



DESIGN REVIEW COMMISSION

January 3, 2024

MEETING AGENDA:

I. CALL TO ORDER

II. APPROVAL OF AGENDA

III. APPROVAL OF MINUTES

IV. OLD BUSINESS - NONE

- a. Commission to make a recommendation for Buddy's Mart – 8113 Tara Blvd; Parcel No. 13239B A001; New wall sign for business. Revised design.

V. NEW BUSINESS - ACTION ITEMS

- a. Commission to make a recommendation for Cak'd by Tae – 1423 Stockbridge Road; Parcel No. 12017B A003; New wall sign for new business.
- b. Commission to make a recommendation for Verizon – 170 South Main Street; Parcel No. 05241B B009; Small cell communication pole in Historic District.

VI. ADJOURNMENT



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

4.a

- a

COUNCIL MEETING DATE

January 3, 2024

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Commission to make a recommendation for Buddy's Mart – 8113 Tara Blvd; Parcel No. 13239B A001; New wall sign for business. Revised design.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-489 and 86-490 – Sign Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Denial of original sign design; Recently, a convenience store was opened at 8113 Tara Boulevard (site of former Rocky's Pizza). The applicant has applied for a new wall sign over the front entrance.

The wall sign panel above the front entrance will be 35 square feet, which is below the maximum 150 square feet allowed in Code Section 86-490(b). The front wall sign panel will be about 5% of the total front building façade (just for convenience store portion), below the 7.5% allowed in Code Section 86-489. The sign will be internally illuminated.

While the red channel letters will not conflict with adjacent businesses, the Design Review Commission may find the design too simplistic for Tara Blvd. and the letters too large.

Update for 1.3.24 Meeting:

Design Review comments from December 6, 2023:

Building Sign (Wall Sign)

- Make it a smaller font to reduce visual impact of lettering.
- Too big, have some more white space (below and above) around lettering.

Road Sign

- Remove word "grocery." Everyone knows what a mart is.
- List items like "money order," "lotto" and "beer and wine" on window, not on sign.
- Remove red border around "Buddy's Mart" and make "Buddy's Mart" red lettering like the wall sign.
- Every word doesn't need to be in all capital letters.

Lettering style same on both signs.

Sign contractor said he would incorporate changes.

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Melissa Brooks, City Clerk

Date

January, 3, 2024

Signature

City Clerk's Office

Fiscal Impact*(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)*

Private Owner

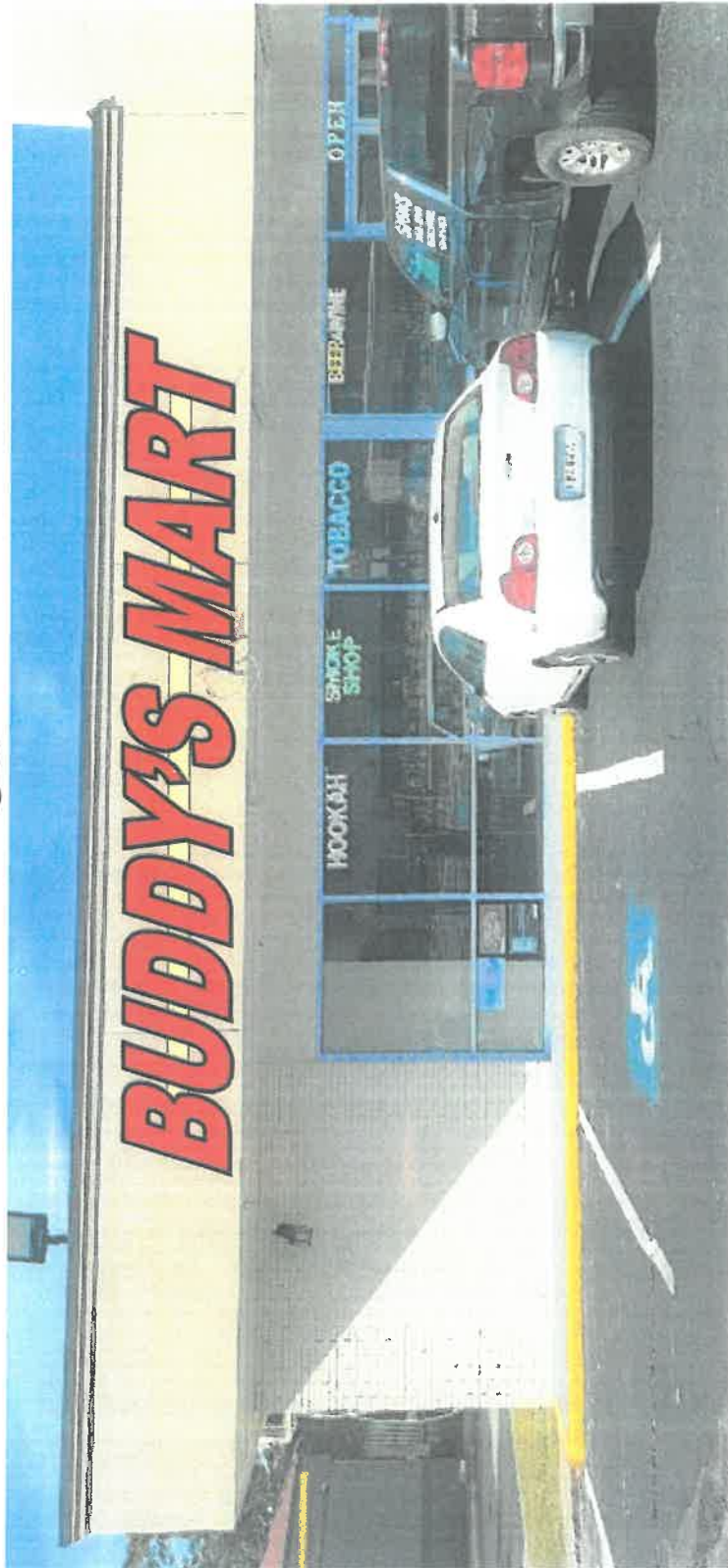
Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Current Building
- Sign Design
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)***Approval of Revised Design**



Attachment: Current Building (3661 : Buddy's Mart Sign - 8113 Tara Blvd)



1080 Sign On Building

4.9%

**2001
ART
STUDIO**
SIGNS
GRAPHICS • LOGOS
PRINTING

1797 Lakewood Terrace
Atlanta, Georgia 30315
404. 627. 8778
404. 627. 0004

Designed exclusively for:

Buddy's Mart

Address:

Tara, Jonesboro, Ga. 30260

Date:

10-31-2023

Phone:

678-471-5672

The prices, specifications, and conditions as described are satisfactory and are hereby accepted. 2001 Art Studio is authorized to do the work as specified above.

50% DEPOSIT REQUIRED ON ALL WORK
BALANCE DUE UPON COMPLETION.
ANY CHARGES TO COLLECT BALANCE
IS RESPONSIBILITY OF CLIENT.

Signature:

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678-471-5672 Saul - Hayles @ att.net

168" 14

BUDDY'S MART

30" 2.5

35 SF



Side view

Buddy's Mart
Installation Drawing

Channel Letters Red Plastic faces
Black Returns, White Trim Caps, Raceway
Building Color Biege Gray

Designed exclusively for: Buddy's Mart		Date: 10-31-2023
Address: Tara, Jonesboro, Ga. 30260		Phone: 678-471-5672
The prices, specifications, and conditions as described are satisfactory and are hereby accepted. 2001 Art Studio is authorized to do the work as specified above. Signature: <i>[Signature]</i> 50% DEPOSIT REQUIRED ON ALL WORK BALANCE DUE UPON COMPLETION. ANY CHARGES TO COLLECT BALANCE IS RESPONSIBILITY OF CLIENT. This design is property of the designer, and may not be reproduced in any manner without written permission.		

2001 ART STUDIO
SIGNAGE
1797 Lakewood Terrace
Atlanta, Georgia 30315
404. 627. 8778
404. 627. 0004



MEMORANDUM

To: Saul Hayles

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: December 5, 2023

Re: Notification of Request for Design Review Commission – Wall Sign, 8113 Tara Blvd, Parcel No. 13239B A001

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for a review of a wall sign located at 8113 Tara Boulevard, Jonesboro, Georgia 30236.

A hearing has been scheduled for Wednesday, December 6, 2023 at 4:30 pm before the Design Review Commission at 1859 City Center Way, Jonesboro to consider the request as described above. You are invited to attend if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

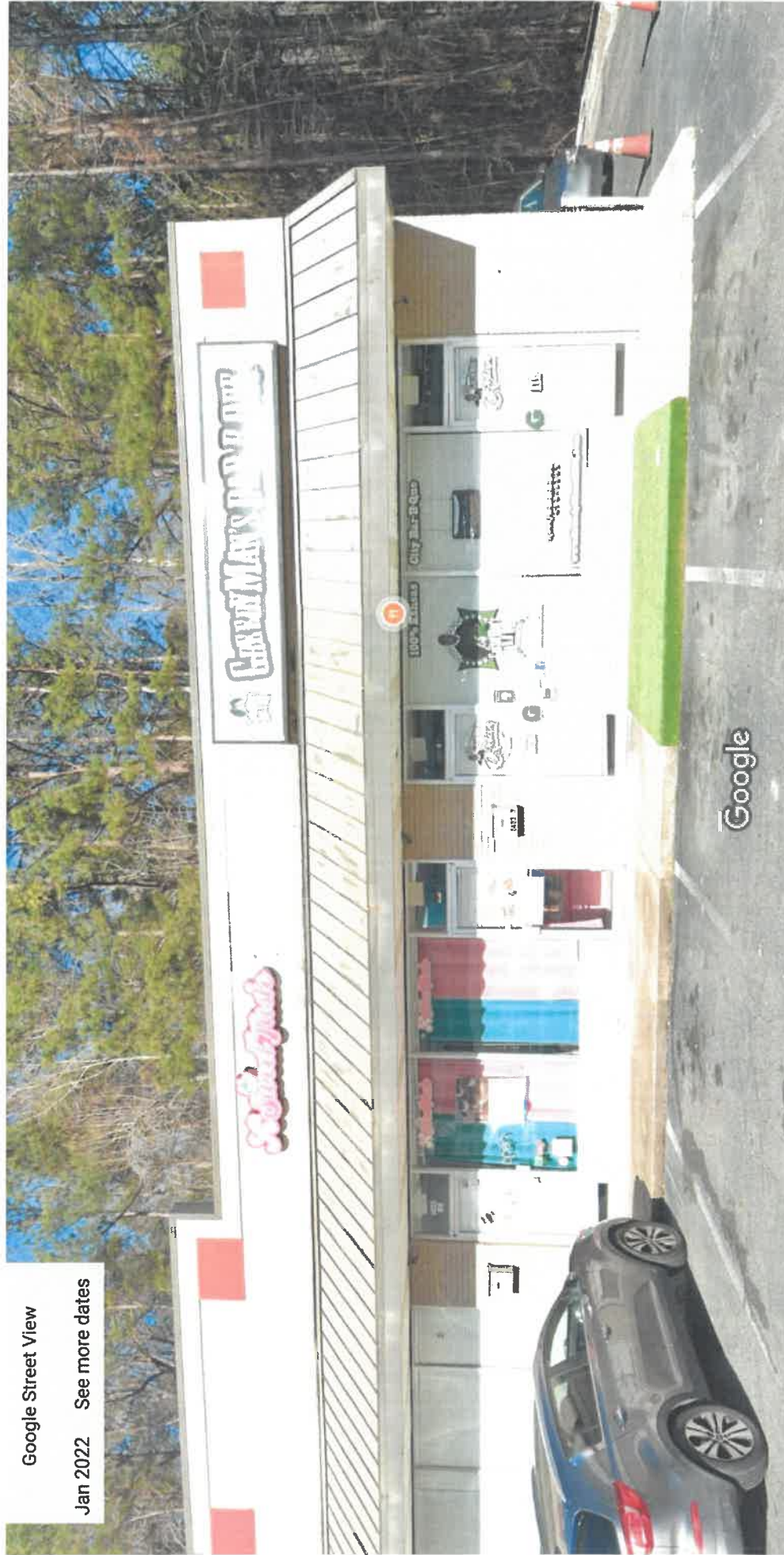
Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

	CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary	Agenda Item # - a
		COUNCIL MEETING DATE January 3, 2024
Requesting Agency (Initiator) Office of the City Manager	Sponsor(s) Community Development Director Allen	
Requested Action <i>(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)</i> Commission to make a recommendation for Cak'd by Tae – 1423 Stockbridge Road; Parcel No. 12017B A003; New wall sign for new business.		
Requirement for Board Action <i>(Cite specific Council policy, statute or code requirement)</i> City Code Section 86-489 and 86-490 – Sign Standards		
Is this Item Goal Related? <i>(If yes, describe how this action meets the specific Board Focus Area or Goal)</i> Yes Beautification, Community Planning, Neighborhood and Business Revitalization		
Summary & Background <i>(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)</i> Agency recommendation – Approval of wall sign panel; Cak'd by Tae is the latest in a series of bakery businesses in the commercial shopping center at 1423 Stockbridge Road. The property is zoned commercial and is not in any Overlay or Historic District. The wall sign panel is approximately 9.875 feet by 2.71 feet (26.76 square feet), which is well below the maximum 150 square feet allowed in Code Section 86-490(b). The wall sign panel is about 7.8% of the total front building façade, roughly matching the 7.5% allowed in Code Section 86-489.		
Fiscal Impact <i>(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)</i> Private Owner		
Exhibits Attached <i>(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)</i> - Site Picture - Sign Design - Acceptance Letter		
Staff Recommendation <i>(Type Name, Title, Agency and Phone)</i> Approval		

FOLLOW-UP APPROVAL ACTION (City Clerk)		
Typed Name and Title Melissa Brooks, City Clerk	Date January, 3, 2024	
Signature	City Clerk's Office	

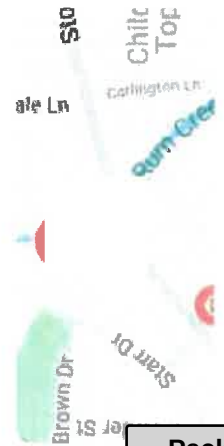
Google Maps Jonesboro, Georgia



Google Street View

Jan 2022 See more dates

Image capture: Jan 2022 © 2023 Google



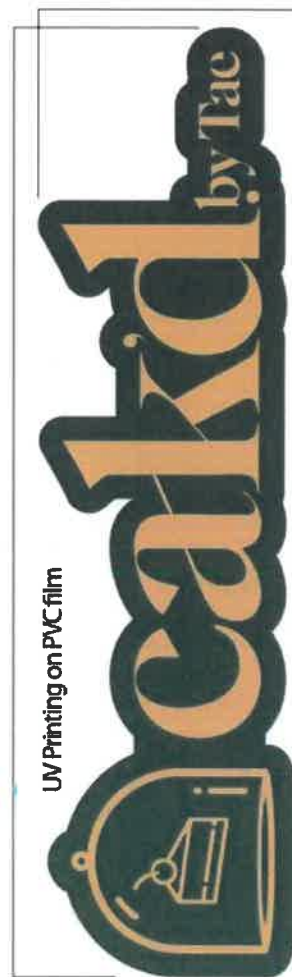
► Illuminated Could Sign



► Measurement details

118.5"

UV Printing on PVC film

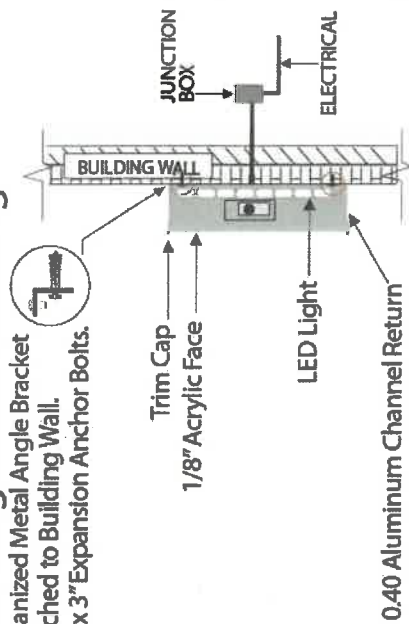


32.5"

► Mounting Detail Drawing

Mounting Detail Drawing

Galvanized Metal Angle Bracket
Attached to Building Wall.
3/8" x 3" Expansion Anchor Bolts.



► Check lists

Condition of use:		Raceway		SW#
☐ Dry Location	☐ Damp Location	Painted To Match Building Fascia Color		
☒ Wet Location				
Total sq.ft		26.75		
Channel Return		4" Black		
Trim Cap		Black		
Face - Acrylic		White		
Translucent Film		N/A		
Reg. Vinyl		N/A		
Digital Printing		On Face Acrylic		
Back Board		N/A		

Customer: Davonta Greer

Address: 1423 Stockbridge Rd. Jonesboro, GA 30236

Company: Caked By Tae LLC

tel: 678-205-0417 / fax: 678-205-0420

e-mail: gomprinting@gmail.com

3700 Oakcliff Rd. Doraville, GA 30340

Customer Phone/Fax: 404.788.5775

Customer E-mail: cakedbytae@gmail.com

Landlord Phone/Fax: Christine Malouf - 404.788.5775

Landlord E-mail: officesuwanee@gmail.com



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Attachment: Sign Design (3659 : 1423 Stockbridge Road Sign)



MEMORANDUM

To: Davonta Greer

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: December 29, 2023

Re: Notification of Request for Design Review Commission – Wall Sign, 1423
Stockbridge Road, Parcel No. 12017B A003

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for a review of a wall sign located at 1423 Stockbridge Road, Jonesboro, Georgia 30236.

A hearing has been scheduled for Wednesday, January 3, 2024 at 4:30 pm before the Design Review Commission at 1859 City Center Way, Jonesboro to consider the request as described above. You are invited to attend if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (3659 : 1423 Stockbridge Road Sign)

	CITY OF JONESBORO, GEORGIA COUNCIL Agenda Item Summary		Agenda Item # - b	5.b
			COUNCIL MEETING DATE January 3, 2024	
Requesting Agency (Initiator) Office of the City Manager		Sponsor(s) Community Development Director Allen		
Requested Action <i>(Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)</i> Commission to make a recommendation for Verizon – 170 South Main Street; Parcel No. 05241B B009; Small cell communication pole in Historic District.				
Requirement for Board Action <i>(Cite specific Council policy, statute or code requirement)</i> City Code Section 86-103, H-2 Historic District Standards				
Is this Item Goal Related? <i>(If yes, describe how this action meets the specific Board Focus Area or Goal)</i> Yes Beautification, Community Planning, Neighborhood and Business Revitalization, Historic Preservation				
Summary & Background <i>(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)</i> Agency recommendation – Approval of pole placement and design; Recently, Verizon approached the City about placing a small cell pole in the right of way in front of the old police department building at 170 South Main Street. Small cell technology replaces the tall cell towers with much smaller structures, usually the size of power poles and street light poles. This area is within the Historic District, and thus the new structure must be reviewed by the Design Review Commission and Historic Preservation Commission. Sec. 86-103. - H-2 historic district. <i>(c) Required review of exterior changes. From and after the designation of the H-2 district, no exterior portion of any building or other structure that can be viewed from the public right-of-way (including stone walls, fences, light fixtures, steps and pavement, or other appurtenant features) nor an aboveground utility structure, nor any type of permanent sign shall be erected, altered, restored or moved within such H-2 district until an application for a certificate of appropriateness as to exterior architectural features and signage has been submitted to and approved by the historic preservation commission. All proposed changes requiring a certificate of appropriateness shall comply with the H-2 design standards found in subsection (l) herein.</i> The proposed pole is black metal, about 29 feet tall, and will look similar to nearby street light poles already in place. Just one pole is proposed for now. While in the Historic District, this property is not in the downtown “core.”				
Fiscal Impact <i>(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)</i> Private				
Exhibits Attached <i>(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)</i> • Proposed Pole • Pole Specs • Existing Light Pole • Acceptance Letter				

FOLLOW-UP APPROVAL ACTION (City Clerk)		
Typed Name and Title Melissa Brooks, City Clerk	Date January, 3, 2024	
Signature	City Clerk's Office	

Staff Recommendation *(Type Name, Title, Agency and Phone)*

5.b

Approval



Attachment: Proposed Pole (3660 : 170 South Main Street Small Cell Pole)

Jonesboro SC1 Simulation 2.0



VZ23-01824W-05



Attachment: Proposed Pole (3660 : 170 South Main Street Small Cell Pole)



10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022

SITE NAME: JONESBORO_SC1

SITE ADDRESS:

170 S MAIN ST
JONESBORO, GA 30236
CLAYTON COUNTY

LOCATION NUMBER:

5000938720

POLE OWNER:

VERIZON WIRELESS

SITE DATA:

LATITUDE:

33.51729796°

33°31'2.27"N

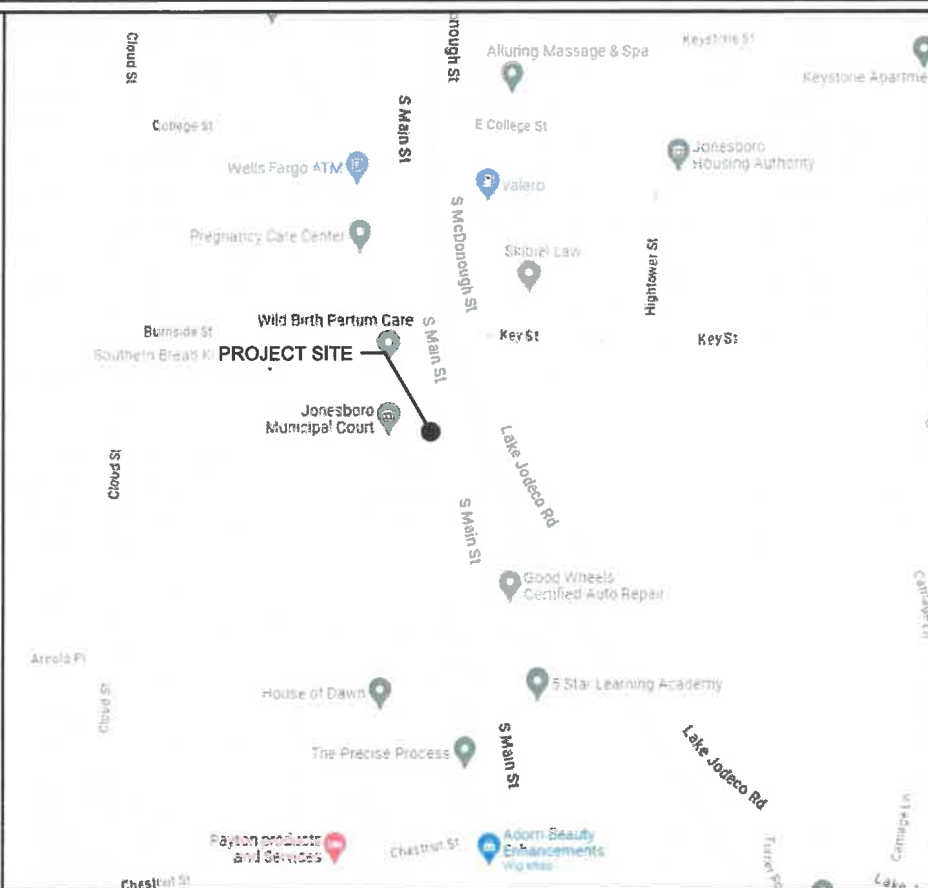
LONGITUDE:

-84.35412652°

84°21'14.86"W

GROUND ELEVATION:

919.8' A.M.S.L.



10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GEORGIA 30022

PROJECT INFORMATION:

SITE NAME:
JONESBORO_SC1

170 S MAIN ST
JONESBORO, GA 30236
CLAYTON COUNTY

PLANS PREPARED BY:

Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

4			
3			
2			
1			
0			
D	11/09/23	CONSTRUCTION	TRN
C	10/26/23	PRELIMINARY	TRN
B	10/25/23	PRELIMINARY	TRN
A	10/20/23	PRELIMINARY	TRN

LICENSER:

PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

013509388

DRAWN BY: CHECKED BY:

WJW

TRN

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T1

SITE IDENTIFICATION

VICINITY MAP

LOCATION MAP



VERIZON WIRELESS
10300 OLD ALABAMA ROAD CONN.
ALPHARETTA, GA 30022
PHONE: (470) 653-0834
ATTN.: TARA PERSINGER HARRIS



KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: (470) 299-7052
ATTN.: TREVOR NEWTON, P.E.

THIS PROJECT CONSISTS OF THE INSTALLATION OF PROPOSED SMALL CELL EQUIPMENT, BY VERIZON WIRELESS, ON A PROPOSED METAL POLE, OWNED BY VERIZON WIRELESS AND INSTALLED BY VERIZON WIRELESS, ALONG WITH ASSOCIATED ELECTRICAL COMPONENTS, MOUNTING HARDWARE AS NEEDED AND ALL ASSOCIATED WORK.

THE PLANS AND DETAILS IN THIS DRAWING SET REPRESENT A PORTION OF A SMALL CELL NETWORK TO BE CONSTRUCTED IN PUBLIC RIGHT OF WAY PURSUANT TO AUTHORITY GRANTED BY CITY OF JONESBORO.

THIS PROJECT MEETS CITY OF JONESBORO DESIGN MANUAL STANDARDS AND GUIDELINES.

FIBER TO BE BROUGHT TO A HANDHOLE AT BASE OF POLE.
POWER TO BE ROUTED UNDERGROUND TO BASE OF POLE.

SCOPE OF WORK

- INSTALL (1) PROPOSED 22'-6" METAL POLE
- INSTALL (1) OMNI ANTENNA, (3) CBAND ANTENNAS & (1) CBRS RRU IN POLE TOPPER
- INSTALL (1) 1800/AWS RRU IN CONCEALMENT SHROUD MOUND
- INSTALL (1) FIBER ROT ON SIDE OF POLE
- INSTALL (1) AC DISCONNECT SWITCH
- INSTALL CIRCUITS & FEEDERS FOR EQUIPMENT WITHIN POLE

POWER DELIVERY METHOD: UNDERGROUND
FIBER DELIVERY METHOD: UNDERGROUND

MANDATORY CONSTRUCTION CODES:

- 1.) INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020), (2022)
- 2.) INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- 3.) INTERNATIONAL FIRE CODE, 2018 EDITION, WITH NO GEORGIA AMENDMENTS
- 4.) INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020), (2022), (2023)
- 5.) INTERNATIONAL MECHANICAL CODE, 2018 EDITION, GEORGIA AMENDMENTS (2020)
- 6.) INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020), (2022)
- 7.) NATIONAL ELECTRICAL CODE, 2020 EDITION, WITH GEORGIA AMENDMENTS (2021)
- 8.) INTERNATIONAL ENERGY CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020), (2022), (2023)



PROJECT TEAM

PROJECT SUMMARY

ELECTRIC: GEORGIA POWER

FIBER: ONE FIBER

PROPERTY/ROW OWNER: CITY OF JONESBORO

APPLICANT: VERIZON WIRELESS
10300 OLD ALABAMA ROAD CONN.
ALPHARETTA, GA 30022
PHONE: (470) 653-0834
ATTN.: TARA PERSINGER HARRIS

SHEET NO.	SHEET TITLE
T1	TITLE SHEET
N1	GENERAL NOTES
C1	OVERALL SITE PLAN
C2	SITE PLAN & PROPOSED POLE LOCATION
C3	POLE ELEVATION
C4	EQUIPMENT SPECIFICATIONS
C5	EQUIPMENT SPECIFICATIONS
C6	EQUIPMENT SPECIFICATIONS
E1	ELECTRICAL NOTES
E2	PANEL SCHEDULE & RISER DIAGRAM
E3	GROUNDING DETAILS

PROJECT INFORMATION

SHEET INDEX

K:\ATL_Wireless\000_Verizon\2021 Sites\GA_AL_4g_SMC\JONESBORO_SC\1_CAD\CD\INB-SMC.dwg --- 11/09/23 11:34 AM by: Josh Walker

GENERAL NOTES:

- ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND VERIZON WIRELESS PROJECT SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE APPROPRIATE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR ARE TO BE RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS, DIMENSIONS, AND THE LOCATION OF BURIED UTILITIES AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF WORK. NO CLAIMS FOR EXTRA COMPENSATION FOR WORK RESULTING FROM CONFLICTS AND OMISSIONS WHICH COULD HAVE BEEN DISCOVERED BY FIELD VERIFICATION AND INSPECTION, WHETHER INDICATED IN THE CONTRACT DOCUMENTS OR NOT WILL BE ENTERTAINED OR PAID.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK.
- ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFIRM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL (OSHA), STATE AND LOCAL CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES TO THE EXISTING FACILITY AND INSTILLATION RESULTING FROM CONSTRUCTION AND GENERAL NEGLIGENCE. REPAIR ALL DAMAGES AND RESTORE FACILITY AND INSTALLATIONS TO THE SATISFACTION OF VERZION AND LANDLORD AT NO EXTRA CHARGE. NOTIFY THE CUSTOMER'S REPRESENTATIVE AND TOWER OWNER OF ANY SUCH DAMAGES PROMPTLY. REPAIR TO 100% SATISFACTION IMMEDIATELY.
- GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER DISCIPLINES.
- ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAID PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.
- SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED MATERIALS APPROVED BY LOCAL JURISDICTION. CONTRACTOR SHALL KEEP AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DEBRIS.
- THE SCOPE OF WORK FOR THIS PROJECT IS REPRESENTED BY DARK SHADED LINES AND NOTES. CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND CONTRACTORS TO THE SITE AND/OR BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OT 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.

- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
- THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUNDING. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 80 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.
- ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
- ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE GENERAL CONTRACTOR AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
- CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES TO THE GENERAL CONTRACTOR UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
- CONTRACTOR SHALL LEAVE PREMISES IN A CLEAN CONDITION.
- STRUCTURE IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY VERIZON WIRELESS TECHNICIANS.
- NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.
- CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE SITE OWNER. CONTRACTORS SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- ALL CABLE INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

ANTENNA MOUNTING:

- DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL CONFORM TO CURRENT ANSI/TIA-222 OR APPLICABLE LOCAL CODES.
- ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS NOTED OTHERWISE.
- ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS NOTED OTHERWISE.
- DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780.
- ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH LOCK NUTS, DOUBLE NUTS AND SHALL BE TORQUED TO MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL INSTALL ANTENNA PER MANUFACTURER'S RECOMMENDATION FOR INSTALLATION AND GROUNDING.
- PRIOR TO SETTING ANTENNA AZIMUTHS AND DOWNTILTS, ANTENNA CONTRACTOR SHALL CHECK THE ANTENNA MOUNT FOR TIGHTNESS AND ENSURE THAT THEY ARE PLUMB, ANTENNA AZIMUTHS SHALL BE SET FROM TRUE NORTH AND BE ORIENTED WITHIN +/- 5% AS DEFINED BY THE RFDS. ANTENNA DOWNTILTS SHALL BE WITHIN +/-0.5% AS DEFINED BY THE RFDS.

TORQUE REQUIREMENTS:

- ALL RF CONNECTIONS SHALL BE TIGHTENED BY A TORQUE WRENCH TO THE MANUFACTURES SPECIFIED TORQUE.
- ALL RF CONNECTIONS, GROUNDING HARDWARE AND ANTENNA HARDWARE SHALL HAVE A TORQUE MARK INSTALLED IN A CONTINUOUS STRAIGHT LINE FROM BOTH SIDES OF THE CONNECTION.
 - RF CONNECTION BOTH SIDES OF THE CONNECTOR.
 - GROUNDING AND ANTENNA HARDWARE ON THE NUT SIDE STARTING FROM THE THREADS TO THE SOLID SURFACE. EXAMPLE OF SOLID SURFACE: GROUND BAR, ANTENNA BRACKET METAL.

COAXIAL CABLE NOTES:

- TYPES AND SIZES OF THE ANTENNA CABLE ARE BASED ON ESTIMATED LENGTHS. PRIOR TO ORDERING CABLE, CONTRACTOR SHALL VERIFY ACTUAL LENGTH BASED ON CONSTRUCTION LAYOUT AND NOTIFY THE PROJECT MANAGER IF ACTUAL LENGTHS EXCEED ESTIMATED LENGTHS.
- CONTRACTOR SHALL VERIFY THE DOWN-TILT OF EACH ANTENNA WITH A DIGITAL LEVEL.
- CONTRACTOR SHALL CONFIRM COAX COLOR CODING PRIOR TO CONSTRUCTION.
- ALL JUMPERS TO THE ANTENNAS SHALL BE 1/2" DIA. LDF AND SHALL NOT EXCEED 6'-0".
- TYPES AND SIZES OF THE ANTENNA CABLE ARE BASED ON ESTIMATED LENGTHS. PRIOR TO ORDERING CABLE, CONTRACTOR SHALL VERIFY ACTUAL LENGTH BASED ON CONSTRUCTION LAYOUT AND NOTIFY THE PROJECT MANAGER IF ACTUAL LENGTHS EXCEED ESTIMATED LENGTHS.
- ALL COAXIAL CABLE SHALL BE SECURED TO THE DESIGNED SUPPORT STRUCTURE, IN AN APPROVED MANNER, AT DISTANCES NOT TO EXCEED 4'-0" OC.
- CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS REGARDING BOTH THE INSTALLATION AND GROUNDING OF ALL COAXIAL CABLES, CONNECTORS, ANTENNAS, AND ALL OTHER EQUIPMENT.
- CONTRACTOR SHALL WEATHERPROOF ALL ANTENNA CONNECTORS WITH SELF-AMALGAMATING TAPE.
- ALL FIBER INSTALLED MUST BE LOW LOSS FIBER.
- ALL FIBER INSTALLED MUST BE OUTDOOR RATED AND UV STABILIZED.
- ALL FIBER MUST BE NON-CONDUCTIVE OR HAVE A JACKET RATED FOR 600V.
- ALL FIBER TERMINATIONS SHALL REQUIRED WEATHER PROOFING THAT MEETS MANUFACTURE SPECIFICATIONS.

ADDITIONAL VERIZON STANDARDS:

- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ANTENNA, TMAS, DIPLEXERS, AND COAX CONFIGURATION, MAKE AND MODELS PRIOR TO INSTALLATION.
- ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL REFERENCE THE STRUCTURAL ANALYSIS / DESIGN DRAWINGS FOR DIRECTIONS ON CABLE DISTRIBUTION / ROUTING.
- ALL OUTDOOR RF CONNECTORS/CONNECTIONS SHALL BE WEATHERPROOFED, EXCEPT THE RET CONNECTORS, USING BUTYL TAPE AFTER INSTALLATION AND FINAL CONNECTIONS ARE MADE. BUTYL TAPE SHALL HAVE A MINIMUM OF ONE-HALF TAPE WIDTH OVERLAP ON EACH TURN AND EACH LAYER SHALL BE WRAPPED THREE TIMES. WEATHERPROOFING SHALL BE SMOOTH WITHOUT BUCKLING. BUTYL BLEEDING IS NOT ALLOWED.
- IF REQUIRED TO PAINT ANTENNAS AND/OR COAX:
 - TEMPERATURE SHALL BE ABOVE 50° F, OR PAINTING TO BE PERFORMED IN A MANNER CONSISTENT WITH THE PAINT MANUFACTURER'S INSTRUCTIONS FOR COLD WEATHER PAINTING.
 - PAINT COLOR MUST BE APPROVED BY BUILDING OWNER/LANDLORD.
 - FOR REGULATED TOWERS, FAA/FCC APPROVED PAINT IS REQUIRED.
 - DO NOT PAINT OVER COLOR CODING OR ON EQUIPMENT MODEL NUMBERS.
- ALL PROPOSED GROUND BAR DOWNLEADS ARE TO BE TERMINATED TO THE EXISTING ADJACENT GROUND BAR DOWNLEADS A MINIMUM DISTANCE OF 4'-0" BELOW GROUND BAR. TERMINATIONS MAY BE EXOTHERMIC OR COMPRESSION.
- ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION & RECOMMENDATIONS.
- NO BOLT THREADS TO PROTRUDE MORE THAN 1-1/2" [.038M].
- 90 SHORT SWEEPS UNDER ANTENNA ARM. ALL CABLES MUST ONLY TRANSITION ON THE INSIDE OR BOTTOM OF ARMS (NO CABLE ON TOP OF ARMS).
- USE 90 CONNECTOR AT CABLE CONNECTION TO ANTENNAS.
- PLACE GPS ON ARM WITH SOUTHERN SKY EXPOSURE AT MINIMUM 6' [1.83] FROM TRANSMIT ANTENNA, WHICH IS 24" [6.1M] AWAY FROM CENTER OF POLE.
- USE 1/2" [.013M] CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.
- FILL VOID AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTRUSION.
- THE MINIMUM SIZE OF ALL ANTENNA POLE WILL BE ANSI CLASS 3, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES.
 - THE SMALL CELL RIGHT OF WAY PERMIT HAS BEEN APPLIED FOR BY VERZION AND WILL BE SUPPLIED TO THE CONTRACTOR PRIOR TO CONSTRUCTION
 - ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS
 - ALL PERMITS MUST BE AVAILABLE AND DISPLAYED ON SITE WHEN PRESENT DURING ALL PHASES OF CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR THE CONTACTING OF AND COORDINATION WITH:
 - LOCAL UTILITY PROTECTION SERVICES
 - ELECTRIC POWER PROVIDER
 - GOVERNING DIVISION OF ENGINEERING & CONSTRUCTION
 - GOVERNING DIVISION OF TRAFFIC & ENGINEERING
 - GOVERNING DIVISION OF POLICE & TRAFFIC
 - AND ALL PRIVATE UTILITIES 48 HOURS BEFORE YOU DIG. CONTRACTOR TO SUPPLY VERIZON DIG TICKET NUMBER BEFORE START OF CONSTRUCTION.
- LANE CLOSURE PERMIT FOR RIGHT OF WAY CONSTRUCTION
 - DEFINITION: ANY OBSTRUCTIONS TO THE RIGHT OF WAY INCLUDING ROADWAYS, SIDEWALKS, CURB, ADA RAMPS, TRAFFIC SIGNALIZATION AND APPURTENANCES.
 - LANE CLOSURE AND SIDEWALK OBSTRUCTION PERMITS ALL REPAIRS ARE TO BE PERFORMED PER THE LOCAL CITY STANDARDS AND DETAIL DRAWINGS WHICH WILL BE PROVIDED WITH THE SIDEWALK PERMIT OR UPON REQUEST.
- CITY STANDARDS SIDEWALK, DRIVEWAY AND APRON REPAIRS SIDEWALK, DRIVE WALK AND APRON REPLACEMENTS ARE TO BE DONE IN CONCRETE WITH AN AIR ENTRAINED CONCRETE MIX THAT HAS A MINIMUM OF 650 LBS. CEMENT PER CUBIC YARD. FULL SLAB REPAIRS ARE REQUIRED, JOINT-TO-JOINT WITH A BROOM FINISH AND TO LOCAL CODE SPECIFICATIONS. CONCRETE SHALL BE PLACED ON COMPACTED 2" THICK BASE OF SAND OR GRAVEL. PREMIUM FILL MATERIAL SHALL BE PLACED AND COMPACTED IN LIFTS OF 6 INCHES AT ALL AREAS UNDER THE SIDEWALK THAT THE SUB GRADE HAS BEEN EXCAVATED. NEW BRICK, CONCRETE OR GRANITE PAVERS MUST HAVE APPROVAL PRIOR TO I NSTALLATION. FULL SANDSTONE SLABS MAY BE RELAYED/RESET IF NOT BROKEN OR IF THE SURFACE IS DISHED OR WORN SMOOTH. ALL SIDEWALK REPAIRS IN THE CENTRAL BUSINESS DISTRICT MUST BE 6-INCH THICKNESS. SIDEWALK REPAIRS IN RESIDENTIAL AREAS ARE TO BE 4-INCH THICKNESS AND ALL RESIDENTIAL DRIVEWAYS AND APRONS ARE TO BE 6-INCH THICKNESS. AT ALL CHANGES IN SLAB THICKNESS, 1/2" THICK EXPANSION JOINT MATERIAL SHALL BE PLACED AND ALSO AT MINIMUM OF 30' INTERVALS. ALL AREAS OF NEW CONSTRUCTION SHALL BE PROTECTED AND BARRICADED UNTIL THE AREA CAN BE OPENED TO PEDESTRIAN OR VEHICLE TRAFFIC WITHOUT DAMAGE.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS INCLUDED IN THE PLANS.

5.b.b



10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GEORGIA 30022

PROJECT INFORMATION:

SITE NAME:
JONESBORO_SC1

170 S MAIN ST
JONESBORO, GA 30036
CLAYTON COUNTY

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

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D	11/09/23	CONSTRUCTION	TRN
C	10/26/23	PRELIMINARY	TRN
B	10/25/23	PRELIMINARY	TRN
A	10/20/23	PRELIMINARY	TRN

LICENSER:

PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

013509388

DRAWN BY: CHECKED BY:

WJW	TRN
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SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

N1



10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GEORGIA 30022

PROJECT INFORMATION:

SITE NAME:
JONESBORO_SC1

170 S MAIN ST
JONESBORO, GA 30236
CLAYTON COUNTY

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM

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KHA PROJECT NUMBER:

013509388

DRAWN BY: CHECKED BY:

WJW

TRN

SHEET TITLE:

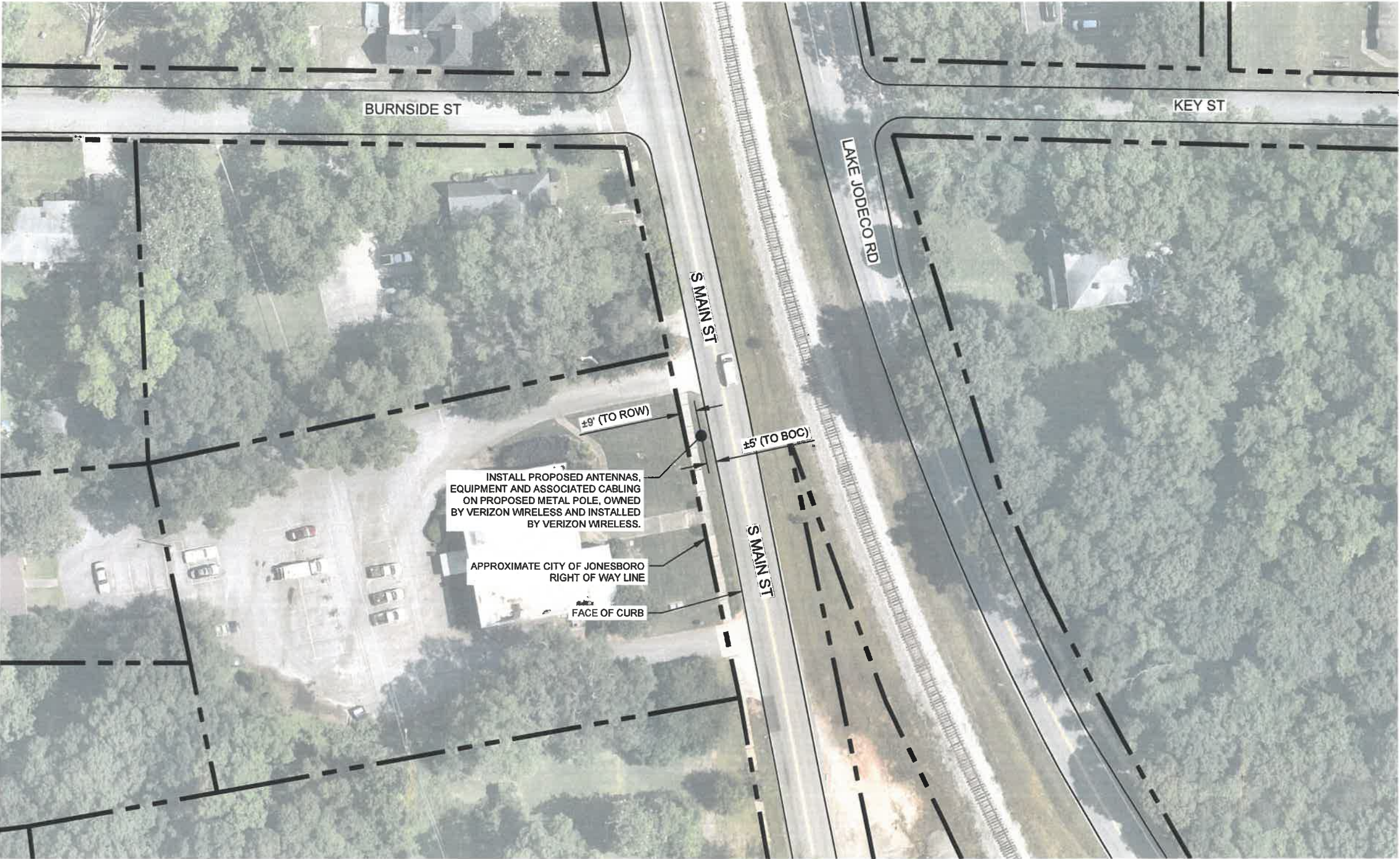
OVERALL
SITE PLAN

SHEET NUMBER:

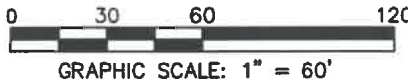
C1

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Packet Pg. 18



1 OVERALL SITE PLAN
C1 SCALE: 1" = 60'



NOTE:
INFORMATION SHOWN ABOVE WAS REPRODUCED FROM CLAYTON COUNTY GIS
APPLICATION INFORMATION AND NEARMAP, AND IS PROVIDED HERE FOR
ILLUSTRATIVE PURPOSES ONLY.

K:\ATL_Wireless\000_Verizon\2021 Sites\GA_AL_4G_SMC_JONESBORO_SC1\CAD\CD\INB-SMC.dwg 11/09/23 11:34 AM by: Josh Walker

verizon

 10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GEORGIA 30022

PROJECT INFORMATION:

 SITE NAME:
JONESBORO_SC1

 170 S MAIN ST
JONESBORO, GA 30236
CLAYTON COUNTY

PLANS PREPARED BY:

Kimley»Horn

 11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM

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A	10/20/23	PRELIMINARY	TRN

LICENSER:

PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

013509388

DRAWN BY: CHECKED BY:

WJW

TRN

SHEET TITLE:

**SITE PLAN &
PROPOSED POLE
LOCATION**

SHEET NUMBER:

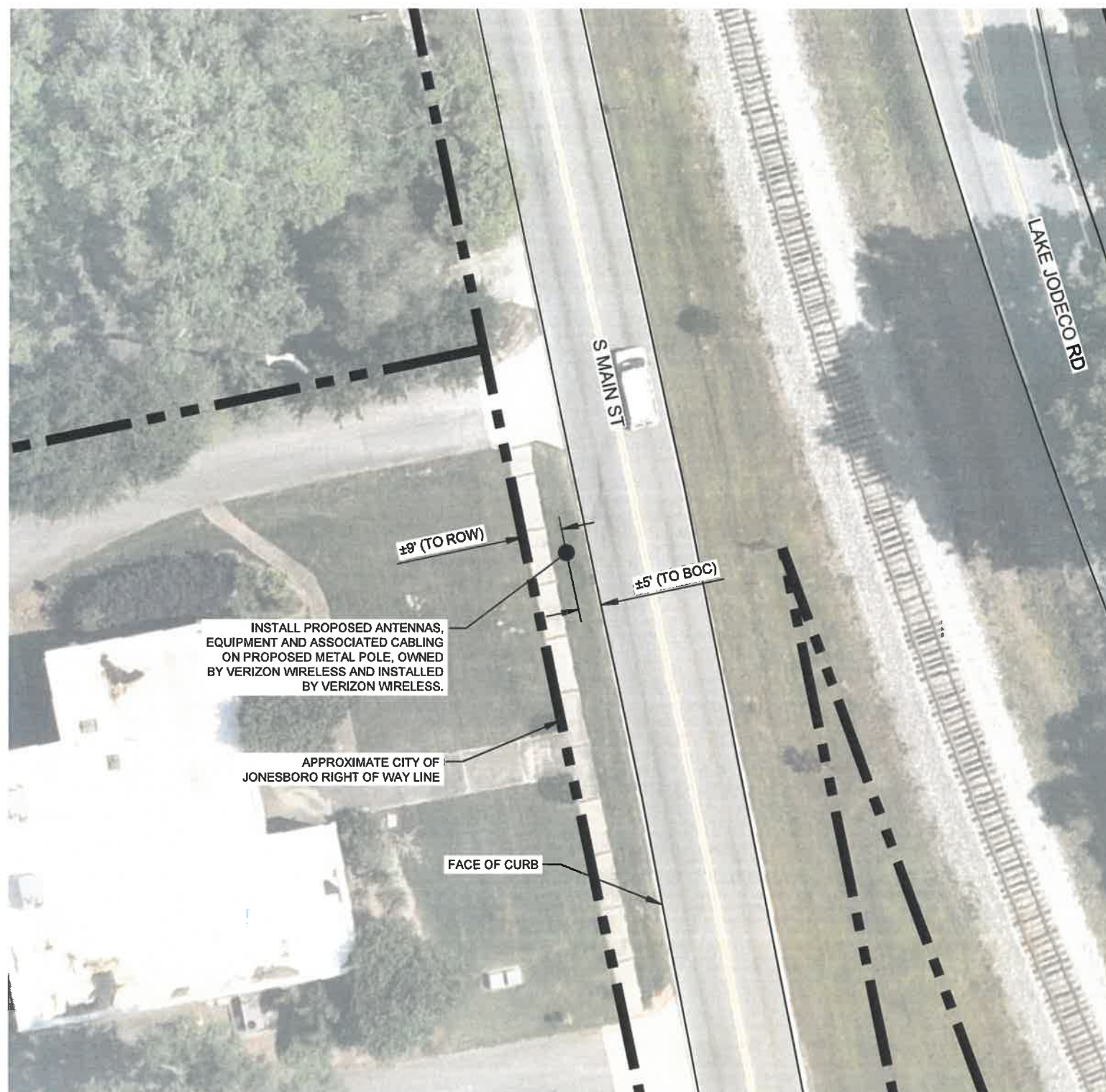
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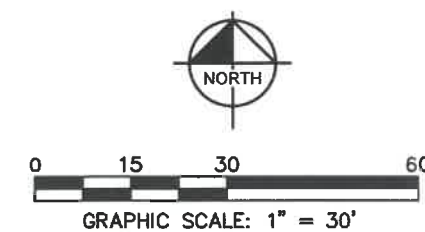
Packet Pg. 19



1 PROPOSED POLE LOCATION
C2 NOT TO SCALE

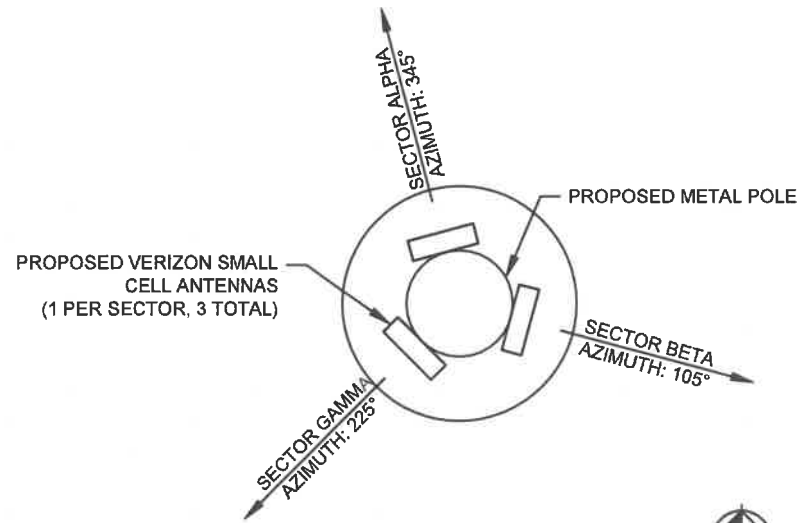


2 SITE PLAN
C2 SCALE: 1" = 30'

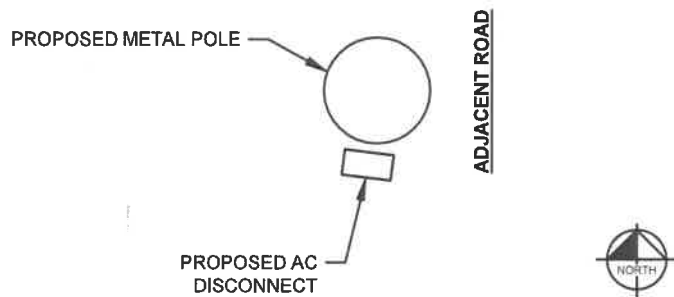


NOTE: SEE REGULATORY MITIGATION DOCUMENTS FOR APPROPRIATE MITIGATION REQUIREMENTS.

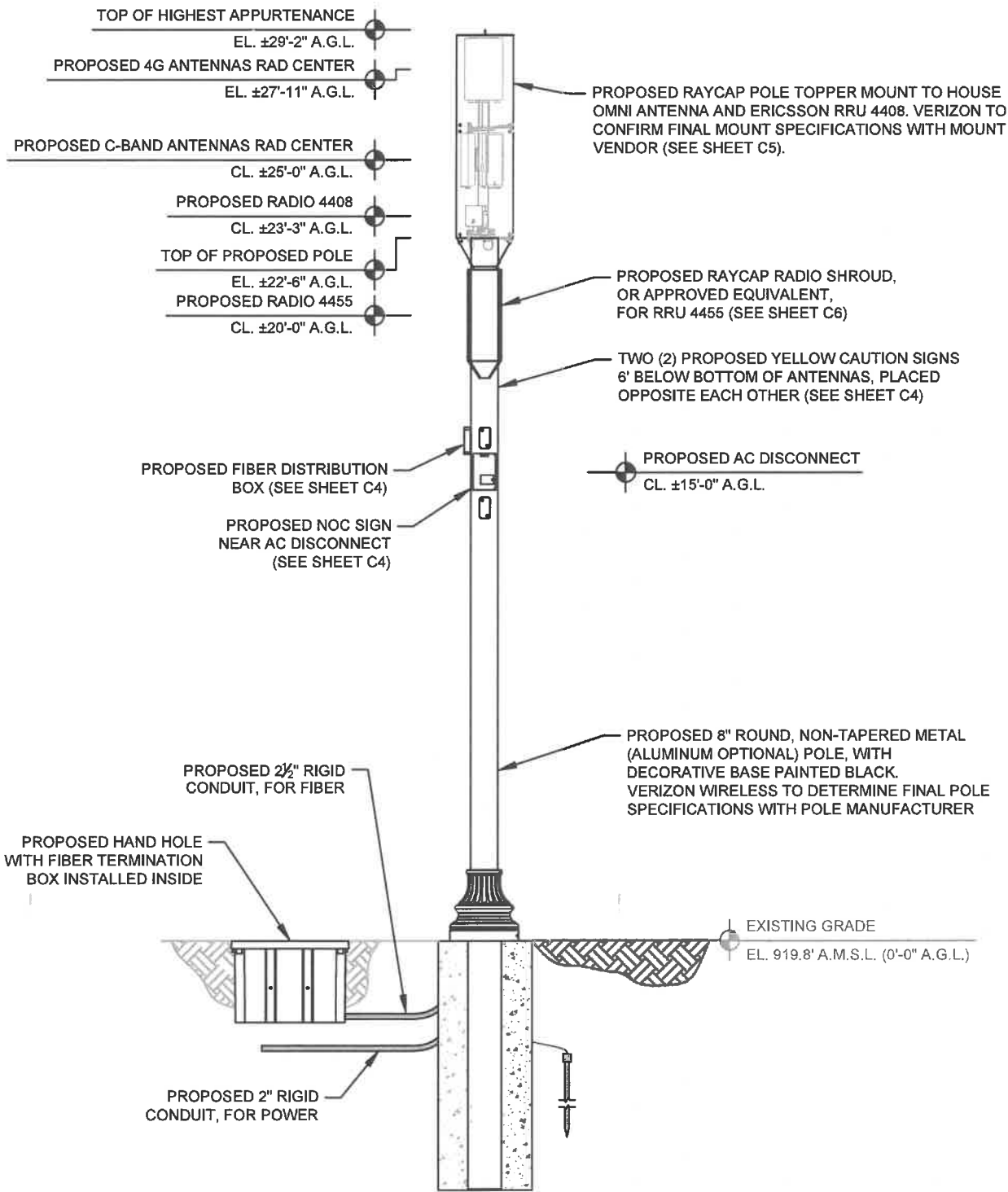
NOTE: SEE FINAL RFDS FOR FINAL AZIMUTHS, FINAL SECTOR COUNT, AND ANY TILTS.



1 ANTENNA ORIENTATION PLAN
C3 NOT TO SCALE



2 EQUIPMENT PLAN VIEW
C3 NOT TO SCALE



3 PROPOSED POLE ELEVATION
C3 SCALE: 1" = 5'



PROJECT INFORMATION:

SITE NAME:
JONESBORO_SC1

170 S MAIN ST
JONESBORO, GA 30236
CLAYTON COUNTY

PLANS PREPARED BY:

Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
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LICENSER:

PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

013509388

DRAWN BY: CHECKED BY:

WJW

TRN

SHEET TITLE:

POLE ELEVATION

SHEET NUMBER:

C3

Google Maps 166 S Main St

Jonesboro, Georgia

Google Street View

Jan 2022

See more dates



Image capture: Jan 2022 © 2023 Google





MEMORANDUM

To: Chantal Scantlebury

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: December 29, 2023

Re: Notification of Request for Design Review Commission – Small Cell Pole, 170 South Main Street, Parcel No. 05241B B009

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Design Review Commission, has accepted your request for a review of a small cell pole located near 170 South Main Street, Jonesboro, Georgia 30236.

A hearing has been scheduled for Wednesday, January 3, 2024 at 4:30 pm before the Design Review Commission at 1859 City Center Way, Jonesboro to consider the request as described above. You are invited to attend if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (3660 : 170 South Main Street Small Cell Pole)