



Jonesboro Historic Preservation Commission
1859 CITY CENTER WAY
January 16, 2024 – 5:30 PM

Agenda

NOTE: As set forth in the Americans with Disabilities Act of 1990, the City of Jonesboro will assist citizens with special needs given proper notice to participate in any open meetings of the City of Jonesboro. Please contact the City Clerk's Office via telephone (770-478-3800) should you need assistance.

I. CALL TO ORDER – Chairperson Betsy Wester

II. APPROVAL OF AGENDA

III. APPROVAL OF MINUTES

IV. OLD BUSINESS - NONE

1. Historic Preservation Commission to consider waiving waiting period for proposed demolition of existing building in Historic District at 217 South Main Street; Parcel No. 05241D A001.

V. NEW BUSINESS - ACTION ITEMS

1. Historic Preservation Commission to consider a Certificate of Appropriateness for Residence – 114 Ingleside Drive; Parcel No. 12017A C007; Enclosure of carport in Historic Residential Overlay.
2. Historic Preservation Commission to consider a Certificate of Appropriateness for Verizon – 170 South Main Street; Parcel No. 05241B B009; Small cell communication pole in Historic District.

VI. ADJOURNMENT



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

4.1

- 1

COUNCIL MEETING DATE

January 16, 2024

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider waiving waiting period for proposed demolition of existing building in Historic District at 217 South Main Street; Parcel No. 05241D A001.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-103 – H-2 Zoning Purpose and Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Community Planning, Neighborhood and Business Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – **Approval of waiver of waiting period for demolition of existing house;** Recently, a new townhome development with certain developmental variances was approved for the property at 217 South Main Street. Construction should start around the first of the new year. The property is within the Historic District (H2).

There is an existing house on the property, which has no relevance to the new development and is within the right-of-way of one of the new streets that will be required for the townhome development.

Per the section 86-103,

(g) Delay in demolition of historic buildings. From and after the designation of a historic district, no building or structure therein shall be demolished or otherwise removed until the owner thereof shall have given the historic preservation commission via the director of downtown development's office 120 days' written notice of his proposed action. Upon receiving written notice, the city shall erect a sign on the property to indicate that the building or structure is proposed for demolition. During such 120-day period the historic preservation commission may negotiate with the owner and with any other parties in an effort to find a means of preserving the building. **Should the historic preservation commission find that the building involved has no particular historic significance or value toward maintaining the character of the district, it may waive all or part of such 90-day period and authorize earlier demolition or removal.** In making a determination of a building's particular historic significance, the historic preservation commission shall refer to the most recent inventory of historic buildings kept on file at the office of downtown development.

The building does date to 1905 but is in bad shape and has not been lived in in several years. Staff recommends a full waiver from the demolition waiting period, as the preservation of the home will directly conflict with the approved development plans for the townhomes, and clearing and grading will start this winter.

Update:

This was tabled from November to get more information as to the status of the house. Per the current property owner, Roderick G, Turner:

Be advised that there is a well on the back porch of the main house and a well on the front porch of one of the outbuildings located approximately 125 yards east of the main house. All of these buildings are structurally unsound and the roof, ceiling, or floor is subject to collapse at any time.

Access to these structures is at the risk of the individual entering the building. Neither I, nor any of the owners of the property, will be held at fault for any injuries or deaths that may occur.

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Melissa Brooks, City Clerk

Date

January, 16, 2024

Signature

City Clerk's Office

Fiscal Impact*(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)*

Private Owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Property Info
- Site Plan
- Foxtrail_HistoricalCommission_Waiver_Letter
- Owner Letter
- Acceptance Letter - January 2024

Staff Recommendation *(Type Name, Title, Agency and Phone)***Approval**



Imagery ©2023 Airbus, Maxar Technologies, Map data ©2023 20 ft

Google Maps 209 S Main St



Jonesboro, Georgia

Google Street View

Feb 2023

See more dates

Image capture: Feb 2023 © 2023 Google



[Searches](#) [Tax Assessor](#) [Tax Commissioner](#)
[Real Property Search](#)[Advanced Search](#)[Sales Search](#)[Personal Property /
Mobile Home Search](#)[Map Search](#)**TAX COMMISSIONER**[Tax Commissioner Summary](#)[Make A Payment](#)[Tax by Authority](#)[Payment History](#)**TAX ASSESSOR**[Tax Assessor Summary](#)[Commercial](#)[Residential](#)[Miscellaneous Structures](#)[Personal Property](#)[Sketch](#)[Values](#)[Value History](#)[Assessment Notices](#)[Pictometry](#)[Income & Expense Values](#)[Appeal Status](#)[Sales](#)[Land](#)[Map](#)[Permits](#)

PARID: 05241D A001

TURNER PANITZ TERESA T AND TURNER LISA

NBHD: 33004

217 S MAIN ST

1 of 2

[Return to Search Results](#)

Year: 2023 ▼

Actions[Printable Summary](#)[Printable Version](#)**Reports**[Attribute Export](#)[Mailing List](#)[Sales](#)[Residential PRC \(New\)](#)[Residential PRC \(Old\)](#)[Tax Bill](#)[Mobile Home Bill](#)[Commercial PRC](#)[Sketch Print](#)

Go

Residential Characteristics

Year	2023
Card #	1
Stories	1
Roof Type and Covering	- / -
Exterior Walls	1 - FRAME
Year Built	1905
% Complete	100%
Effective Year Built	1905
Living Area	3,266
Total Rooms	8
Bedrooms	3
Full Baths	2
Half Baths	
Foundation	1 - SLAB
Total Basement Area	
Finished Basement Area	
Unfinished Basement Area	
Basement Rec Area	
Pre Fab Fireplace	
Masonry Fireplace	

Amenities

Description	Number	Value
ADDITION POINTS	5.50	0

Values - Assessment

Year	2023
Land FMV	77,000
Improvement - FMV	122,900
Total - FMV	199,900

Land - 40% Value	30,800
Improvement - 40% Value	49,160
Total - 40% Value	79,960

Class	R3
Return Value	
Ag/CUVA Value	

Appeal and Sales Information

Appeal Type	N- VALUE CHANGE NOTICE SENT
Appeal Status	
Latest Sale Date	
Sale Price	

