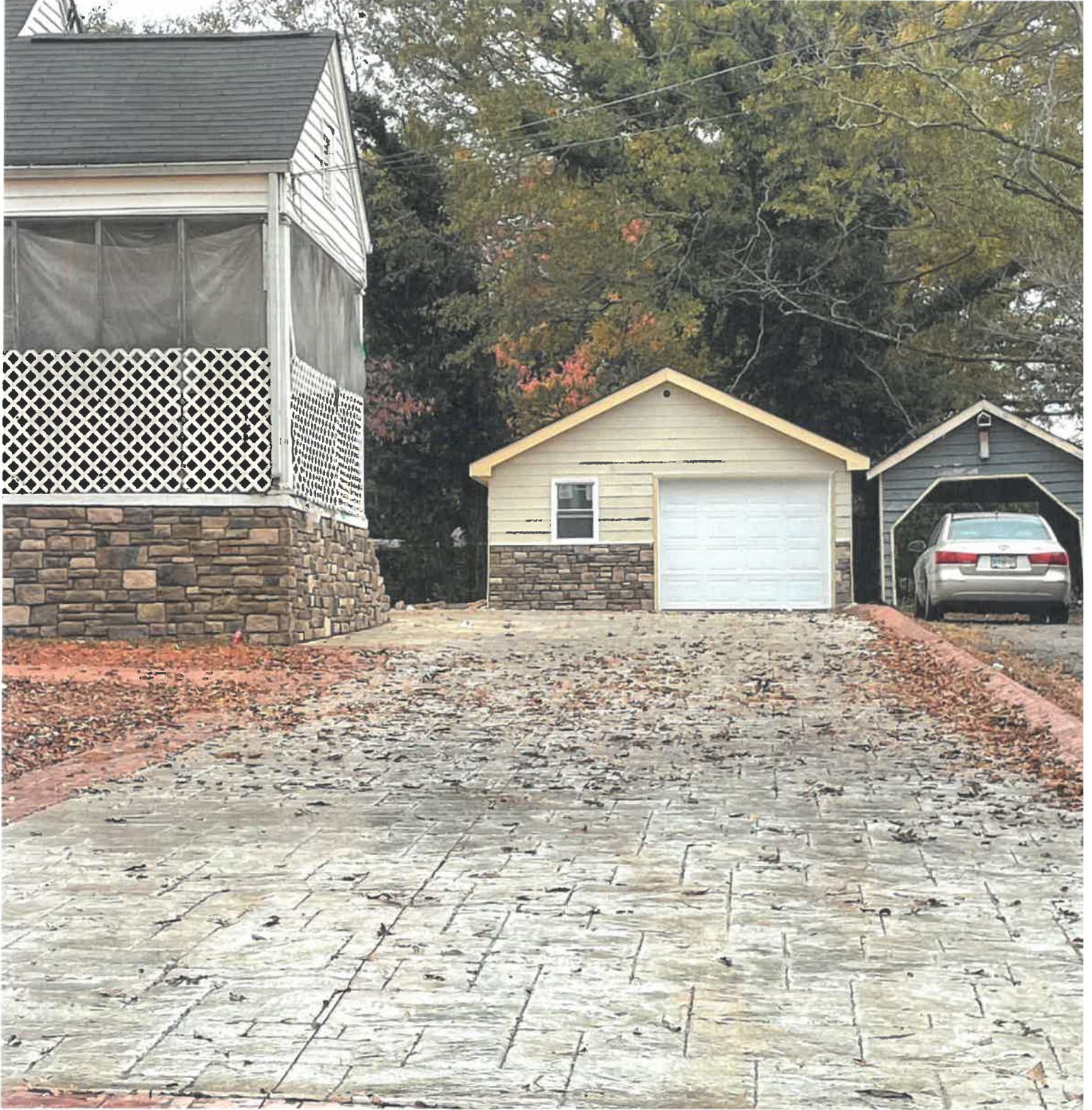


Jonesboro, Georgia
Google Street View
Jan 2022 See more dates

Image capture: Jan 2022 © 2023 Google



Attachment: Existing Exterior (3616 : 222 Lee Street Improvements)