TAX COMMISSIONER

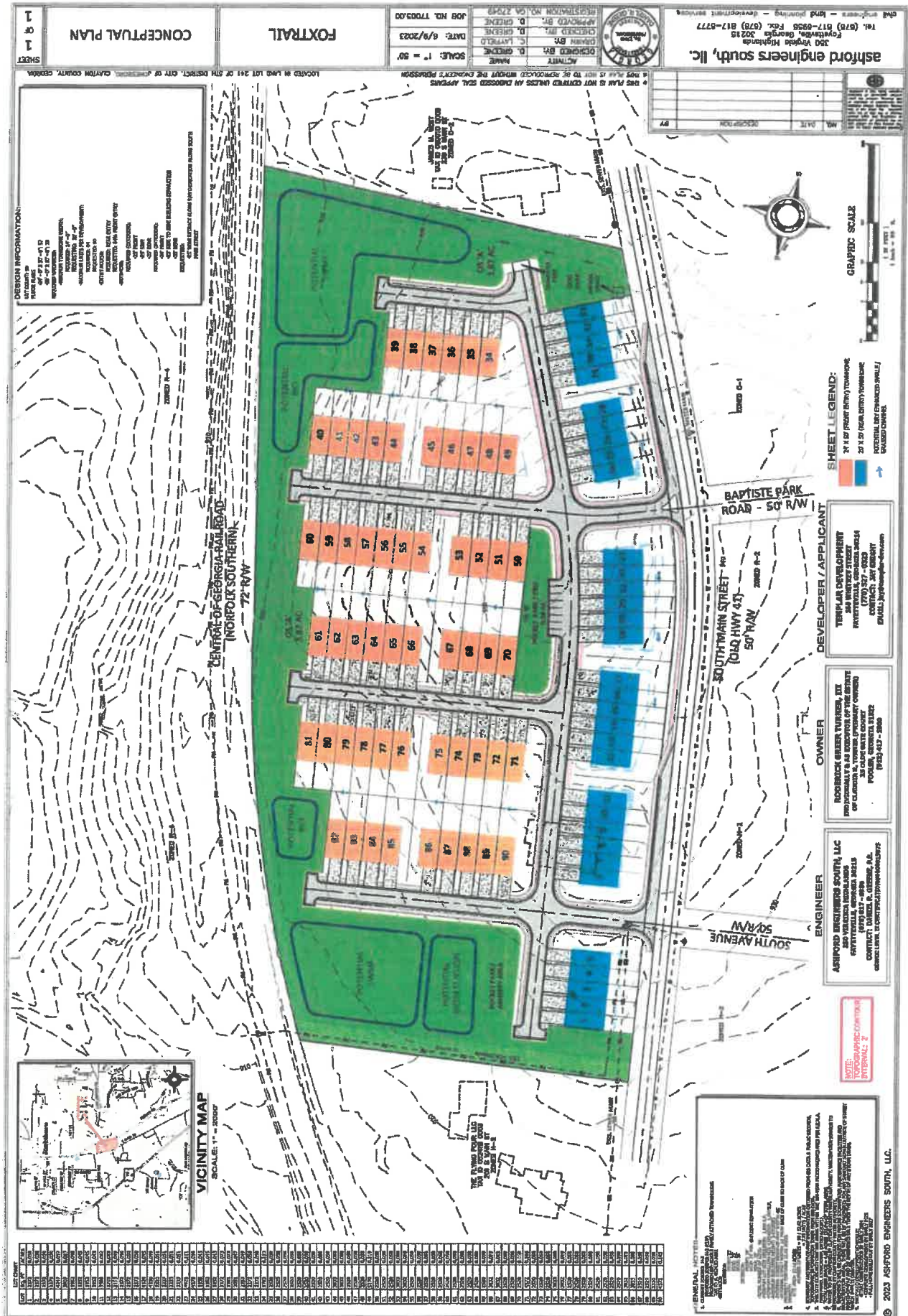
Clayton County Administration
Annex 3, 2nd Floor
121 South McDonough Street
Jonesboro, GA 30236

Property Tax: (770) 477-3311

TAX ASSESSOR

P.K Dixon
Annex 2, 2nd Floor
121 South McDonough Street
Jonesboro, GA 30236

Phone: (770) 477-3285



Attachment: Site Plan (3677 : 217 South Main Street Demolition)

ashford engineers south, LLC

350 Virginia Highlands
Fayetteville, GA 30215 USA
Tel 678.817.6956

November 13, 2023

Mr. David D. Allen, RLA
Community Development Director / Zoning Administrator / Interim City Manager
City of Jonesboro
Department of Planning & Zoning
1859 City Center Way
Jonesboro, Georgia 30236

RE: **Foxtrail Subdivision: Historic Preservation Commission Request**
217 South Main Street
City of Jonesboro, Clayton County, Georgia
Ashford Ref. No. 23-T7005

Dear Mr. Allen:

The purpose of this letter is to follow up our prior development requests for the subject property located at 217 South Main Street, within the limits of the City of Jonesboro. As you are aware Ashford Engineers South, LLC has been contracted by Templar Development to prepare development plans for their project. The proposed development is for a ninety (90) lot townhome development. To complete this development, the developer will need to demolish the existing structures on the site, which have been deemed historical. Please accept this letter as the official request to waive the Historical Commission's one hundred twenty (120) day study period, as the developer plans to move forward with development as soon as the development is properly permitted.

Please let me know if you have any questions or require further documentation. The owner or a designated representative shall attend the Commission's Hearing on November 20, 2023.

Very truly yours,
ashford engineers south, LLC

Daniel R. Greene

Daniel R. Greene, P.E.
President / Project Manager

Cc: Jay Knight, Templar Development
File

Attachment: Foxtrail_HistoricalCommission_Waiver_Letter (3677 : 217 South Main Street Demolition)

David Allen

From: ashengrs <ashengrs@bellsouth.net>
Sent: Monday, December 11, 2023 10:22 AM
To: David Allen
Subject: Foxtrail: Demolition of House

David D. Allen, RLA, City Manager
City of Jonesboro

David:

Following back up with you regarding your request to get pictures of the existing house and buildings at the Foxtrail property. I received authorization from the existing homeowner this weekend; see below:

To whom it may concern. I authorize my real estate agent, Mr. Clay Henderson, to act on my behalf concerning access to both the property and the house located at 217 South Main Street, Jonesboro, GA. Mr. Henderson may authorize the buyer access to the house and any of the outer buildings. Be advised that there is a well on the back porch of the main house and a well on the front porch of one of the outbuildings located approximately 125 yards east of the main house. All of these buildings are structurally unsound and the roof, ceiling, or floor is subject to collapse at any time.

Access to these structures is at the risk of the individual entering the building. Neither I, nor any of the owners of the property, will be held at fault for any injuries or deaths that may occur.

The point of contact for this email is the undersigned at (912) 417-1000.

//original signed//
 Roderick G. Turner III
 Executor of the Estate of Claudia Turner

I will make arrangements with Mr. Clay Henderson to enter the buildings either this week or the beginning of next. I will forward the pictures, once complete.

Talk to you soon,

Attachment: Owner Letter (3677 : 217 South Main Street Demolition)



MEMORANDUM

To: Templar Development / Jay Knight
160 Whitney Street
Fayetteville, Ga. 30214

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: January 5, 2023

Re: Notification of Request for Historic Preservation Commission – Demolition of Existing Home – Waiting Period Waiver, 217 South Main Street; Tax Map Parcel No. 05241D A001

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a waiver of the waiting period for the demolition of an existing home for the property located at 217 South Main Street, Jonesboro, Georgia.

A hearing has been scheduled for Tuesday, January 16, 2023 at 5:30 pm before the Historic Preservation Commission at 1859 City Center Way to consider the request as described above. Your presence is recommended.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.1

- 1

COUNCIL MEETING DATE

January 16, 2024

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider a Certificate of Appropriateness for Residence – 114 Ingleside Drive; Parcel No. 12017A C007; Enclosure of carport in Historic Residential Overlay.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-98 R-4 District Standards; Sec. 86-111 Historic Residential Overlay Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of carport enclosure with conditions; The single-family detached residence with single carport at 114 Ingleside Drive was built many years ago. Recently, the current owner applied to fully enclose the carport on the side of the house. The enclosure would be used as an extra storage room and not be a bedroom. Their building permit is pending, but Design Review Commission and Historic Preservation Commission review are required. The property is zoned R-4 and is in the Historic Residential Overlay. **The residence is predominantly brick (red), but the applicant is proposing to have the carport enclosure enclosed by siding (with a new window and door).**

Per Code Sec. 86-276., the enclosure of porches or garages prohibited.

Enclosure of front porches shall be prohibited without compensating construction of a replacement porch of equal or greater dimension. Similarly, enclosure of attached garages shall be prohibited without compensating construction of a replacement garage of equal or greater dimension. Replacement garages may be attached or detached.

However, the code does not prohibit the enclosure of carports, and the Code makes a distinction between garages and carports:

Carport. A structure attached or made a part of a principal dwelling and open to the elements on two or more sides, intended to shelter vehicles.

Garage, private. An accessory building or a portion of the principal dwelling designed or used for storage of motor-driven vehicles owned and used by the occupants of the building. The garage is enclosed on all three sides where the access door is not.

Thus, per the enclosed pictures, the structure definitely qualifies as a carport.

(b) R-4 Development standards. Unless otherwise provided in this chapter, uses permitted in the R-2 district shall conform to the following development standards:

(1) Minimum lot area: 10,480 square feet (1/4-acre) Lot not changing.

(2) Minimum lot width: 75 feet Lot not changing.

(3) Minimum front yard: 25 feet Overall footprint not changing.

(4) Minimum side yard: 12 feet Overall footprint not changing.

(5) Minimum rear yard: 25 feet Overall footprint not changing.

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Melissa Brooks, City Clerk

Date

January, 16, 2024

Signature

City Clerk's Office

(6) Minimum floor area per dwelling unit: 1,600 square feet **The house is only 1040 square feet of living area and still be under the 1600 square-foot minimum. However, the overall footprint is not changing, so I do not regard this as a variance situation.**

(7) Maximum building height: Two stories and 35 feet **Height not changing.**

(8) Maximum lot coverage: 35 percent **Overall footprint not changing.**

Historic Residential Overlay Development standards (for additions):

d. Additions.

1. Additions shall be placed away from public view on the rear elevation or on a side elevation well behind the facade.

Will not be in front of façade.

2. Additions shall not obscure the form, orientation or symmetry of the original structure, nor shall such additions exceed the degree of ornamentation of the original structure. **Complies.**

3. Matching or compatible siding and roofing materials shall be used. **See approval conditions below.**

4. Matching or compatible windows and doors shall be used. **See approval conditions below.**

5. The removal of a significant portion of original materials to construct an addition is prohibited. **n/a**

Vinyl siding will not be allowed; any siding material shall be Hardiplank. While staff respects the cost of doing an all-brick carport enclosure to match the house, the water table or "skirt" of the carport enclosure should be related color wise and material wise to the rest of the house and not be all siding.

- 1. Hardiplank siding color shall match match gable siding color.**
- 2. New windows shall match color and style of existing front windows.**
- 3. Bottom of enclosure's exterior shall match the adjacent stone on the house's foundation.**

Update for Historic Preservation meeting:

The Design Review Commission had some further comments about the carport enclosure.

- 1. Hardiplank siding color shall match match gable siding color. (horizontal siding)**
- 2. New windows shall match color and style of existing front windows. Window needs to be same height as other windows. If you can't match the style of existing windows closely enough, then provide a gridless, double-hung picture window instead.**
- 3. Bottom of enclosure's exterior shall closely match the color and height of the adjacent stone on the house's foundation. (Including the white grout). This shall occur on the front of the carport enclosure and the side.**

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Existing House
- Acceptance Letter - January 2024

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval with Conditions

Google Maps 114 Ingleside Dr

Jonesboro, Georgia

Google Street View

Jan 2022 See more dates



Image capture: Jan 2022 © 2023 Google



Google Maps 113 Ingleside Dr

Jonesboro, Georgia

Google Street View

Jan 2022 See more dates

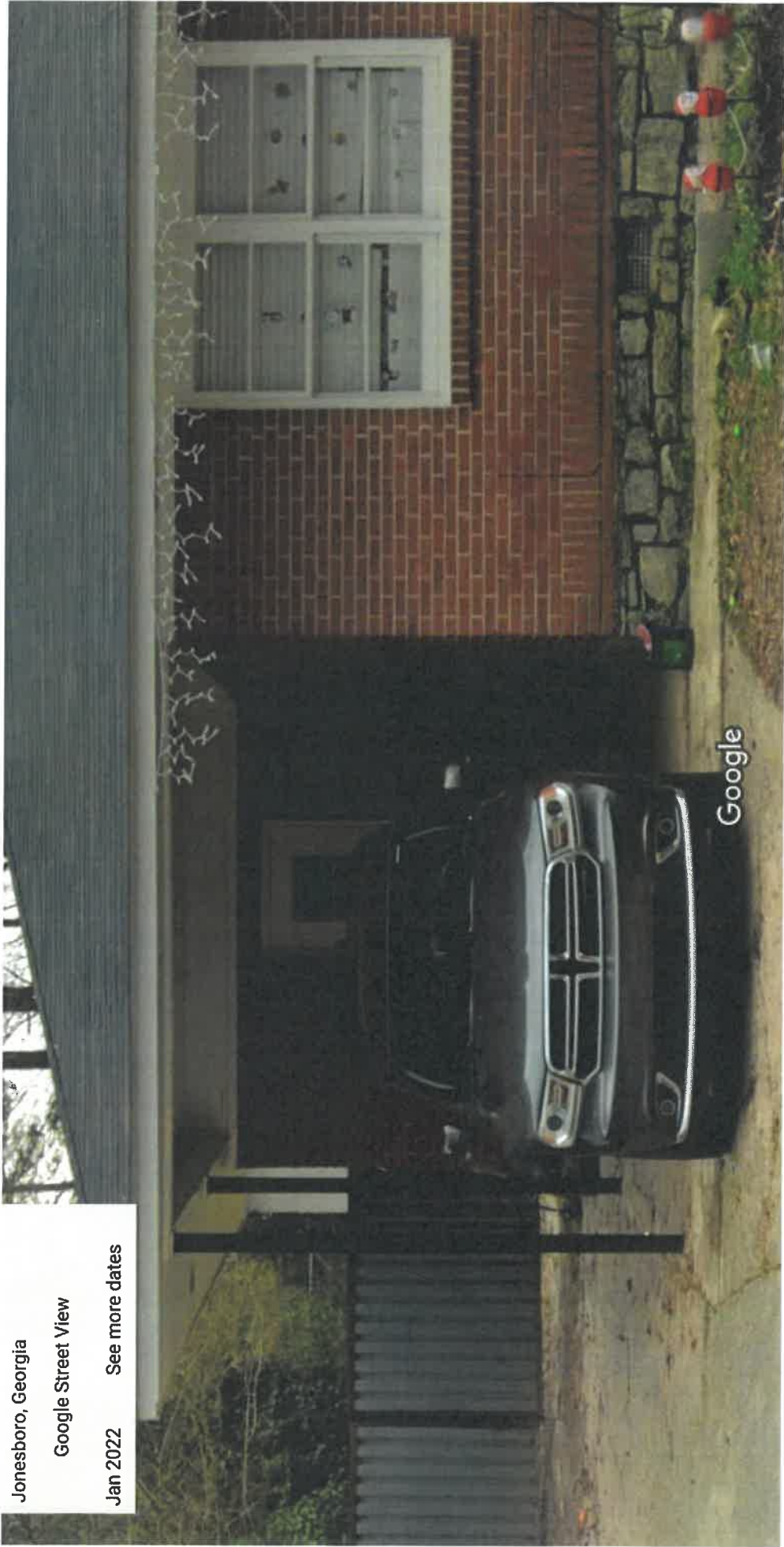


Image capture: Jan 2022 © 2023 Google





MEMORANDUM

To: Nancy Hernandez

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: January 5, 2023

Re: Notification of Request for Historic Preservation Commission – Carport
Enclosure, 114 Ingleside Drive; Tax Map Parcel No. 12017A C007

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a carport enclosure for the property located at 114 Ingleside Drive, Jonesboro, Georgia.

A hearing has been scheduled for Tuesday, January 16, 2023 at 5:30 pm before the Historic Preservation Commission at 1859 City Center Way to consider the request as described above. Your presence is recommended.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter - January 2024 (3678 : 114 Ingleside Drive)



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

5.2

- 2

COUNCIL MEETING DATE

January 16, 2024

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider a Certificate of Appropriateness for Verizon – 170 South Main Street; Parcel No. 05241B B009; Small cell communication pole in Historic District.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-103, H-2 Historic District Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Community Planning, Neighborhood and Business Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of pole placement and design; Recently, Verizon approached the City about placing a small cell pole in the right of way in front of the old police department building at 170 South Main Street. Small cell technology replaces the tall cell towers with much smaller structures, usually the size of power poles and street light poles. This area is within the Historic District, and thus the new structure must be reviewed by the Design Review Commission and Historic Preservation Commission.

Sec. 86-103. - H-2 historic district.

(c) Required review of exterior changes. From and after the designation of the H-2 district, no exterior portion of any building or other structure that can be viewed from the public right-of-way (including stone walls, fences, light fixtures, steps and pavement, or other appurtenant features) **nor an aboveground utility structure**, nor any type of permanent sign shall be erected, altered, restored or moved within such H-2 district until an application for a certificate of appropriateness as to exterior architectural features and signage has been submitted to and approved by the historic preservation commission. All proposed changes requiring a certificate of appropriateness shall comply with the H-2 design standards found in subsection (l) herein.

The proposed pole is black metal, about 29 feet tall, and will look similar to nearby street light poles already in place. Just one pole is proposed for now. While in the Historic District, this property is not in the downtown “core.”

Design Review recommendation, 1.3.24: Denial of current location

The committee stated that the pole (especially the top) was a bad look for the historic district, and they were concerned about the precedent this might start with a lot of these poles possibly scattered around the downtown.

They asked if it could be moved outside of the right-of-way (out of plain sight) or co-located on an existing structure in the city?

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Melissa Brooks, City Clerk

Date

January, 16, 2024

Signature

City Clerk's Office

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Proposed Pole
- Pole Specs
- Existing Light Pole
- Acceptance Letter HPC

Staff Recommendation (Type Name, Title, Agency and Phone)

Denial of Current Location

VZ23-01824W-05

Jonesboro SC1 Simulation 1.0



Attachment: Proposed Pole (3679 : 170 South Main Street - Small Cell Pole)

Jonesboro SC1 Simulation 2.0



VZ23-01824W-05



Attachment: Proposed Pole (3679 : 170 South Main Street - Small Cell Pole)



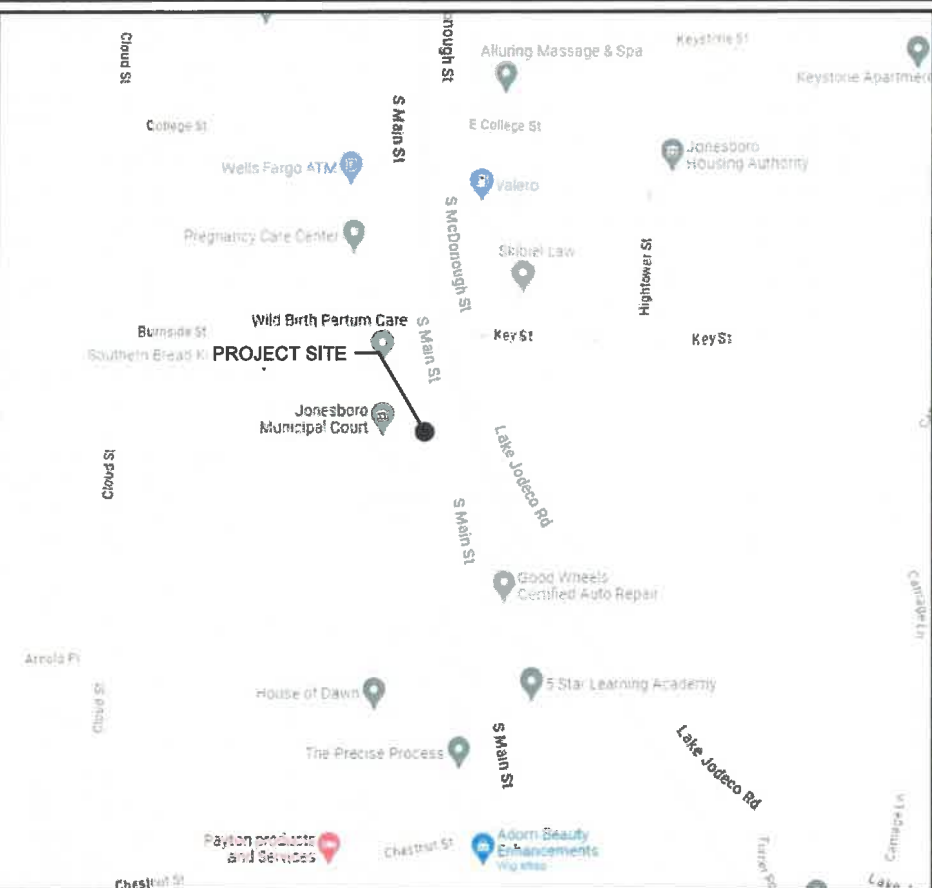
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022

SITE NAME: JONESBORO_SC1

SITE ADDRESS:
170 S MAIN ST
JONESBORO, GA 30236
CLAYTON COUNTY

LOCATION NUMBER: 5000938720 POLE OWNER: VERIZON WIRELESS

SITE DATA:
LATITUDE: 33.51729796° LONGITUDE: -84.35412652° GROUND ELEVATION: 919.8' A.M.S.L.
33°31'2.27"N 84°21'14.86"W



PROJECT INFORMATION:
SITE NAME: JONESBORO_SC1
170 S MAIN ST
JONESBORO, GA 30236
CLAYTON COUNTY

PLANS PREPARED BY:
Kimley»Horn
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM

SITE IDENTIFICATION

VICINITY MAP

LOCATION MAP



VERIZON WIRELESS
10300 OLD ALABAMA ROAD CONN.
ALPHARETTA, GA 30022
PHONE: (470) 653-0834
ATTN.: TARA PERSINGER HARRIS



KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: (470) 299-7052
ATTN.: TREVOR NEWTON, P.E.

THIS PROJECT CONSISTS OF THE INSTALLATION OF PROPOSED SMALL CELL EQUIPMENT, BY VERIZON WIRELESS, ON A PROPOSED METAL POLE, OWNED BY VERIZON WIRELESS AND INSTALLED BY VERIZON WIRELESS, ALONG WITH ASSOCIATED ELECTRICAL COMPONENTS, MOUNTING HARDWARE AS NEEDED AND ALL ASSOCIATED WORK.

THE PLANS AND DETAILS IN THIS DRAWING SET REPRESENT A PORTION OF A SMALL CELL NETWORK TO BE CONSTRUCTED IN PUBLIC RIGHT OF WAY PURSUANT TO AUTHORITY GRANTED BY CITY OF JONESBORO.

THIS PROJECT MEETS CITY OF JONESBORO DESIGN MANUAL STANDARDS AND GUIDELINES.

FIBER TO BE BROUGHT TO A HANDHOLE AT BASE OF POLE.
POWER TO BE ROUTED UNDERGROUND TO BASE OF POLE.

SCOPE OF WORK
• INSTALL (1) PROPOSED 22'-6" METAL POLE
• INSTALL (1) OMNI ANTENNA, (3) CBAND ANTENNAS & (1) CBRS RRU IN POLE TOPPER
• INSTALL (1) 1800/AWS RRU IN CONCEALMENT SHROUD MOUND
• INSTALL (1) FIBER ROT ON SIDE OF POLE
• INSTALL (1) AC DISCONNECT SWITCH
• INSTALL CIRCUITS & FEEDERS FOR EQUIPMENT WITHIN POLE
POWER DELIVERY METHOD: UNDERGROUND
FIBER DELIVERY METHOD: UNDERGROUND

MANDATORY CONSTRUCTION CODES:
1.) INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020), (2022)
2.) INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
3.) INTERNATIONAL FIRE CODE, 2018 EDITION, WITH NO GEORGIA AMENDMENTS
4.) INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020), (2022), (2023)
5.) INTERNATIONAL MECHANICAL CODE, 2018 EDITION, GEORGIA AMENDMENTS (2020)
6.) INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020), (2022)
7.) NATIONAL ELECTRICAL CODE, 2020 EDITION, WITH GEORGIA AMENDMENTS (2021)
8.) INTERNATIONAL ENERGY CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020), (2022), (2023)



PROJECT TEAM

PROJECT SUMMARY

ELECTRIC: GEORGIA POWER
FIBER: ONE FIBER
PROPERTY/ROW OWNER: CITY OF JONESBORO
APPLICANT: VERIZON WIRELESS
10300 OLD ALABAMA ROAD CONN.
ALPHARETTA, GA 30022
PHONE: (470) 653-0834
ATTN.: TARA PERSINGER HARRIS

SHEET NO.	SHEET TITLE
T1	TITLE SHEET
N1	GENERAL NOTES
C1	OVERALL SITE PLAN
C2	SITE PLAN & PROPOSED POLE LOCATION
C3	POLE ELEVATION
C4	EQUIPMENT SPECIFICATIONS
C5	EQUIPMENT SPECIFICATIONS
C6	EQUIPMENT SPECIFICATIONS
E1	ELECTRICAL NOTES
E2	PANEL SCHEDULE & RISER DIAGRAM
E3	GROUNDING DETAILS

PROJECT INFORMATION

SHEET INDEX

REV.	DATE	ISSUED FOR	BY
4			
3			
2			
1			
0			
D	11/09/23	CONSTRUCTION	TRN
C	10/26/23	PRELIMINARY	TRN
B	10/25/23	PRELIMINARY	TRN
A	10/20/23	PRELIMINARY	TRN

LICENSER:
PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:
013509388
DRAWN BY: WJW CHECKED BY: TRN

SHEET TITLE:
TITLE SHEET
SHEET NUMBER:
T1

K:\ATL_Wireless\000_Verizon\2021 Sites\GA_AL_4G_SMC\JONESBORO_SC1\CAD\CD\INB-SMC.dwg 11/09/23 11:34 AM by: Josh Walker

Attachment: Pole Specs (3679) : 170 South Main Street - Small Cell Pole)

K:\ATL_Wireless\000_Verizon\2021 Sites\GA_AL_4g_SMC\JONESBORO_SC\1_CAD\CD\INB-SMC.dwg --- 11/09/23 11:34 AM by: Josh Walker

GENERAL NOTES:

- ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND VERIZON WIRELESS PROJECT SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE APPROPRIATE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR ARE TO BE RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS, DIMENSIONS, AND THE LOCATION OF BURIED UTILITIES AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF WORK. NO CLAIMS FOR EXTRA COMPENSATION FOR WORK RESULTING FROM CONFLICTS AND OMISSIONS WHICH COULD HAVE BEEN DISCOVERED BY FIELD VERIFICATION AND INSPECTION, WHETHER INDICATED IN THE CONTRACT DOCUMENTS OR NOT WILL BE ENTERTAINED OR PAID.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK.
- ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFIRM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL (OSHA), STATE AND LOCAL CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES TO THE EXISTING FACILITY AND INSTILLATION RESULTING FROM CONSTRUCTION AND GENERAL NEGLIGENCE. REPAIR ALL DAMAGES AND RESTORE FACILITY AND INSTALLATIONS TO THE SATISFACTION OF VERZION AND LANDLORD AT NO EXTRA CHARGE. NOTIFY THE CUSTOMER'S REPRESENTATIVE AND TOWER OWNER OF ANY SUCH DAMAGES PROMPTLY. REPAIR TO 100% SATISFACTION IMMEDIATELY.
- GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER DISCIPLINES.
- ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAID PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.
- SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED MATERIALS APPROVED BY LOCAL JURISDICTION. CONTRACTOR SHALL KEEP AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DEBRIS.
- THE SCOPE OF WORK FOR THIS PROJECT IS REPRESENTED BY DARK SHADED LINES AND NOTES. CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND CONTRACTORS TO THE SITE AND/OR BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OT 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.

- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
- THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUNDING. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 80 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.
- ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
- ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE GENERAL CONTRACTOR AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
- CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES TO THE GENERAL CONTRACTOR UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
- CONTRACTOR SHALL LEAVE PREMISES IN A CLEAN CONDITION.
- STRUCTURE IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY VERIZON WIRELESS TECHNICIANS.
- NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.
- CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE SITE OWNER. CONTRACTORS SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- ALL CABLE INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

ANTENNA MOUNTING:

- DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL CONFORM TO CURRENT ANSI/TIA-222 OR APPLICABLE LOCAL CODES.
- ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS NOTED OTHERWISE.
- ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS NOTED OTHERWISE.
- DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780.
- ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH LOCK NUTS, DOUBLE NUTS AND SHALL BE TORQUED TO MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL INSTALL ANTENNA PER MANUFACTURER'S RECOMMENDATION FOR INSTALLATION AND GROUNDING.
- PRIOR TO SETTING ANTENNA AZIMUTHS AND DOWNTILTS, ANTENNA CONTRACTOR SHALL CHECK THE ANTENNA MOUNT FOR TIGHTNESS AND ENSURE THAT THEY ARE PLUMB, ANTENNA AZIMUTHS SHALL BE SET FROM TRUE NORTH AND BE ORIENTED WITHIN +/- 5% AS DEFINED BY THE RFDS. ANTENNA DOWNTILTS SHALL BE WITHIN +/-0.5% AS DEFINED BY THE RFDS.

TORQUE REQUIREMENTS:

- ALL RF CONNECTIONS SHALL BE TIGHTENED BY A TORQUE WRENCH TO THE MANUFACTURES SPECIFIED TORQUE.
- ALL RF CONNECTIONS, GROUNDING HARDWARE AND ANTENNA HARDWARE SHALL HAVE A TORQUE MARK INSTALLED IN A CONTINUOUS STRAIGHT LINE FROM BOTH SIDES OF THE CONNECTION.
 - RF CONNECTION BOTH SIDES OF THE CONNECTOR.
 - GROUNDING AND ANTENNA HARDWARE ON THE NUT SIDE STARTING FROM THE THREADS TO THE SOLID SURFACE. EXAMPLE OF SOLID SURFACE: GROUND BAR, ANTENNA BRACKET METAL.

COAXIAL CABLE NOTES:

- TYPES AND SIZES OF THE ANTENNA CABLE ARE BASED ON ESTIMATED LENGTHS. PRIOR TO ORDERING CABLE, CONTRACTOR SHALL VERIFY ACTUAL LENGTH BASED ON CONSTRUCTION LAYOUT AND NOTIFY THE PROJECT MANAGER IF ACTUAL LENGTHS EXCEED ESTIMATED LENGTHS.
- CONTRACTOR SHALL VERIFY THE DOWN-TILT OF EACH ANTENNA WITH A DIGITAL LEVEL.
- CONTRACTOR SHALL CONFIRM COAX COLOR CODING PRIOR TO CONSTRUCTION.
- ALL JUMPERS TO THE ANTENNAS SHALL BE 1/2" DIA. LDF AND SHALL NOT EXCEED 6'-0".
- TYPES AND SIZES OF THE ANTENNA CABLE ARE BASED ON ESTIMATED LENGTHS. PRIOR TO ORDERING CABLE, CONTRACTOR SHALL VERIFY ACTUAL LENGTH BASED ON CONSTRUCTION LAYOUT AND NOTIFY THE PROJECT MANAGER IF ACTUAL LENGTHS EXCEED ESTIMATED LENGTHS.
- ALL COAXIAL CABLE SHALL BE SECURED TO THE DESIGNED SUPPORT STRUCTURE, IN AN APPROVED MANNER, AT DISTANCES NOT TO EXCEED 4'-0" OC.
- CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS REGARDING BOTH THE INSTALLATION AND GROUNDING OF ALL COAXIAL CABLES, CONNECTORS, ANTENNAS, AND ALL OTHER EQUIPMENT.
- CONTRACTOR SHALL WEATHERPROOF ALL ANTENNA CONNECTORS WITH SELF-AMALGAMATING TAPE.
- ALL FIBER INSTALLED MUST BE LOW LOSS FIBER.
- ALL FIBER INSTALLED MUST BE OUTDOOR RATED AND UV STABILIZED.
- ALL FIBER MUST BE NON-CONDUCTIVE OR HAVE A JACKET RATED FOR 600V.
- ALL FIBER TERMINATIONS SHALL REQUIRED WEATHER PROOFING THAT MEETS MANUFACTURE SPECIFICATIONS.

ADDITIONAL VERIZON STANDARDS:

- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ANTENNA, TMAS, DIPLEXERS, AND COAX CONFIGURATION, MAKE AND MODELS PRIOR TO INSTALLATION.
- ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL REFERENCE THE STRUCTURAL ANALYSIS / DESIGN DRAWINGS FOR DIRECTIONS ON CABLE DISTRIBUTION / ROUTING.
- ALL OUTDOOR RF CONNECTORS/CONNECTIONS SHALL BE WEATHERPROOFED, EXCEPT THE RET CONNECTORS, USING BUTYL TAPE AFTER INSTALLATION AND FINAL CONNECTIONS ARE MADE. BUTYL TAPE SHALL HAVE A MINIMUM OF ONE-HALF TAPE WIDTH OVERLAP ON EACH TURN AND EACH LAYER SHALL BE WRAPPED THREE TIMES. WEATHERPROOFING SHALL BE SMOOTH WITHOUT BUCKLING. BUTYL BLEEDING IS NOT ALLOWED.
- IF REQUIRED TO PAINT ANTENNAS AND/OR COAX:
 - TEMPERATURE SHALL BE ABOVE 50° F, OR PAINTING TO BE PERFORMED IN A MANNER CONSISTENT WITH THE PAINT MANUFACTURER'S INSTRUCTIONS FOR COLD WEATHER PAINTING.
 - PAINT COLOR MUST BE APPROVED BY BUILDING OWNER/LANDLORD.
 - FOR REGULATED TOWERS, FAA/FCC APPROVED PAINT IS REQUIRED.
 - DO NOT PAINT OVER COLOR CODING OR ON EQUIPMENT MODEL NUMBERS.
- ALL PROPOSED GROUND BAR DOWNLEADS ARE TO BE TERMINATED TO THE EXISTING ADJACENT GROUND BAR DOWNLEADS A MINIMUM DISTANCE OF 4'-0" BELOW GROUND BAR. TERMINATIONS MAY BE EXOTHERMIC OR COMPRESSION.
- ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION & RECOMMENDATIONS.
- NO BOLT THREADS TO PROTRUDE MORE THAN 1-1/2" [.038M].
- 90 SHORT SWEEPS UNDER ANTENNA ARM. ALL CABLES MUST ONLY TRANSITION ON THE INSIDE OR BOTTOM OF ARMS (NO CABLE ON TOP OF ARMS).
- USE 90 CONNECTOR AT CABLE CONNECTION TO ANTENNAS.
- PLACE GPS ON ARM WITH SOUTHERN SKY EXPOSURE AT MINIMUM 6' [1.83] FROM TRANSMIT ANTENNA, WHICH IS 24" [.61M] AWAY FROM CENTER OF POLE.
- USE 1/2" [.013M] CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.
- FILL VOID AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTRUSION.
- THE MINIMUM SIZE OF ALL ANTENNA POLE WILL BE ANSI CLASS 3, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES.
 - THE SMALL CELL RIGHT OF WAY PERMIT HAS BEEN APPLIED FOR BY VERZION AND WILL BE SUPPLIED TO THE CONTRACTOR PRIOR TO CONSTRUCTION
 - ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS
 - ALL PERMITS MUST BE AVAILABLE AND DISPLAYED ON SITE WHEN PRESENT DURING ALL PHASES OF CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR THE CONTACTING OF AND COORDINATION WITH:
 - LOCAL UTILITY PROTECTION SERVICES
 - ELECTRIC POWER PROVIDER
 - GOVERNING DIVISION OF ENGINEERING & CONSTRUCTION
 - GOVERNING DIVISION OF TRAFFIC & ENGINEERING
 - GOVERNING DIVISION OF POLICE & TRAFFIC
 - AND ALL PRIVATE UTILITIES 48 HOURS BEFORE YOU DIG. CONTRACTOR TO SUPPLY VERIZON DIG TICKET NUMBER BEFORE START OF CONSTRUCTION.
- LANE CLOSURE PERMIT FOR RIGHT OF WAY CONSTRUCTION
 - DEFINITION: ANY OBSTRUCTIONS TO THE RIGHT OF WAY INCLUDING ROADWAYS, SIDEWALKS, CURB, ADA RAMPS, TRAFFIC SIGNALIZATION AND APPURTENANCES.
 - LANE CLOSURE AND SIDEWALK OBSTRUCTION PERMITS ALL REPAIRS ARE TO BE PERFORMED PER THE LOCAL CITY STANDARDS AND DETAIL DRAWINGS WHICH WILL BE PROVIDED WITH THE SIDEWALK PERMIT OR UPON REQUEST.
- CITY STANDARDS SIDEWALK, DRIVEWAY AND APRON REPAIRS SIDEWALK, DRIVE WALK AND APRON REPLACEMENTS ARE TO BE DONE IN CONCRETE WITH AN AIR ENTRAINED CONCRETE MIX THAT HAS A MINIMUM OF 650 LBS. CEMENT PER CUBIC YARD. FULL SLAB REPAIRS ARE REQUIRED, JOINT-TO-JOINT WITH A BROOM FINISH AND TO LOCAL CODE SPECIFICATIONS. CONCRETE SHALL BE PLACED ON COMPACTED 2" THICK BASE OF SAND OR GRAVEL. PREMIUM FILL MATERIAL SHALL BE PLACED AND COMPACTED IN LIFTS OF 6 INCHES AT ALL AREAS UNDER THE SIDEWALK THAT THE SUB GRADE HAS BEEN EXCAVATED. NEW BRICK, CONCRETE OR GRANITE PAVERS MUST HAVE APPROVAL PRIOR TO I NSTALLATION. FULL SANDSTONE SLABS MAY BE RELAYED/RESET IF NOT BROKEN OR IF THE SURFACE IS DISHED OR WORN SMOOTH. ALL SIDEWALK REPAIRS IN THE CENTRAL BUSINESS DISTRICT MUST BE 6-INCH THICKNESS. SIDEWALK REPAIRS IN RESIDENTIAL AREAS ARE TO BE 4-INCH THICKNESS AND ALL RESIDENTIAL DRIVEWAYS AND APRONS ARE TO BE 6-INCH THICKNESS. AT ALL CHANGES IN SLAB THICKNESS, 1/2" THICK EXPANSION JOINT MATERIAL SHALL BE PLACED AND ALSO AT MINIMUM OF 30' INTERVALS. ALL AREAS OF NEW CONSTRUCTION SHALL BE PROTECTED AND BARRICADED UNTIL THE AREA CAN BE OPENED TO PEDESTRIAN OR VEHICLE TRAFFIC WITHOUT DAMAGE.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS INCLUDED IN THE PLANS.

5.2.b



10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GEORGIA 30022

PROJECT INFORMATION:

SITE NAME:
JONESBORO_SC1

170 S MAIN ST
JONESBORO, GA 30036
CLAYTON COUNTY

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

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D	11/09/23	CONSTRUCTION	TRN
C	10/26/23	PRELIMINARY	TRN
B	10/25/23	PRELIMINARY	TRN
A	10/20/23	PRELIMINARY	TRN

LICENSER:

PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

013509388

DRAWN BY:

CHECKED BY:

WJW

TRN

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

N1



10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GEORGIA 30022

PROJECT INFORMATION:

SITE NAME:
JONESBORO_SC1

170 S MAIN ST
JONESBORO, GA 30236
CLAYTON COUNTY

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM

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PRELIMINARY
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KHA PROJECT NUMBER:

013509388

DRAWN BY: CHECKED BY:

WJW

TRN

SHEET TITLE:

OVERALL
SITE PLAN

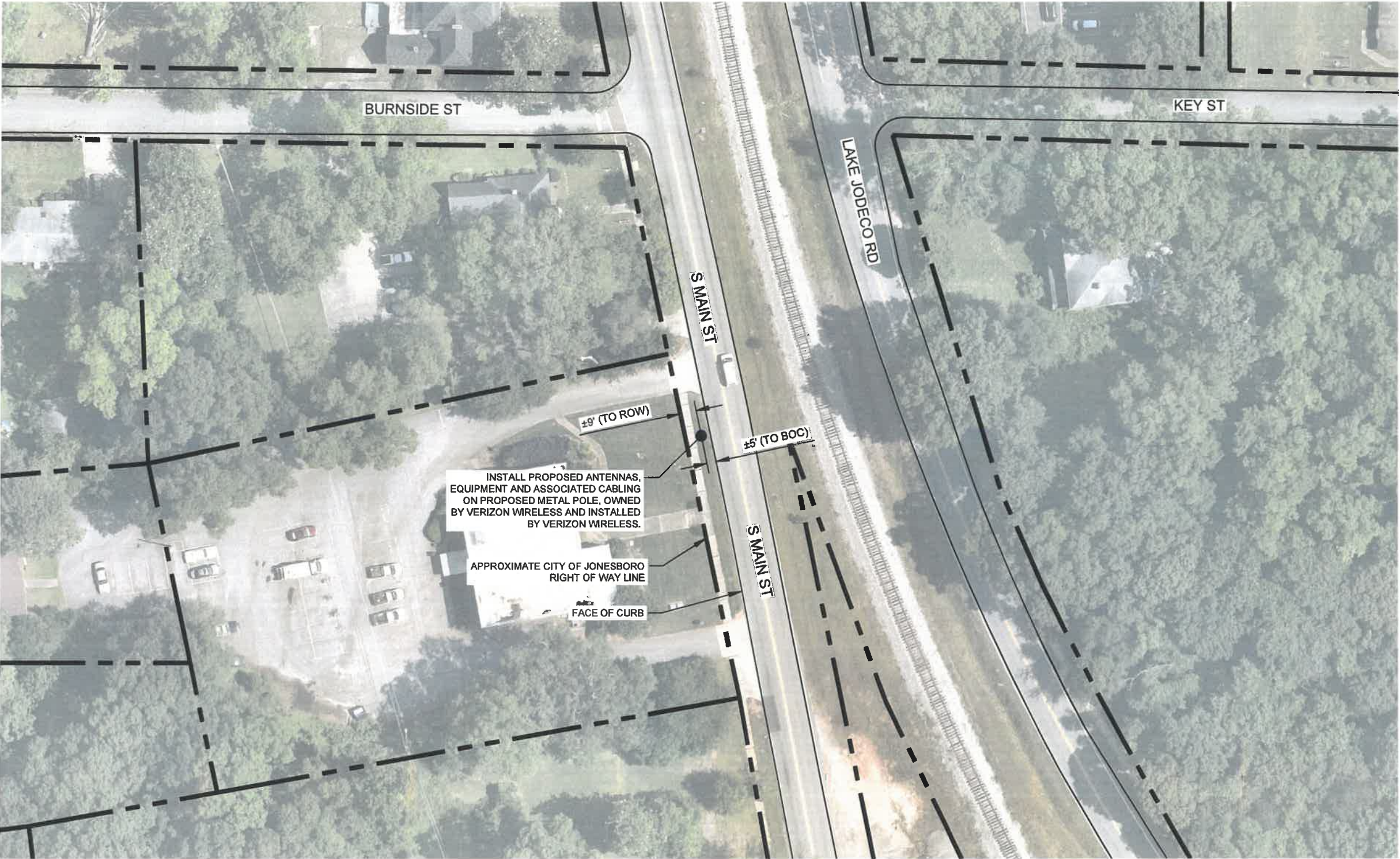
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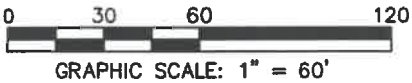
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Packet Pg. 22

Attachment: Pole Specs (3679 : 170 South Main Street - Small Cell Pole)



1 OVERALL SITE PLAN
C1 SCALE: 1" = 60'



NOTE:
INFORMATION SHOWN ABOVE WAS REPRODUCED FROM CLAYTON COUNTY GIS APPLICATION INFORMATION AND NEARMAP, AND IS PROVIDED HERE FOR ILLUSTRATIVE PURPOSES ONLY.



10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GEORGIA 30022

PROJECT INFORMATION:

SITE NAME:
JONESBORO_SC1

170 S MAIN ST
JONESBORO, GA 30236
CLAYTON COUNTY

PLANS PREPARED BY:

Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
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A	10/20/23	PRELIMINARY	TRN

LICENSER:

PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

013509388

DRAWN BY: CHECKED BY:

WJW TRN

SHEET TITLE:

**SITE PLAN &
PROPOSED POLE
LOCATION**

SHEET NUMBER:

C2

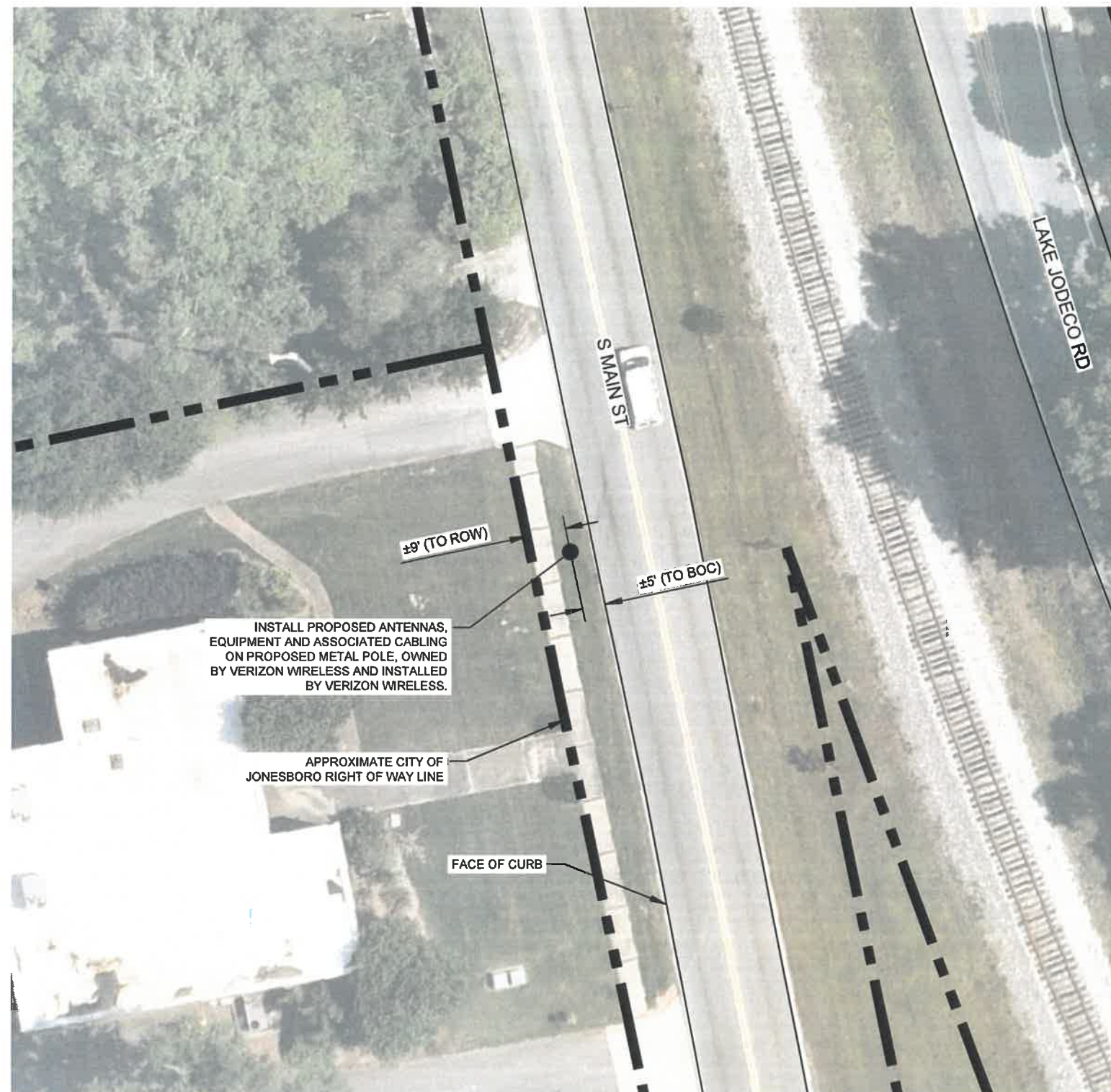
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Packet Pg. 23

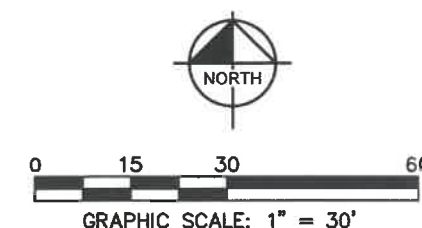
Attachment: Pole Specs (3679 : 170 South Main Street - Small Cell Pole)



1 PROPOSED POLE LOCATION
C2 NOT TO SCALE

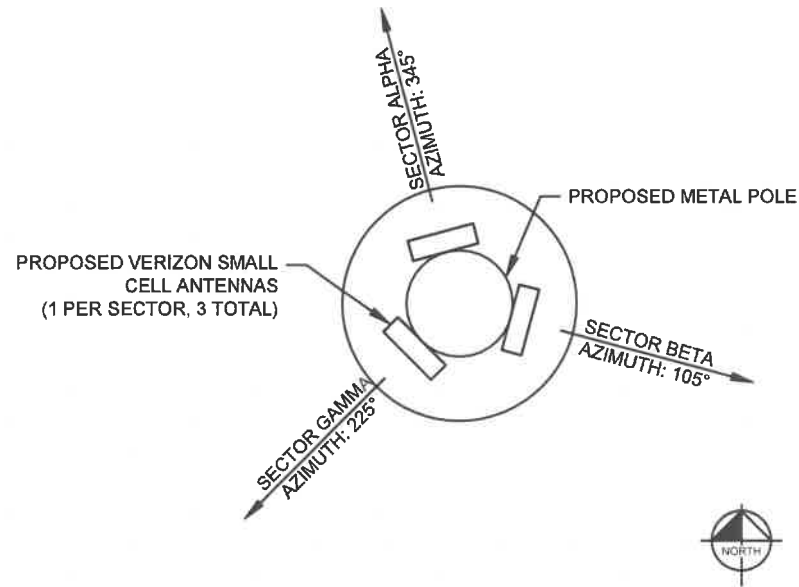


2 SITE PLAN
C2 SCALE: 1" = 30'

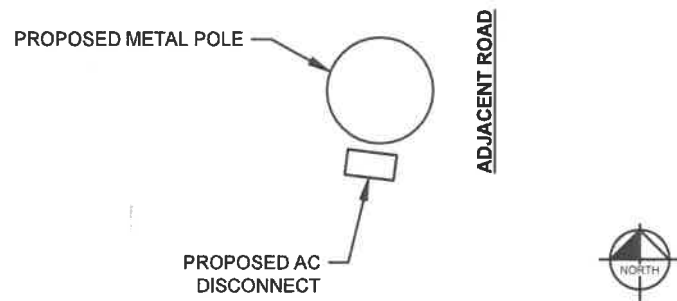


NOTE: SEE REGULATORY MITIGATION DOCUMENTS FOR APPROPRIATE MITIGATION REQUIREMENTS.

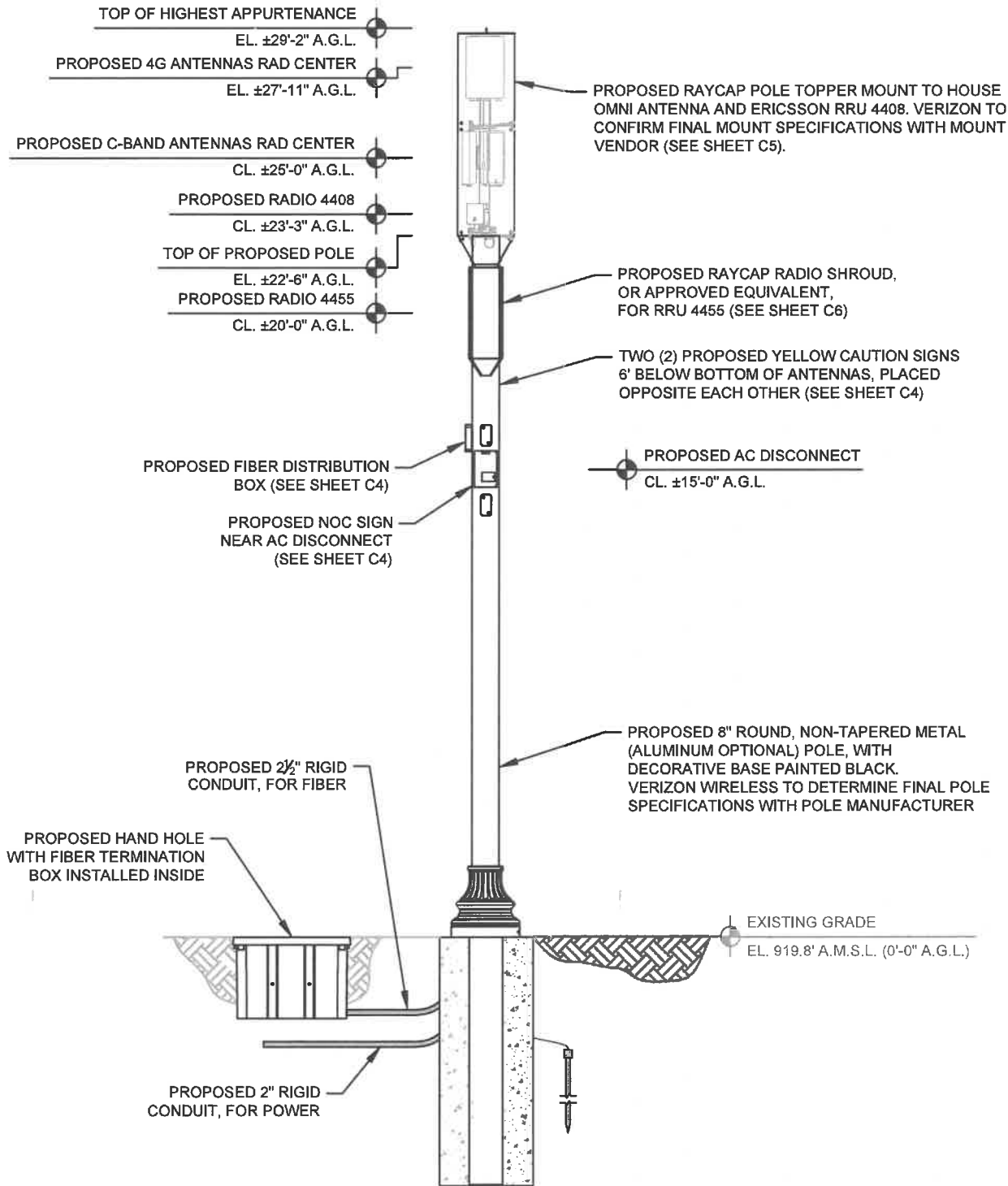
NOTE: SEE FINAL RFDS FOR FINAL AZIMUTHS, FINAL SECTOR COUNT, AND ANY TILTS.



1 ANTENNA ORIENTATION PLAN
C3 NOT TO SCALE



2 EQUIPMENT PLAN VIEW
C3 NOT TO SCALE



3 PROPOSED POLE ELEVATION
C3 SCALE: 1" = 5'



PROJECT INFORMATION:

SITE NAME:
JONESBORO_SC1

170 S MAIN ST
JONESBORO, GA 30236
CLAYTON COUNTY

PLANS PREPARED BY:

Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
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A	10/20/23	PRELIMINARY	TRN

LICENSER:

PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

013509388

DRAWN BY: CHECKED BY:

WJW

TRN

SHEET TITLE:

POLE ELEVATION

SHEET NUMBER:

C3

Google Maps 166 S Main St

Jonesboro, Georgia

Google Street View

Jan 2022

See more dates



Image capture: Jan 2022 © 2023 Google





MEMORANDUM

To: Chantal Scantlebury

From: David D. Allen
City of Jonesboro
1859 City Center Way
Jonesboro, GA 30236

Date: January 8, 2023

Re: Notification of Request for Historic Preservation Commission – Small Cell Pole,
170 South Main Street, Parcel No. 05241B B009

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for a review of a small cell pole located near 170 South Main Street, Jonesboro, Georgia 30236.

A hearing has been scheduled for Tuesday, January 16, 2024 at 5:30 pm before the Historic Preservation Commission at 1859 City Center Way, Jonesboro to consider the request as described above. You are invited to attend if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter HPC (3679 : 170 South Main Street - Small Cell Pole)