Attachment: Renovated Exterior (3616 : 222 Lee Street Improvements)



MEMORANDUM

To: Albert Solano
204 Lee Street
Jonesboro, Ga 30236

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: November 14, 2023

Re: Notification of Request for Historic Preservation Commission – Accessory
Building, 222 Lee Street, Parcel No. 13241C C014

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for a review of an accessory building located at 222 Lee Street, Jonesboro, Georgia 30236.

A hearing has been scheduled for Monday, November 20, 2023 at 5:30 pm before the Historic Preservation Commission at 1859 City Center Way, Jonesboro to consider the request as described above. You are invited to attend if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in blue ink, appearing to be "D. Allen", with a long horizontal stroke extending to the right.

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.6

- 6

COUNCIL MEETING DATE
November 20, 2023

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action *(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)*

Historic Preservation Commission to consider waiving waiting period for proposed demolition of existing building in Historic District at 217 South Main Street; Parcel No. 05241D A001.

Requirement for Board Action *(Cite specific Council policy, statute or code requirement)*

City Code Section 86-103 – H-2 Zoning Purpose and Standards

Is this Item Goal Related? *(If yes, describe how this action meets the specific Board Focus Area or Goal)*

Yes

Community Planning, Neighborhood and Business Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of waiver of waiting period for demolition of existing house;** Recently, a new townhome development with certain developmental variances was approved for the property at 217 South Main Street. Construction should start around the first of the new year. The property is within the Historic District (H2).

There is an existing house on the property, which has no relevance to the new development and is within the right-of-way of one of the new streets that will be required for the townhome development.

Per the section 86-103,

*(g) Delay in demolition of historic buildings. From and after the designation of a historic district, no building or structure therein shall be demolished or otherwise removed until the owner thereof shall have given the historic preservation commission via the director of downtown development's office 120 days' written notice of his proposed action. Upon receiving written notice, the city shall erect a sign on the property to indicate that the building or structure is proposed for demolition. During such 120-day period the historic preservation commission may negotiate with the owner and with any other parties in an effort to find a means of preserving the building. **Should the historic preservation commission find that the building involved has no particular historic significance or value toward maintaining the character of the district, it may waive all or part of such 90-day period and authorize earlier demolition or removal.** In making a determination of a building's particular historic significance, the historic preservation commission shall refer to the most recent inventory of historic buildings kept on file at the office of downtown development.*

The building does date to 1905 but is in bad shape and has not been lived in in several years. Staff recommends a full waiver from the demolition waiting period, as the preservation of the home will directly conflict with the approved development plans for the townhomes, and clearing and grading will start this winter.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Melissa Brooks, Interim City Clerk

Date

November, 20, 2023

Signature

City Clerk's Office

- Property Info
- Site Plan
- Foxtrail_HistoricalCommission_Waiver_Letter
- Acceptance Letter 217 South Main Street Home Demolition HPC

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval

Google Maps



Imagery ©2023 Airbus, Maxar Technologies, Map data ©2023 20 ft

Google Maps 209 S Main St



Jonesboro, Georgia

Google Street View

Feb 2023

See more dates

Image capture: Feb 2023 © 2023 Google



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PARID: 05241D A001

TURNER PANITZ TERESA T AND TURNER LISA

NBHD: 33004

217 S MAIN ST

1 of 2

[Return to Search Results](#)

Year: 2023 ▼

Actions[Printable Summary](#)[Printable Version](#)**Reports**

[Attribute Export](#)
[Mailing List](#)
[Sales](#)
[Residential PRC \(New\)](#)
[Residential PRC \(Old\)](#)
[Tax Bill](#)
[Mobile Home Bill](#)
[Commercial PRC](#)
[Sketch Print](#)

Go

Residential Characteristics

| | |
|--------------------------|-----------|
| Year | 2023 |
| Card # | 1 |
| Stories | 1 |
| Roof Type and Covering | - / - |
| Exterior Walls | 1 - FRAME |
| Year Built | 1905 |
| % Complete | 100% |
| Effective Year Built | 1905 |
| Living Area | 3,266 |
| Total Rooms | 8 |
| Bedrooms | 3 |
| Full Baths | 2 |
| Half Baths | |
| Foundation | 1 - SLAB |
| Total Basement Area | |
| Finished Basement Area | |
| Unfinished Basement Area | |
| Basement Rec Area | |
| Pre Fab Fireplace | |
| Masonry Fireplace | |

Amenities

| Description | Number | Value |
|-----------------|--------|-------|
| ADDITION POINTS | 5.50 | 0 |

Values - Assessment

| | |
|-------------------------|---------|
| Year | 2023 |
| Land FMV | 77,000 |
| Improvement - FMV | 122,900 |
| Total - FMV | 199,900 |
| Land - 40% Value | 30,800 |
| Improvement - 40% Value | 49,160 |
| Total - 40% Value | 79,960 |
| Class | R3 |
| Return Value | |
| Ag/CUVA Value | |

Appeal and Sales Information

| | |
|------------------|-----------------------------|
| Appeal Type | N- VALUE CHANGE NOTICE SENT |
| Appeal Status | |
| Latest Sale Date | |
| Sale Price | |

TAX COMMISSIONER

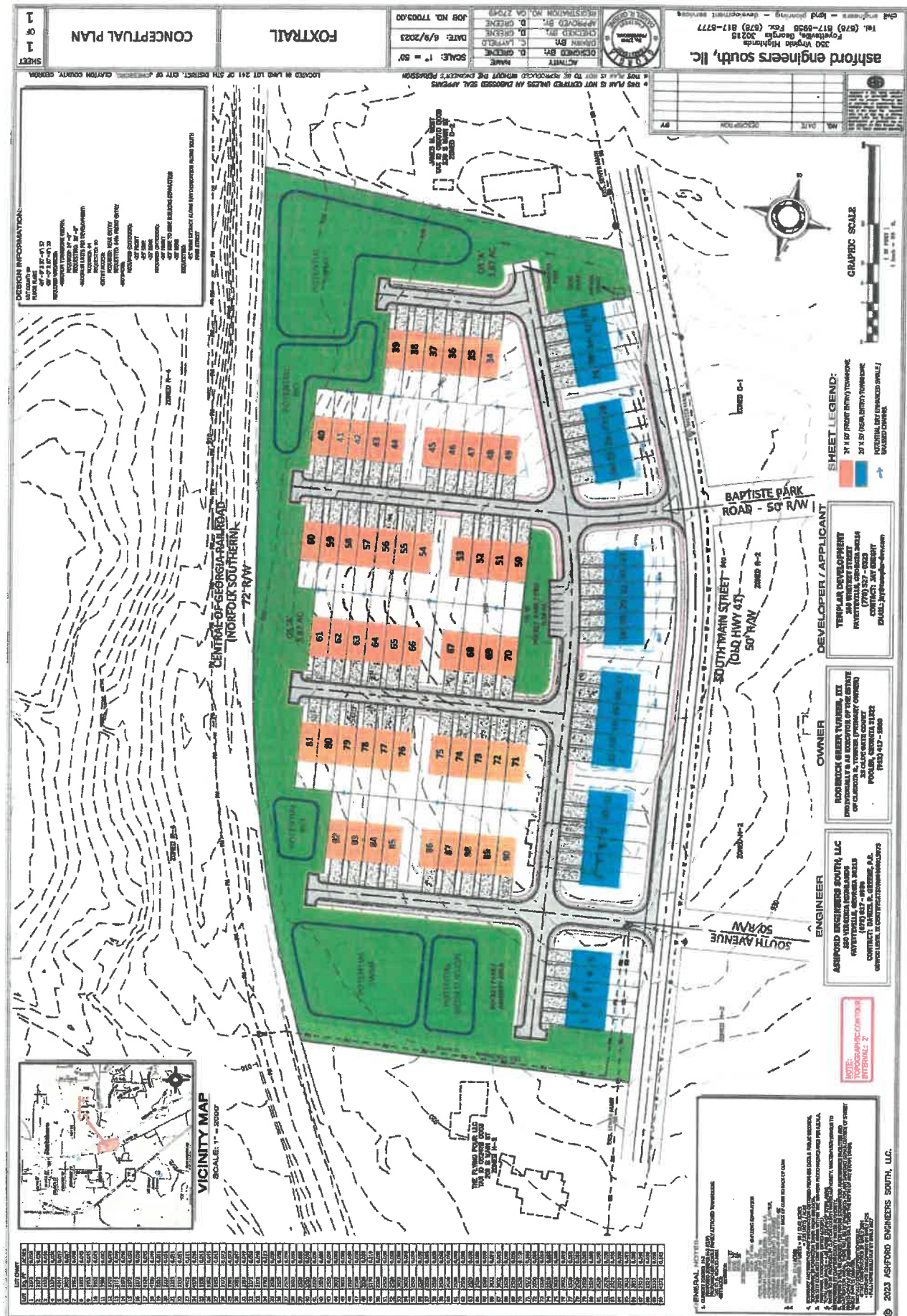
Clayton County Administration
Annex 3, 2nd Floor
121 South McDonough Street
Jonesboro, GA 30236

Property Tax: (770) 477-3311

TAX ASSESSOR

P.K Dixon
Annex 2, 2nd Floor
121 South McDonough Street
Jonesboro, GA 30236

Phone: (770) 477-3285



ashford engineers south, LLC

350 Virginia Highlands
Fayetteville, GA 30215 USA
Tel 678.817.6956

November 13, 2023

Mr. David D. Allen, RLA
Community Development Director / Zoning Administrator / Interim City Manager
City of Jonesboro
Department of Planning & Zoning
1859 City Center Way
Jonesboro, Georgia 30236

RE: **Foxtrail Subdivision: Historic Preservation Commission Request**
217 South Main Street
City of Jonesboro, Clayton County, Georgia
Ashford Ref. No. 23-T7005

Dear Mr. Allen:

The purpose of this letter is to follow up our prior development requests for the subject property located at 217 South Main Street, within the limits of the City of Jonesboro. As you are aware Ashford Engineers South, LLC has been contracted by Templar Development to prepare development plans for their project. The proposed development is for a ninety (90) lot townhome development. To complete this development, the developer will need to demolish the existing structures on the site, which have been deemed historical. Please accept this letter as the official request to waive the Historical Commission's one hundred twenty (120) day study period, as the developer plans to move forward with development as soon as the development is properly permitted.

Please let me know if you have any questions or require further documentation. The owner or a designated representative shall attend the Commission's Hearing on November 20, 2023.

Very truly yours,
ashford engineers south, LLC

Daniel R. Greene

Daniel R. Greene, P.E.
President / Project Manager

Cc: Jay Knight, Templar Development
File

Attachment: Foxtrail_HistoricalCommission_Waiver_Letter (3617 : 217 South Main Street Demolition)



MEMORANDUM

To: Templar Development / Jay Knight
160 Whitney Street
Fayetteville, Ga. 30214

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: November 15, 2023

Re: Notification of Request for Historic Preservation Commission – Demolition of Existing Home – Waiting Period Waiver, 217 South Main Street; Tax Map Parcel No. 05241D A001

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a waiver of the waiting period for the demolition of an existing home for the property located at 217 South Main Street, Jonesboro, Georgia.

A hearing has been scheduled for Monday, November 20, 2023 at 5:30 pm before the Historic Preservation Commission at 1859 City Center Way to consider the request as described above. Your presence is recommended.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator