



Jonesboro Historic Preservation Commission
124 NORTH AVENUE
May 17, 2021 – 5:30 PM

Agenda

NOTE: As set forth in the Americans with Disabilities Act of 1990, the City of Jonesboro will assist citizens with special needs given proper notice to participate in any open meetings of the City of Jonesboro. Please contact the City Clerk's Office via telephone (770-478-3800) or email at rclark@jonesboroga.com should you need assistance.

I. CALL TO ORDER – Chairperson Betsy Wester

II. APPROVAL OF AGENDA

III. APPROVAL OF MINUTES

IV. OLD BUSINESS - NONE

V. NEW BUSINESS - ACTION ITEMS

1. Historic Preservation Commission to consider a Certificate of Appropriateness for Susan Kirby Law Office – 185 North Main Street; Parcel 13240D C007; Replacement sign panel for business in Historic District.
2. Historic Preservation Commission to consider a Certificate of Appropriateness for Tran Realty – 181 North Main Street; Parcel No. 13240D C005; New wall sign for business in Historic District.
3. Historic Preservation Commission to consider a Certificate of Appropriateness for Willie Middleton II – 120 North McDonough Street; Parcel No. 13241B F004; New deck for rear of commercial building in Historic District.
4. Historic Preservation Commission to consider a Certificate of Appropriateness for Roger and Kathy Swint – 186 North McDonough Street; Parcel No. 13240D A029; Replacement metal roof for building in Historic District.

VI. ADJOURNMENT



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

5.1

- 1

COUNCIL MEETING DATE

May 17, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider a Certificate of Appropriateness for Susan Kirby Law Office – 185 North Main Street; Parcel 13240D C007; Replacement sign panel for business in Historic District.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-489 and 86-490 – Sign Standards' Sec. 86-495 Historic District Sign Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of replacement panel; 185 North Main Street has been a commercial building in the Historic District for many years, currently hosting an attorney's office. Recently, the attorney's office applied for a replacement ground sign panel at the property, requiring Design Review Commission and Historic Preservation Commission review. The existing panel framework (wood posts) will remain in place, being in a grandfathered position. The sign panel will now reflect three attorneys in the same office.

The proposed sign is a double-sided panel, nearly 32 square feet each side, mounted between the existing wooden posts. The sign height (around 8 feet tall) will remain the same. No electronics or illumination are proposed. The 32 square-foot panel is allowable per Section 86-490.

Sec. 86-495. - Historic districts.

The purpose of this section is to ensure that signage in the historic district is harmonious in proportion, form, color, and materials to the character of said district. Visual relatedness is crucial to the goal of an integrated historic district, and signs play a key role in helping to preserve the historical district's sense of time and place, and to achieve the desired effect of charm and compatibility. No sign shall be erected, altered, restored or moved within the historic district until an application for a certificate of appropriateness as to exterior architectural features and signage has been reviewed and approved by the historic preservation commission and the design review commission. All proposed changes requiring a certificate of appropriateness shall comply with the applicable design standards in the 2005 zoning ordinance.

- (1) *Applicability.* This section shall apply only to those structures and uses within the geographical boundaries of the historic districts, the H-1 and H-2 zoning districts.
- (2) *Compatibility.* As to signs, buildings, structures, and uses within the historic districts, when a provision of this section conflicts with any section in the balance of this article, the provision of this section shall control. Otherwise, to the extent reasonably possible, the provisions of this section shall be interpreted consistent with the provisions of the balance of this article.
- (3) *Signage standards.*
 - a. *General.* Signage shall complement the architectural details of the building and shall not violate or otherwise obscure the architecture of the building to which it is attached. Signs, lettering, or boxed graphics shall not cut across columns, cornices, windowsills, arches or balconies, nor extend above the roofline (except for parapets and mansards) of any building to which it is attached.
 - b. *Lettering, size, and content.* Letters can be painted or mounted directly on a signboard, storefront, wall or window, if in proportion to the storefront. Lots in the H-1 and H-2 historic districts are allowed the same amount of signage as lots outside of the H-1 and H-2 historic districts. In the H-1 and H-2 historic districts, canopy signs and hanging or suspended signs may be utilized. Provided, however, in no case may the total signage area exceed ten percent of the building face to which the sign is attached. Acceptable lettering materials include wood, stone, synthetic stone, metal, and acrylic. The overall design of all signage shall be compatible with the turn-of-the-century theme of the historic district.

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

May, 17, 2021

Signature

City Clerk's Office

- c. *Materials.* Signs may be constructed of concrete, brick, wood, stone, metal, glass, or synthetic materials that have the same appearance of the aforementioned natural materials due to their finish. All materials shall be compatible with the building's architecture and should be colorfast and resistant to corrosion. Signs shall be professionally finished in accordance with the material selected, whether by sanding, painting, staining and/or sealing, with the edges of the sign framed out and/or sealed. **The panel will be aluminum.**
- d. *Lighting.* All signs in the historic district, whether ground signs or wall signs, shall only be illuminated by an external light source, and through craftsmanship and materials, shall reflect the design aesthetics of the historic district.
- e. *Colors.* The historic preservation commission and the design review commission shall consider the context of the surrounding area when reviewing the color of a proposed sign in the historic districts; however, the colors and logos of nationally and regionally recognized businesses shall not be prohibited.
- f. *Awning and canopy signs.* Awnings or canopies over doors, entrances, windows or outside service areas are permitted in the H-1 historic district. Professionally applied forms, graphics, symbols, lettering, or other visual presentation may be incorporated into the awning or canopy valance/drop flap but are restricted to 20 percent of the awning field. Size of the signage shall be computed as for a wall sign. Signage pursuant to this subsection shall be included within the overall amount of signage allowed under section 86-489. Awnings or canopies shall clear sidewalks by seven feet in height, and project no more than six feet from the building. Canvas or synthetic look-alike canvas are the only materials permitted for awnings and canopies. Metal or vinyl may be approved for awnings or canopies if the overall design is consistent with the H-1 historic district's turn-of-the-century theme. Awnings or canopies may not be backlit. Metal awnings and canopies are preferred.
- g. *Hanging or suspended signs.* Hanging, suspended, or projecting signs are permitted and shall clear sidewalks by seven feet in height, and project or drop no more than 36 inches from the building. Hanging or suspended signs should project or drop from a wall or roof at a 90-degree angle. Hanging or suspending signs over driveways, alleys, or parking areas is prohibited. Hanging, suspended, or projecting signs shall be limited to a maximum size of six square feet, and if double sided, shall be calculated as only one sign. One hanging, suspended, or projecting sign per business is permitted, and shall be calculated as part of the total signage area allowed under section 86-489. Attractive hardware for hanging is encouraged.
- h. *Window signs.* Interior window signs shall not exceed 25 percent of the total window area exposed to public view. Window signs shall not be included within the overall amount of signage allowed under section 86-489.
- i. *Special events.* Additional signage is permitted in the historic district under section 86-494, provided that all such additional signage conforms to the aesthetic standards of the historic district.
- j. *Ground signs.* Ground signs may hang or suspend from a horizontal support that is affixed to the ground by vertical post.
- k. *A-frame signs.* A-frame or "sandwich" signs are allowed at the rate of one per business or parcel. A-frame signs shall not obstruct pedestrian or vehicular routes.

Design Review Commission recommendation, 5.5.21: Approval, with additional recommendation of adding landscaping around base of sign.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Permit Application
- Existing Sign
- New Sign
- Acceptance Letter

Staff Recommendation (Type Name, Title, Agency and Phone)

Approval



CITY OF JONESBORO

124 North Avenue
Jonesboro, Georgia
30236
770-478-3800

SIGN PERMIT N^o 0845

GOOD FOR SIX MONTHS ONLY

Business Susan Kirby Law Office

Location 185 N Main St

Owner Susan Kirby

Sign Description See Attached

Estimated Cost _____

Fee 6000

Received Payment at ac 21

Date _____

Attachment: Permit Application (1890 : 185 North Main Street - Sign)



CITY OF JONESBORO
 124 North Avenue
 Jonesboro, Georgia 30236
 City Hall: (770) 478-3800
 Fax: (770) 478-3775
 www.jonesboroga.com

SIGN PERMIT APPLICATION

ATTACH ADDITIONAL PAGES IF NECESSARY. ALL ATTACHMENTS MUST BE NUMBERED. INDICATE THE PAGE NUMBER OF ATTACHMENT IN THE SPACES PROVIDED FOR EACH RELEVANT ANSWER. USE A SEPARATE PAGE FOR EACH NECESSARY QUESTION/ANSWER ATTACHMENT.

ANY MISSTATEMENT OR CONCEALMENT OF FACT IN THIS APPLICATION SHALL BE GROUNDS FOR REVOCATION OF THE LICENSE ISSUED AND SHALL MAKE THE APPLICANT LIABLE TO PROSECUTION FOR PERJURY. PLEASE DO NOT LEAVE ANY AREAS UNANSWERED.

APPLICATION FEE: \$60.00 (Non-Refundable). The Sign Permit fee is an additional cost. The City of Jonesboro will calculate and advise fees due.

Administrative fee	(flat fee) \$60.00
Area of Sign 1-10ft ²	(flat fee) \$35.00
Area of Sign 11-25ft ²	(flat fee) \$60.00
Area of Sign 26-50ft ²	(flat fee) \$90.00
Area of Sign 51ft ² and greater	(flat fee) \$125.00
Temporary Signs	(flat fee for second permit) \$30.00
Two permits allowed per property per year. First is free and a flat fee is required for 2nd permit.	

Attachment: Permit Application (1890 : 185 North Main Street - Sign)

Date of Application: 04/06/2021

PLEASE PRINT OR TYPE This is an application for authorization to erect/change signage. A permit fee of \$ 60.00 will be charged and must be submitted with this application, and is based on the City of Jonesboro Schedule of Fees. The signage fees are based on independent sign size. A separate application is required for each new sign or for any change to an existing sign.

Once authorization has been given, and within 10 days of work completion, the applicant must request in writing a final permit. Included with your final permit request must be a current and dated photograph of each face of the sign and a signed affidavit that the photographs are accurate, with a statement that the sign was erected/changed as described in the application. False statements made on this application are grounds for revocation of the sign permit authorization

The city shall process all sign authorizations/permit applications, within 45 days of the city's receipt of completed application. Once written authorization has been issued, all work must be completed within 180 days. If, after 180 days, the City has not received report of completion, the authorization shall become null and void and no final permit will be issued.

Description of Permit

Please check:

- ☐ New Sign
- ☒ Change to Existing Sign
- ☐ Ground Sign
- ☐ Window Sign
- ☐ Subdivision Sign
- ☐ Projecting Sign Wall Sign
- ☐ Entrance Sign
- ☐ Special Event Sign
- ☐ Other (describe below)

susanmkirby@bellsouth.net

Property Owner or Applicant Information

Name: Susan M. Kirby, Attorney

Mailing Address: 185 Main Street

City: Jonesboro State: Georgia Zip: 30236

Phone: (Day) 770-471-3693 (Evening) 770-471-3693

*Signature: Susan M Kirby

*By signing the above line, Property Owner gives permission for appropriate actions.

Attachment: Permit Application (1890 : 185 North Main Street - Sign)

Jonesboro Property Information

Existing Uses and Structures: _____

Surrounding Uses and Structures: (See Official Zoning Map): _____

Surrounding Zoning: _____

North: _____ South: _____ East: _____ West: _____

Property Address of Sign: 185 North Main Street, Jonesboro, GA 30236

Complete dimensions and total area of the sign: 4' x 6.5'

What is the position of the sign in relation to nearby buildings/structures and other signs?

What is the position of the sign in relation to nearby buildings/structures and other signs?

What are the setbacks from right-of-ways, property lines and easements?

Name of person, firm, corporation or association erecting the sign is:

Susan M. Kirby-

Name of business/activity at the address where the sign is to be erected:

Susan M. Kirby, Attorney at Law

Is this in a planned development?

Attach to this application a written description of all other signs located on the lot, indicating the sign type, size and placement. (Master Signage Plan)

Attachment: Permit Application (1890 : 185 North Main Street - Sign)

Include one accurate scale drawing of the sign plans you are requesting a permit for. Include:

- specifications and method of construction
- materials used in the construction of the sign itself
- how the sign(s) will be attached to the building or ground
- a scale drawing of the site showing driveways, structures, existing and proposed signs
- any other limiting site features.
- Indicate if the sign will be illuminated

NOTE: BE SURE OF YOUR LOCATION PRIOR TO ERECTING SIGN. CALL CODE ENFORCEMENT FOR VERIFICATION (770) 478-3800

FOR OFFICE USE ONLY:

Date Received: 04/09/21 / 20 Received By: [Signature]

Fee Amount Enclosed: \$ 60.00

Date Approved: ____ / ____ / 20____

Date Denied ____ / ____ / 20____

Permit Issued ____ / ____ / 20____

Comment:

Attachment: Permit Application (1890 : 185 North Main Street - Sign)

ATTACHMENT -1-

PROPERTY OWNER'S AUTHORIZATION

The undersigned below, or as attached, is the owner of the property which is subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of an amendment to the property.

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Clayton County, Georgia.


I hereby depose and say that all above statements and attached statements and/or exhibits submitted are true and correct, to the best of knowledge and belief.

PROPERTY OWNER:

Barbra Briley

PRINT NAME

4/6/21



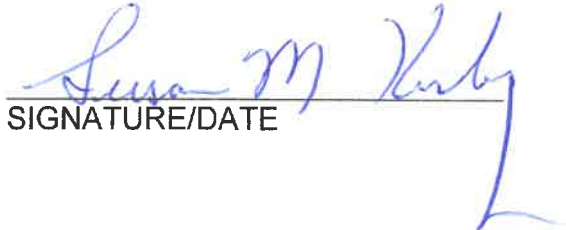
SIGNATURE/DATE

APPLICANT:

Susan M. Kirby

PRINT NAME

4/6/21



SIGNATURE/DATE

NOTARY:



SIGNATURE/DATE

4/6/21

SEAL

Mike Dobbs
NOTARY PUBLIC
 Clayton County, GEORGIA
 My Comm. Expires 04/09/2021

Attachment: Permit Application (1890 : 185 North Main Street - Sign)

Google Maps N Main St



Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia

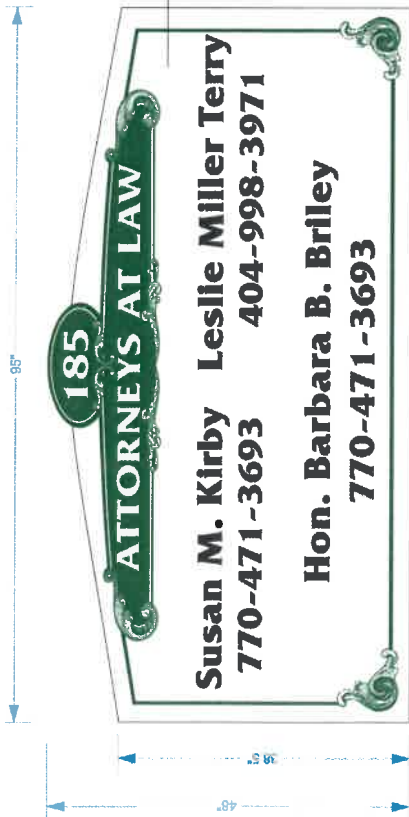


Street View



Attachment: Existing Sign (1890 : 185 North Main Street - Sign)

SIGN TYPE: ACM PANEL
DOUBLE-SIDED
QTY: 1



3mm WHITE ROUTED ACM
PANEL w/ DIGITALLY PRINTED
VINYL GRAPHICS (D1)
APPLIED ON BOTH SIDES

FRONT VIEW
Scale: 3/4" = 1'

SIGN PANEL MOUNTS
TO EXISTING POSTS



EXISTING CONDITIONS



PROPOSED



5108 NORTH LAKE DRIVE
LAKE CITY, GA 30130
404 361-3800
FAX 404 361-7845
WWW.CLAYTONSIGNS.COM

DATE: 03/17/2021
SIGN TYPE
ACM PANEL

CLIENT
SUSAN M KIRBY LAW

REVISIONS:
REVISION # - DATE

DESIGNER Nathan Diffie
ACCOUNT REP NAME

SCALE: AS INDICATED
DRAWING FILE NAME
D:\Nathan Diffie\ SUSAN M KIRBY LAW\ SUSAN M KIRBY LAW ACM PANEL - 03_17_21.CDR



DRAWING
STATUS:

PAGE
1

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MEMORANDUM

To: Susan M. Kirby, Attorney
185 North Main Street
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: May 10, 2021

Re: Notification of Request for Historic Preservation Commission – Sign Panel; 185 North Main Street; Parcel No. 13240D C007

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a replacement sign panel for the property located at 185 North Main Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Monday, May 17, 2021 at 5:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (1890 : 185 North Main Street - Sign)



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.2

- 2

COUNCIL MEETING DATE
May 17, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider a Certificate of Appropriateness for Tran Realty – 181 North Main Street; Parcel No. 13240D C005; New wall sign for business in Historic District.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-489 and 86-490 – Sign Standards' Sec. 86-495 Historic District Sign Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of hanging sign design; 181 North Main Street has been a commercial building in the Historic District for many years. Recently, Tran Realty applied for a ground sign permit at the property, requiring Design Review Commission and Historic Preservation Commission review. Because the location of the ground sign was not grandfathered, it had to meet modern setback standards and could not. **The current alternative is a hanging or suspended sign near the entrance.**

Hanging sign means a sign suspended downward from a portion of a building or other structure, usually by a chain, rope, or other device.

Sec. 86-487. - Prohibited signs.

The following signs are prohibited in all zoning districts of the city:

(19) Hanging or suspended signs, except as authorized in sections 86-489(c) and 86-495 (Historic District);

Sec. 86-495. - Historic districts.

The purpose of this section is to ensure that signage in the historic district is harmonious in proportion, form, color, and materials to the character of said district. Visual relatedness is crucial to the goal of an integrated historic district, and signs play a key role in helping to preserve the historical district's sense of time and place, and to achieve the desired effect of charm and compatibility. No sign shall be erected, altered, restored or moved within the historic district until an application for a certificate of appropriateness as to exterior architectural features and signage has been reviewed and approved by the historic preservation commission and the design review commission. All proposed changes requiring a certificate of appropriateness shall comply with the applicable design standards in the 2005 zoning ordinance.

- (1) Applicability. This section shall apply only to those structures and uses within the geographical boundaries of the historic districts, the H-1 and H-2 zoning districts.*
- (2) Compatibility. As to signs, buildings, structures, and uses within the historic districts, when a provision of this section conflicts with any section in the balance of this article, the provision of this section shall control. Otherwise, to the extent reasonably possible, the provisions of this section shall be interpreted consistent with the provisions of the balance of this article.*
- (3) Signage standards.*

a. General. Signage shall complement the architectural details of the building and shall not violate or otherwise

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

May, 17, 2021

Signature

City Clerk's Office

obscure the architecture of the building to which it is attached. Signs, lettering, or boxed graphics shall not cut across columns, cornices, windowsills, arches or balconies, nor extend above the roofline (except for parapets and mansards) of any building to which it is attached.

- b. *Lettering, size, and content.* Letters can be painted or mounted directly on a signboard, storefront, wall or window, if in proportion to the storefront. Lots in the H-1 and H-2 historic districts are allowed the same amount of signage as lots outside of the H-1 and H-2 historic districts. In the H-1 and H-2 historic districts, canopy signs and hanging or suspended signs may be utilized. Provided, however, in no case may the total signage area exceed ten percent of the building face to which the sign is attached. Acceptable lettering materials include wood, stone, synthetic stone, metal, and acrylic. The overall design of all signage shall be compatible with the turn-of-the-century theme of the historic district.
- c. *Materials.* Signs may be constructed of concrete, brick, wood, stone, metal, glass, or synthetic materials that have the same appearance of the aforementioned natural materials due to their finish. All materials shall be compatible with the building's architecture and should be colorfast and resistant to corrosion. Signs shall be professionally finished in accordance with the material selected, whether by sanding, painting, staining and/or sealing, with the edges of the sign framed out and/or sealed.
- d. *Lighting.* All signs in the historic district, whether ground signs or wall signs, shall only be illuminated by an external light source, and through craftsmanship and materials, shall reflect the design aesthetics of the historic district.
- e. *Colors.* The historic preservation commission and the design review commission shall consider the context of the surrounding area when reviewing the color of a proposed sign in the historic districts; however, the colors and logos of nationally and regionally recognized businesses shall not be prohibited.
- f. *Awning and canopy signs.* Awnings or canopies over doors, entrances, windows or outside service areas are permitted in the H-1 historic district. Professionally applied forms, graphics, symbols, lettering, or other visual presentation may be incorporated into the awning or canopy valance/drop flap but are restricted to 20 percent of the awning field. Size of the signage shall be computed as for a wall sign. Signage pursuant to this subsection shall be included within the overall amount of signage allowed under section 86-489. Awnings or canopies shall clear sidewalks by seven feet in height, and project no more than six feet from the building. Canvas or synthetic look-alike canvas are the only materials permitted for awnings and canopies. Metal or vinyl may be approved for awnings or canopies if the overall design is consistent with the H-1 historic district's turn-of-the-century theme. Awnings or canopies may not be backlit. Metal awnings and canopies are preferred.
- g. *Hanging or suspended signs.* Hanging, suspended, or projecting signs are permitted and shall clear sidewalks by seven feet in height, and project or drop no more than 36 inches from the building. Hanging or suspended signs should project or drop from a wall or roof at a 90-degree angle. Hanging or suspending signs over driveways, alleys, or parking areas is prohibited. Hanging, suspended, or projecting signs shall be limited to a maximum size of six square feet, and if double sided, shall be calculated as only one sign. One hanging, suspended, or projecting sign per business is permitted, and shall be calculated as part of the total signage area allowed under section 86-489. Attractive hardware for hanging is encouraged.
- h. *Window signs.* Interior window signs shall not exceed 25 percent of the total window area exposed to public view. Window signs shall not be included within the overall amount of signage allowed under section 86-489.
- i. *Special events.* Additional signage is permitted in the historic district under section 86-494, provided that all such additional signage conforms to the aesthetic standards of the historic district.
- j. *Ground signs.* Ground signs may hang or suspend from a horizontal support that is affixed to the ground by vertical post.
- k. *A-frame signs.* A-frame or "sandwich" signs are allowed at the rate of one per business or parcel. A-frame signs shall not obstruct pedestrian or vehicular routes.

g. *Hanging or suspended signs.*

- Hanging, suspended, or projecting signs are permitted and shall clear sidewalks by seven feet in height, and project or drop no more than 36 inches from the building. **The proposed sign would not actually be over the sidewalk (just to the side of it). The sign would project 26 inches from the building.**
- Hanging or suspended signs should project or drop from a wall or roof at a 90-degree angle. **The proposed sign would drop at a 90-degree angle.**
- Hanging or suspending signs over driveways, alleys, or parking areas is prohibited. Hanging, suspended, or projecting signs shall be limited to a maximum size of six square feet, and if double sided, shall be calculated as only one sign. **The proposed sign would just be over the ledge of a concrete stair. The sign would be 4 square feet (each side).**
- One hanging, suspended, or projecting sign per business is permitted, and shall be calculated as part of the total signage area allowed under section 86-489. Attractive hardware for hanging is encouraged. **Only one new**

sign is proposed and there are no other signs on the property.

5.2

Design Review Commission recommendation, 5.5.21: Approval, with the recommendation that the hanging sign be moved from near the door to the front building corner nearest the driveway.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Property Picture
- Property Picture2
- TRAN REALTY BLADE SIGN - 03_15_21
- Acceptance Letter 5.17.21

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval, with Conditions

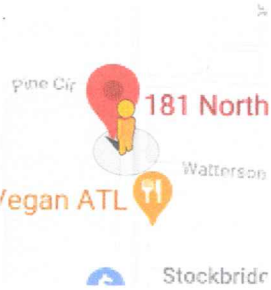


Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



Attachment: Property Picture (1891 : 181 North Main Street - Hanging Sign)

Google Maps N Main St

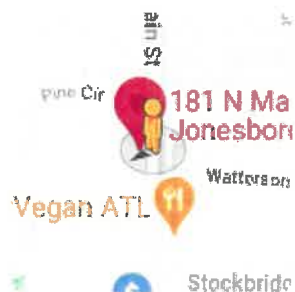


Image capture: Jun 2019 © 2021 Google

Jonesboro, Georgia



Street View



Attachment: Property Picture2 (1891 : 181 North Main Street - Hanging Sign)

SIGN TYPE: BLADE SIGN
DOUBLE-SIDED
QTY: 1



P1 PAINT - BLACK

D1 DIGITAL PRINT

Pg.1
a FRONT VIEW
Scale: 3" = 1'



Attachment: TRAN REALTY BLADE SIGN - 03_15_21 (1891 : 181 North Main Street - Hanging Sign)



5198 NORTH LAKE DRIVE
LAKE CITY, GA 30260
404-361-3800
FAX 404-361-7038
WWW.CLAYTONSIGNS.COM

DATE - 3 / 01 / 2021
SIGN TYPE
BLADE SIGN

CLIENT
TRAN REALTY

REVISIONS:
REVISION # - DATE

DESIGNER Nathan Diffie
ACCOUNT REP. SF

SCALE: AS INDICATED
DRAWING FILE NAME
O:\ Nathan Diffie\ TRAN REALTY \ TRAN
REALTY BLADE SIGN - 03_15_21.CDR

DRAWING
STATUS:



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PAGE
1



MEMORANDUM

To: Thanh Tran
181 North Main Street
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: May 10, 2021

Re: Notification of Request for Historic Preservation Commission – Sign Panel; 181 North Main Street; Parcel No. 13240D C005

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a new sign panel for the property located at 181 North Main Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Monday, May 17, 2021 at 5:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator



CITY OF JONESBORO, GEORGIA COUNCIL

Agenda Item Summary

Agenda Item #

5.3

- 3

COUNCIL MEETING DATE

May 17, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider a Certificate of Appropriateness for Willie Middleton II – 120 North McDonough Street; Parcel No. 13241B F004; New deck for rear of commercial building in Historic District.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-102 H1 Historic District Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency Recommendation – Approval of rear deck and patio design; Recently approved for an event center at the subject property, the applicant recently submitted plans to build a long, low deck at the rear of the building. While the deck would not be visible from North McDonough Street, it would be visible from adjacent King Street, thus requiring Design Review and Historic Preservation review.

The proposed deck is all wood, 10 feet wide and 50 feet long (500 square feet), coming from the rear entrance of 120 North McDonough Street and covering a grassy area between two paved parking areas. The deck floor is drawn at 12" with one step on each end and the beams resting on the footings. The railings on the north side are 36" high, for a total height of 4 feet. On the south side, there is a wood wall/screen railing, which is 75" (6.25 feet) tall. There will also be a covered patio between the deck and the actual exterior wall of the building. The property is also in the Historic District (H-1), which does not have specific accessory standards listed. However, the deck cannot be readily seen from the road and would be a definite improvement to the grass areas that is there now. A gathering deck and patio associated with the event center would bring more vitality to this rear parking area. **The color of the paint or stain needs to be discussed. Also, staff recommends that the wall/screen railing be further adorned with ornamental vines and/or decorative lighting.**

All new renovations would have to be properly permitted and inspected.

Design Review Commission recommendation, 5.5.21: Approval, with further recommendations that final lighting fixtures be installed on the wall screen, that the deck be stained and not painted, and that the pickets at the covered patio be removed with the deck railings being continued in this area.

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached (Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)

- Property Pictures
- Site Plan

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

May, 17, 2021

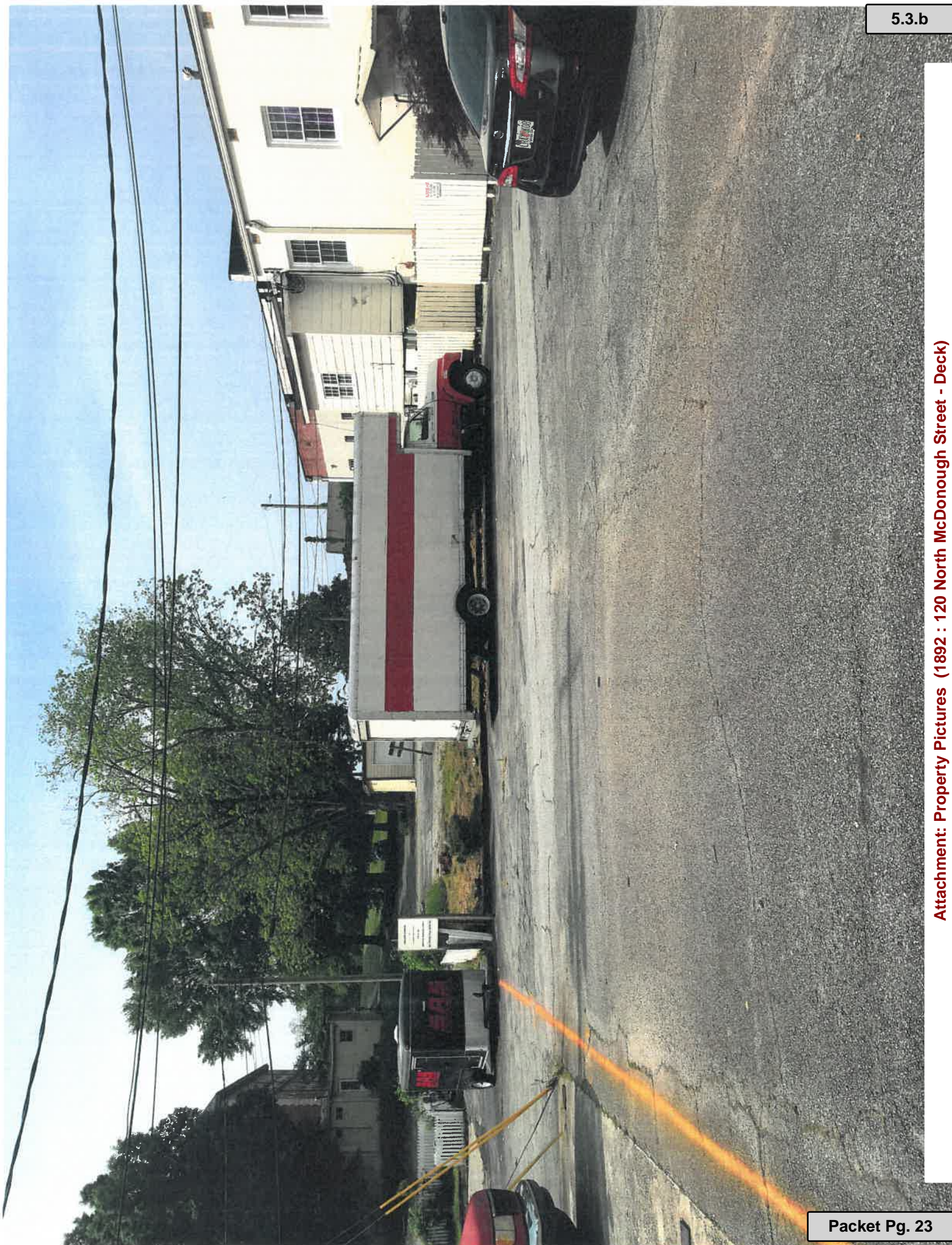
Signature

City Clerk's Office

- Deck Location
- Construction Plans
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval, with Conditions



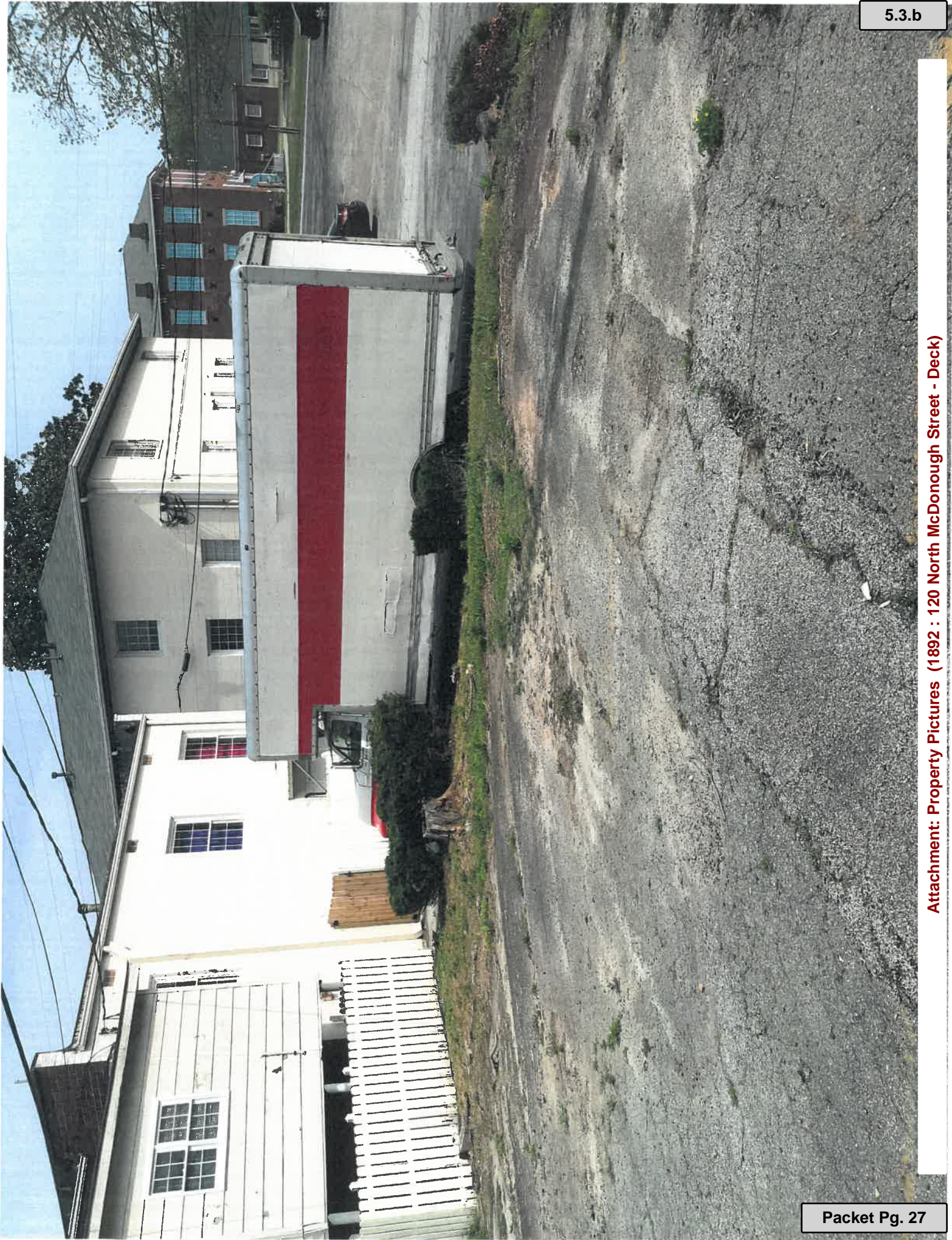




Attachment: Property Pictures (1892 : 120 North McDonough Street - Deck)



Attachment: Property Pictures (1892 : 120 North McDonough Street - Deck)



Attachment: Property Pictures (1892 : 120 North McDonough Street - Deck)

ZONING: H1

SETBACK

FRONT: 00'

SIDE: 00'

REAR: 00'

MIN. LOT FRONTAGE: 00'

MAX LOT COVERAGE: 00%

BOUNDARY REFERENCES:

1. SUBJECT DEED BOOK 11109, PAGE 539-543

2. PLAT BOOK 25, PAGE 165

3. SEE ADOINERS

ADDRESS

120 & 122 N MCDONOUGH STREET

JONESBORO, GEORGIA, 30236

FLOOD NOTE

AS PER THE F.I.R.M. FLOOD INSURANCE RATE MAP CITY OF JONESBORO COMMUNITY PANEL NO. 13063 C 0088 F DATED JUNE 07, 2017, THIS PROPERTY IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS. THIS SITE DOES LIES WITHIN ZONE "X".

LEGAL DESCRIPTION

All that tract or parcel of land lying and being in

Beginning at the intersection formed by the northwesterly

Said Tract or Parcel contains 000,000 square feet or 0.000 acres as.

BUILDING OWNER: MCKENZIE BROTHERS REALTY GROUP

EVENT SPACE APPLICANT: JONSEY'S (WILLIE MIDDLETON II)

PID 13241B F003A

TOTAL SITE AREA

15,236 SQ. FT.

0.350 ACRES

122 N MCDONOUGH STREET

TOTAL SITE AREA

8,559 SQ. FT.

0.196 ACRES

120 N MCDONOUGH STREET

TOTAL SITE AREA

5,408 SQ. FT.

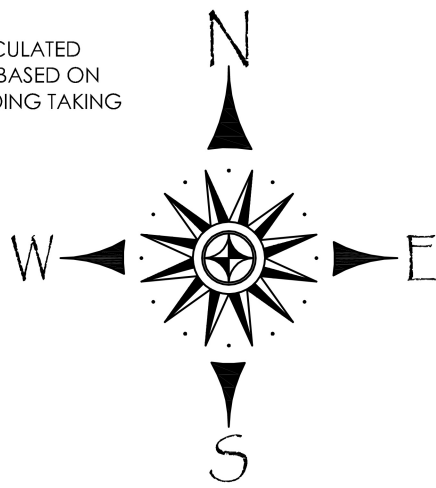
0.124 ACRES

TOTAL SITE AREA

106,555 SQ. FT.

2.446 ACRES

ALL BEARINGS ARE CALCULATED FROM ANGLES TURNED, BASED ON SINGLE MAGNETIC READING TAKING IN FIELD.



TITLE COMMITMENT

COMMITMENT NO. XXXX

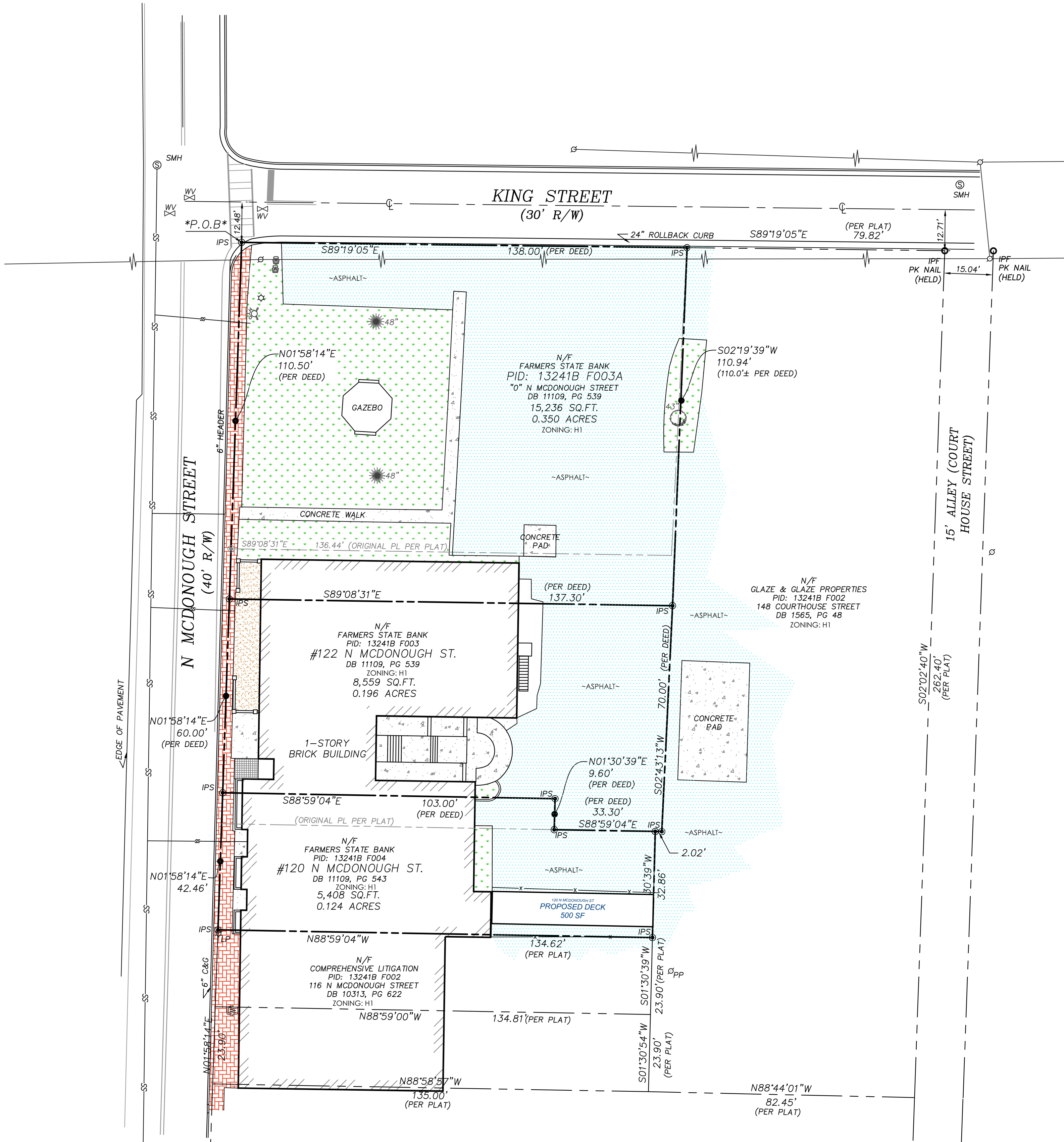
EFFECTIVE DATE: DATE

12. DEED BOOK PAKE

SCHEDULE B - SECTION II

(AS SHOWN, N/A, NOT PLOTTABLE)

(TEXT)



SURVEYOR'S CERTIFICATE

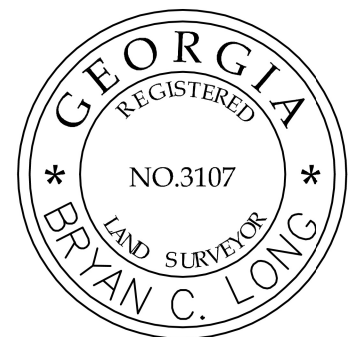
To NAME, NAME, NAME:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Survey, jointly established and adopted by ALTA and NSPS, and include items 1 thru 4, 6(a), 7(a) and (b)(1), 8 thru 10, 11(a), 13, 16, 18 thru 20(a) of Table A of said requirements.

The field work was completed on JUNE 18, 2020.

This ____ day of _____, 2018.

X _____



THIS SURVEY ONLY INCLUDES OBJECTS THAT ARE VISIBLE AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES OR OTHER OBJECTS THAT ARE NOT APPARENT BY VISUAL OBSERVATION, I.E. UNDERGROUND GAS TANKS, GAS LINES, WATERLINES, SEWER LINES, ETC.

FIELD DATA STATEMENT :

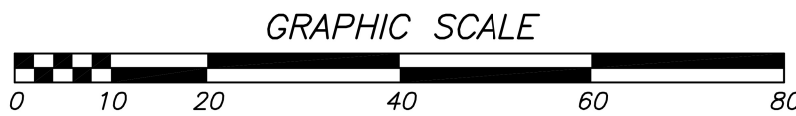
THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION EXCEEDING ONE FOOT IN 43,535 FEET AND AN ANGULAR ERROR OF 2.25 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING COMPASS RULE.

A TOPCON ES-150 INSTRUMENT WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS FOR THE PREPARATION OF THIS PLAT.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO EXCEED 1 IN 250,000+.

LEGEND

IPF	IRON PIN FOUND	---	PROPERTY LINE
IPS	1/2" REBAR SET	-x-x-	FENCE
CMP	CORRUGATED METAL PIPE	-t-t-	TELEPHONE LINE
R/W	RIGHT OF WAY	-g-g-	GAS LINE
CL	CENTER LINE	-w-w-	WATER LINE
FL	FLARED END SECTION	-ss-	SANITARY SEWER LINE
L.L.L.	LAND LOT LINE	---	POWER LINE
T.B.M.	TEMPORARY BENCHMARK	OTF	OPEN TOP PIPE
INV.	INVERT ELEVATION	CTP	CRIMP TOP PIPE
SMH	SANITARY SEWER MANHOLE	RB	REBAR
Y.I.	YARD INLET	D.I.	DRAIN INLET
SMH	SAN. SEWER MANHOLE	CO	CLEANOUT
W.M.	WATER METER	W	WATER VALVE
GW	GUY WIRE	AC	AIR CONDITIONER
N/F	NOW OR FORMERLY	PT	PERC. TEST (BOREHOLE)
4x4	4x4 TRANSFORMER	RRT	RAIL ROAD TIE WALL



ALTANSPPS LAND TITLE SURVEY FOR

MCKENZIE BROTHERS REALTY GROUP

120 N MCDONOUGH STREET, JONESBORO, GEORGIA 30236

REVISIONS:

DEED BOOK 11109, PAGE 539-545

LAND LOT 24.1 of the 13th DISTRICT

CLAYTON COUNTY, GEORGIA

DATE: 06/25/2020 SCALE: 1"= 20'

MERIDIAN GEOMATICS, LLC

Land Surveying ~ Residential, Commerical & Municipal

216 Powers Ferry Road

Marietta, Georgia 30067

phone: (770) 675-6197

surveyingatatlanta@gmail.com

DRWN BY:

S.C.D.

JOB NO.

2020-133

120 N McDonough - Existing Location for Proposed Deck



BASEMENT RENOVATION and DECK ADDITION

120 N McDonough St
Jonesboro, GA 30236

SCOPE OF WORK:

Renovate Basement adding two bathrooms and a kitchen.

Occupancy Load Calculation:

Assembly without fixed seats
Concentrated (chairs only – not fixed) 7 Net
Standing Space 5 Net
Unconcentrated (tables and chairs) 15 Net

1287 sf/7 net = 180 Max Occupancy

SQUARE FOOTAGE:

Existing Basement 3112 sf
Existing Patio 158 sf

Proposed Basement 3112 sf
Proposed Patio 158 sf
Proposed Deck 500 sf

EXISTING TOTAL: 3270 sf
PROPOSED TOTAL: 3770 sf

Layout Page Table	
Label	Title
A0	Cover Sheet
A1.1	Existing Floor Plan
A1.2	Proposed Floor Plan
A2.1	Proposed Deck Elevations
A4.1	Life Safety Plan
D1	Deck Framing
D2	Deck Framing

APPLICABLE CODES:

International Building Code, 2018 Edition, with Georgia Amendments (2020)
International Residential Code for One- and Two-Family Dwellings, 2018 Edition, with Georgia Amendments (2020)
International Existing Building Code, 2018 Edition, with Georgia Amendments (2020)
International Fire Code, 2018 Edition, with Georgia Amendments (2020)
International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
National Electrical Code, 2020 Edition, with no Georgia Amendments
International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
2018 NFPA 101 - Life Safety Code with State Amendments (2020)

5.3.e

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

RELEASED FOR CONSTRUCTION

Attachment: Construction Plans (1892 : 120 North McDonough Street - Deck)

Ascendant

Basement Renovation
120 N McDonough St
Jonesboro, GA 30236

DATE:

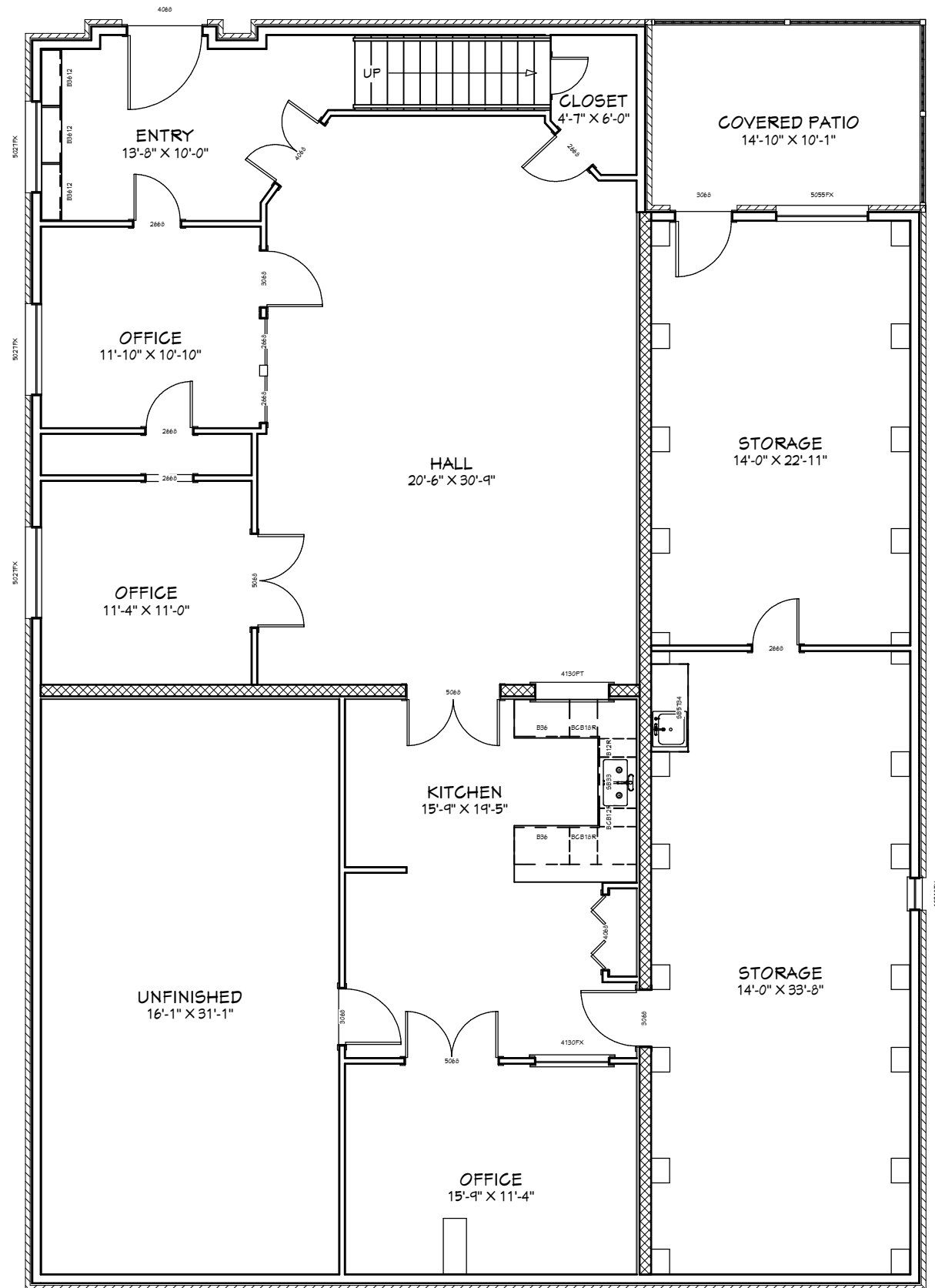
3/31/20:

SCALE:

SHEET:

A0

Packet Pg. 30



Existing Floor Plan
Scale: 1/8" = 1'

REVISION TABLE		REVISOR	DESCRIPTION
NUMBER	DATE		

RELEASED FOR CONSTRUCTION

Basement Renovation
120 N. McDonough St.



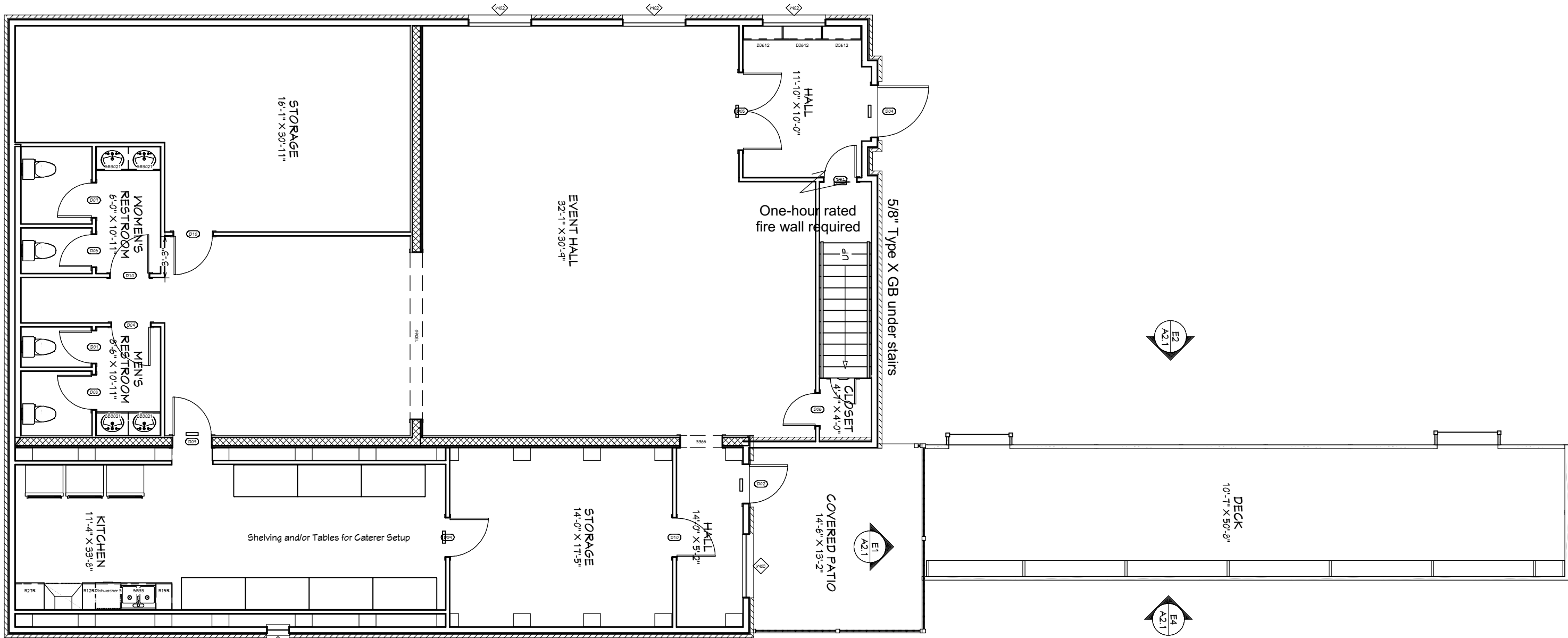
Attachment: Construction Plans (1892 : 120 North McDonough Street - Deck)

DATE:

3/31/20:

SCALE:

SHEET:



Proposed Floor Plan
Scale: 1/8" = 1'

WINDOW SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	EGRESS DESCRIPTION
W01	19210FX	1	1	19210FX	22"X34 1/2"	FIXED GLASS
W02	5027FX	3	1	5027FX	60 1/2"X32"	FIXED GLASS
W03	5055FX	1	1	5055FX	61"X66"	YES FIXED GLASS

DOOR SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION
D01	2668	2	1	2668 R IN	32"X82 1/2"	HINGED-DOOR P04
D02	3068	1	1	3068 L EX	38"X83"	EXT. HINGED-DOOR E21
D03	2068	1	1	2068 L IN	26"X82 1/2"	HINGED-DOOR P04
D04	4068	1	1	4068 L EX	50"X83"	EXT. HINGED-DOOR E21
D05	6068	1	1	6068 L/R IN	74"X82 1/2"	DOUBLE HINGED-DOOR P04
D06	2668	2	1	2668 L IN	32"X82 1/2"	HINGED-DOOR P04
D07	2868	1	1	2868 L IN	34"X82 1/2"	HINGED-DOOR P04
D08	2868	1	1	2868 R IN	34"X82 1/2"	HINGED-DOOR P04
D09	3068	3	1	3068 L IN	38"X82 1/2"	HINGED-DOOR P04
D10	3068	3	1	3068 R IN	38"X82 1/2"	HINGED-DOOR P04

REVISION TABLE	
NUMBER	DATE

RELEASED FOR CONSTRUCTION

Basement Renovation
120 N McDonough St

Ascendant

DATE:

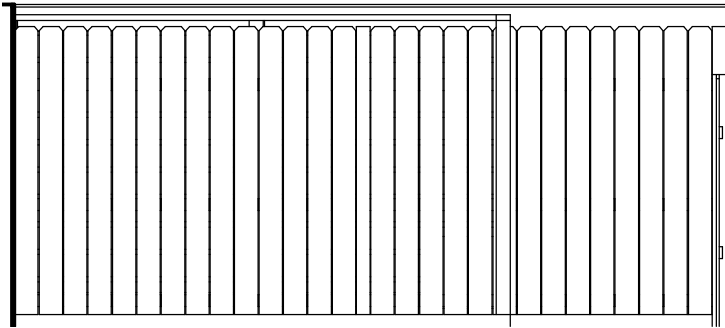
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SCALE:

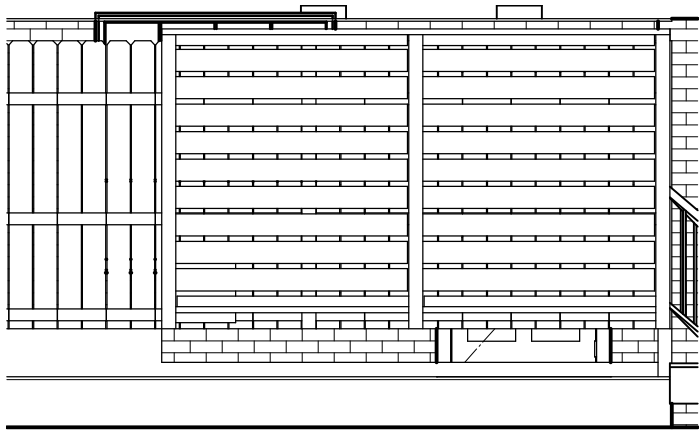
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A1.2

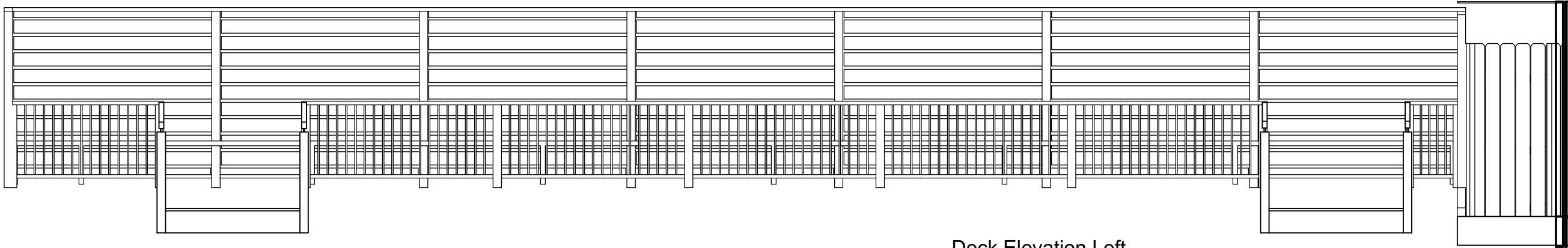
REVISION TABLE	
NUMBER	DATE



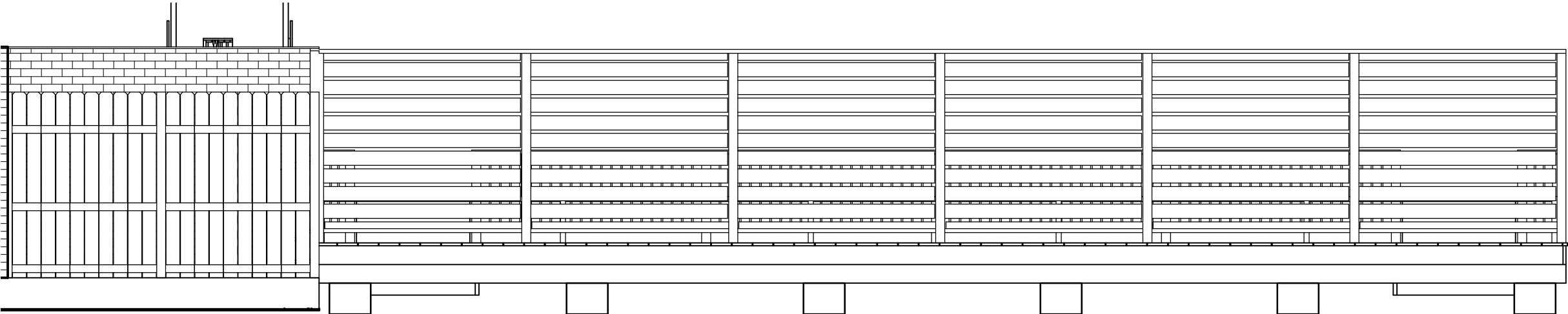
Deck Elevation Front
Scale: 1/4" = 1'



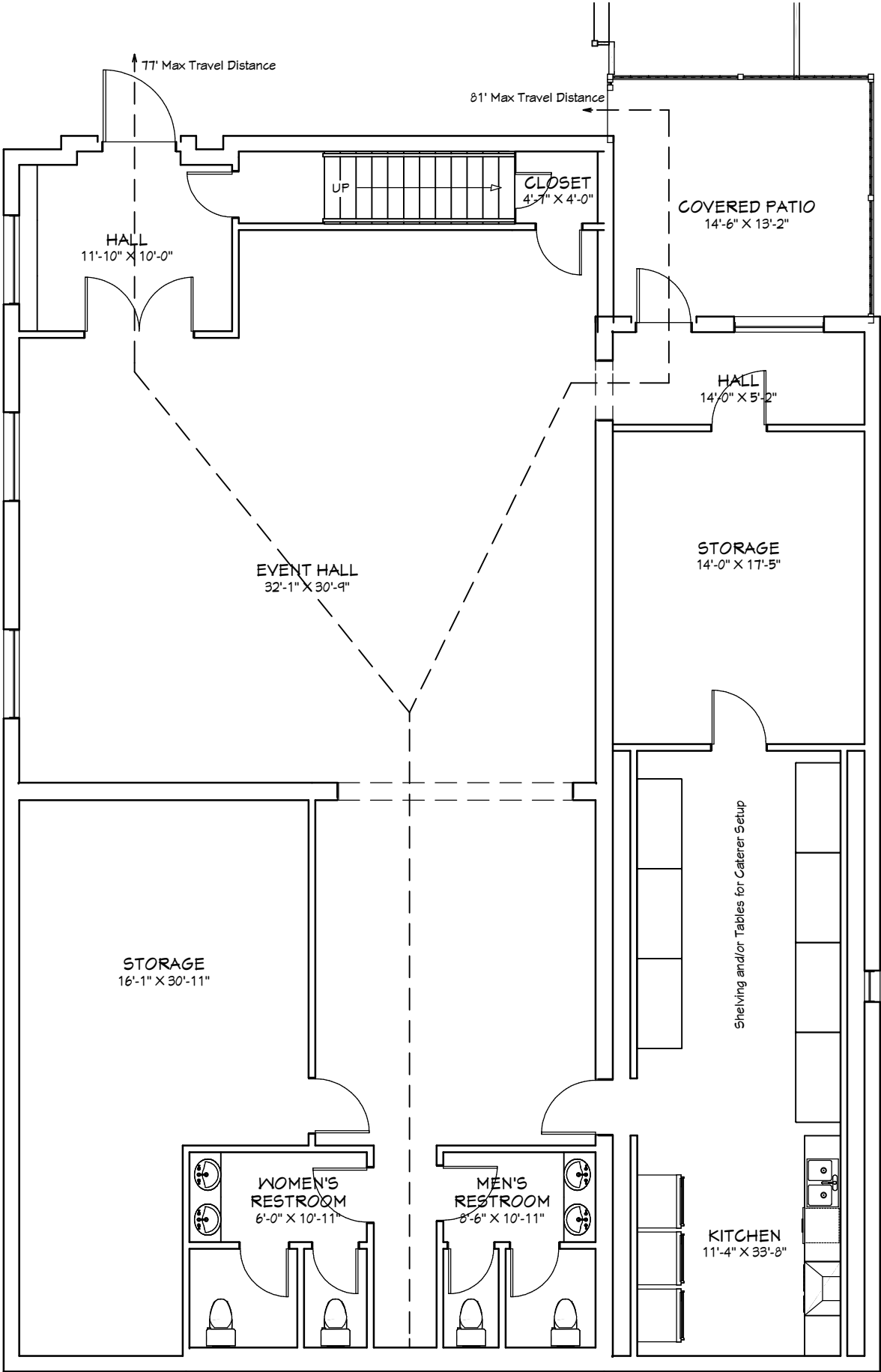
Deck Elevation Back
Scale: 1/4" = 1'



Deck Elevation Left
Scale: 1/4" = 1'



Deck Elevation Right
Scale: 1/4" = 1'



Proposed Life Safety Plan
Scale: 1/8" = 1'

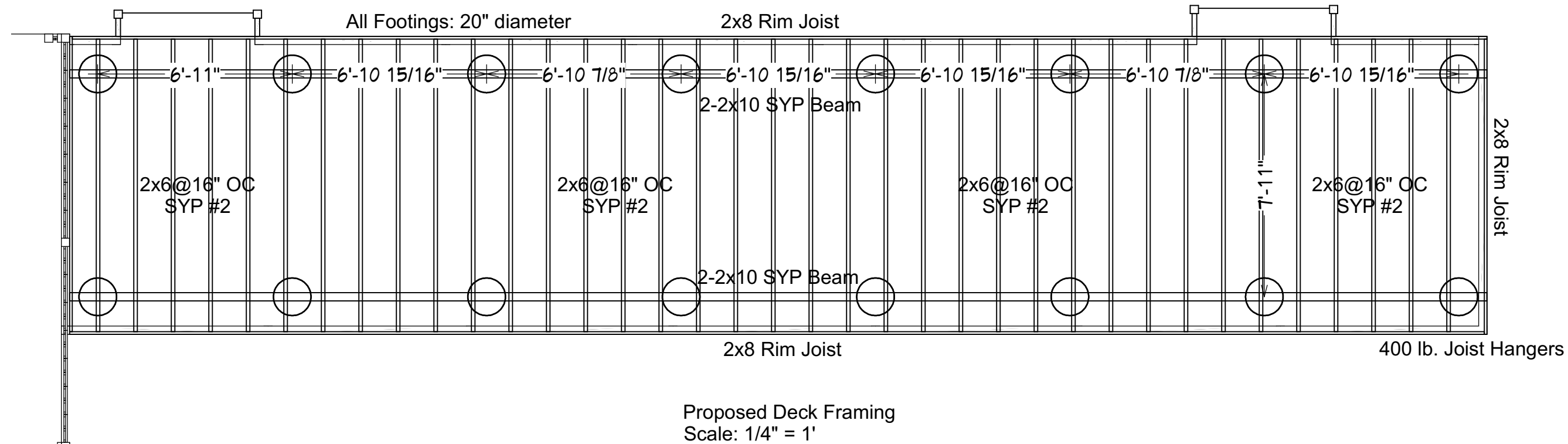
REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

RELEASED FOR CONSTRUCTION
Attachment: Construction Plans (1892 : 120 North McDonough Street - Deck)

Ascendant

Basement Renovation
120 N. McDonough St
Atlanta, GA 30308
404.525.8888

DATE:
3/31/20:
SCALE:
SHEET:



Proposed Deck Framing
Scale: 1/4" = 1'

Table 4. Post Height for 6x6⁵ and Footing Sizes for all Posts.

Beam Span, L _B	Joist Span L _J	Post Heights ¹						Footing Sizes ²		
		Southern Pine	Douglas Fir-Larch ³	Hem-Fir ³ , Western Cedars	Redwood	Ponderosa Pine, Red Pine, SPF ³	Round Footing Diameter	Square Footing	Footing Thickness ⁴	
6'	≤10'	14'	14'	14'	14'	14'	18"	16"x16"	7"	
	≤14'	14'	14'	14'	14'	14'	21"	18"x18"	8"	
	≤18'	14'	14'	12'	14'	11'	24"	21"x21"	10"	
8'	≤10'	14'	14'	14'	14'	14'	20"	18"x18"	8"	
	≤14'	14'	14'	14'	14'	11'	24"	21"x21"	10"	
	≤18'	14'	13'	11'	12'	8'	27"	24"x24"	11"	
10'	≤10'	14'	14'	14'	14'	12'	23"	20"x20"	9"	
	≤14'	14'	13'	11'	13'	8'	27"	24"x24"	11"	
	≤18'	12'	11'	8'	11'	2'	31"	27"x27"	13"	
12'	≤10'	14'	14'	12'	14'	10'	25"	22"x22"	10"	
	≤14'	13'	12'	9'	11'	5'	30"	26"x26"	13"	
	≤18'	11'	9'	6'	9'	2'	34"	30"x30"	15"	
14'	≤10'	14'	13'	11'	13'	8'	27"	24"x24"	11"	
	≤14'	11'	10'	7'	10'	2'	32"	29"x29"	14"	
	≤18'	9'	8'	2'	8'	NP	37"	33"x33"	16"	
16'	≤10'	13'	12'	10'	12'	6'	29"	26"x26"	12"	
	≤14'	10'	9'	5'	9'	2'	35"	31"x31"	15"	
	≤18'	7'	5'	2'	7'	NP	40"	35"x35"	18"	
18'	≤10'	12'	11'	8'	11'	2'	31"	27"x27"	13"	
	≤14'	9'	8'	2'	8'	NP	37"	33"x33"	16"	
	≤18'	5'	2'	2'	6'	NP	42"	37"x37"	19"	

- Assumes 40 psf live load, 10 psf dead load, L_s/4 and L_J/4 overhangs, No 2, grade and wet service conditions.
- Assumes 1,500 psf soil bearing capacity and 150 pcf concrete. Value may be multiplied by 0.9 for corner posts.
- Inclining assumed for Douglas Fir-Larch, Hem-Fir, and Spruce-Pine-Fir.
- Assumes 2,500 psi compressive strength of concrete. Coordinate footing thickness with post base and anchor requirements.
- 8x8 nominal posts may be substituted anywhere in Table 4 to a maximum height of 14'.

Figure 12. Typical Footing

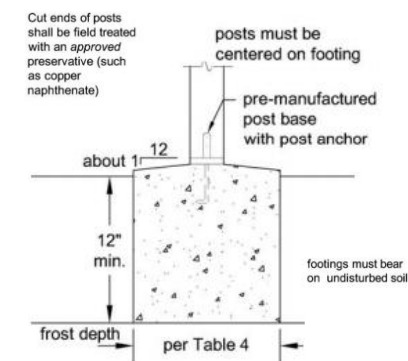


Table 3A. Joist Hanger Vertical Capacity.

Joist Size	Minimum Capacity, lbs
2x6	400
2x8	500
2x10	600
2x12	700

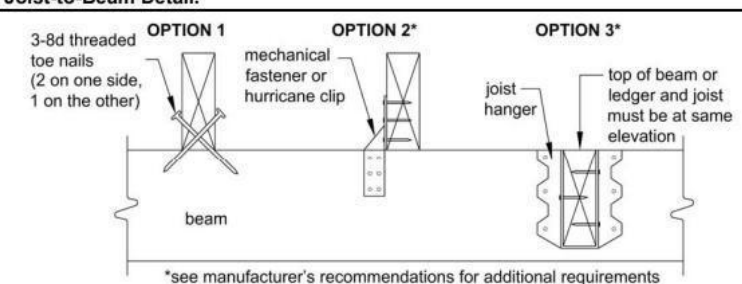
Table 3A. Dimension Lumber Deck Beam Spans (L_B)¹ Supporting a Single Span of Joists with or without Overhangs.

Species	Size ⁴	Joist Spans (L) Less Than or Equal to:						
		6'	8'	10'	12'	14'	16'	18'
Southern Pine	2-2x6	6' - 8"	5' - 8"	5' - 1"	4' - 7"	4' - 3"	4' - 0"	3' - 9"
	2-2x8	8' - 6"	7' - 4"	6' - 6"	5' - 11"	5' - 6"	5' - 1"	4' - 9"
	2-2x10	10' - 1"	8' - 9"	7' - 9"	7' - 1"	6' - 6"	6' - 1"	5' - 9"
	2-2x12	11' - 11"	10' - 4"	9' - 2"	8' - 4"	7' - 9"	7' - 3"	6' - 9"
	3-2x6	7' - 11"	7' - 2"	6' - 5"	5' - 10"	5' - 5"	5' - 0"	4' - 9"
	3-2x8	10' - 7"	9' - 3"	8' - 3"	7' - 6"	6' - 11"	6' - 5"	6' - 1"
	3-2x10	12' - 9"	11' - 0"	9' - 9"	8' - 9"	8' - 3"	7' - 8"	7' - 3"
	3-2x12	15' - 0"	13' - 0"	11' - 7"	10' - 6"	9' - 9"	9' - 1"	8' - 7"

Table 2. Maximum Joist Spans and Overhangs.¹

Species	Size	Joist Spacing (o.c.)					
		12"	16"	24"	12"	16"	24"
		Allowable Span ² (L _J)	Allowable Span ² (L _J)	Allowable Span ² (L _J)	Allowable Overhang ³ (L _O)	Allowable Overhang ³ (L _O)	Allowable Overhang ³ (L _O)
Southern Pine	2x6 ⁶	9' - 11"	9' - 0"	7' - 7"	1' - 0"	1' - 1"	1' - 3"
	2x8	13' - 1"	11' - 10"	9' - 8"	1' - 10"	2' - 0"	2' - 4"
	2x10	16' - 2"	14' - 0"	11' - 5"	3' - 1"	3' - 5"	2' - 10"
	2x12	18' - 0" ⁷	16' - 6"	13' - 6"	4' - 6"	4' - 2"	3' - 4"

Figure 6. Joist-to-Beam Detail.



REVISION TABLE	
NUMBER	DATE

RELEASED FOR CONSTRUCTION

Attachment: Construction Plans (1892 : 120 North McDonough Street - Deck)

Basement Renovation
120 N McDonough St
Atlanta, GA 30308

Ascendant

DATE:

3/31/2020

SCALE:

SHEET:

D1

Figure 8A. Post-to-Beam Attachment Requirements.

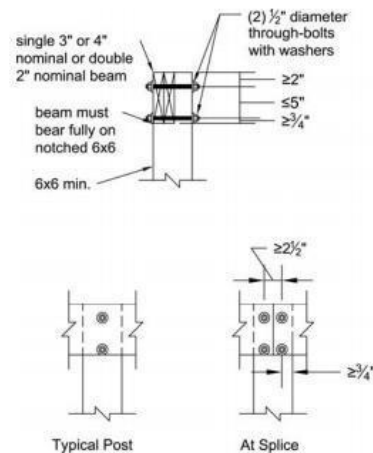


Figure 11. Rim Joist Connection Details.

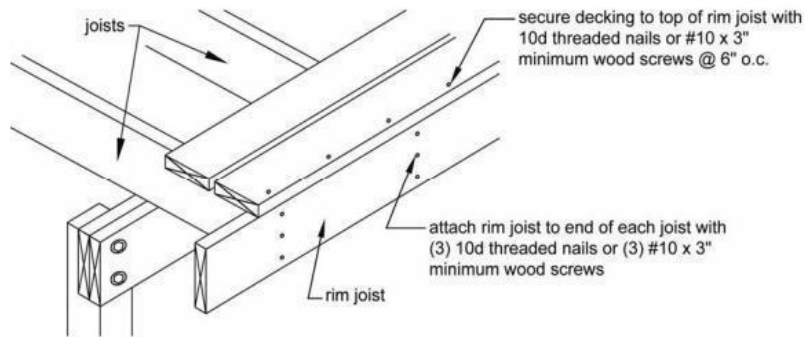


Figure 34. Stair Footing Detail.

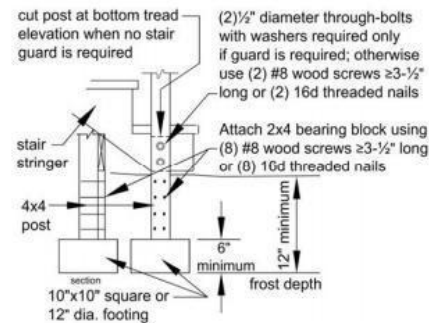


Figure 24. Example Guard Detail.

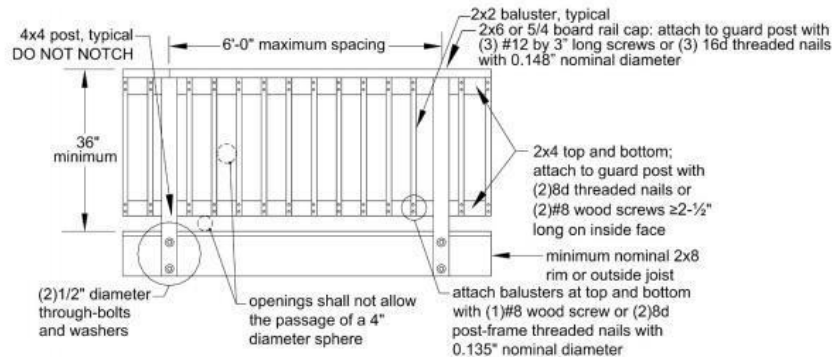


Figure 26. Guard Post to Rim Joist Example.

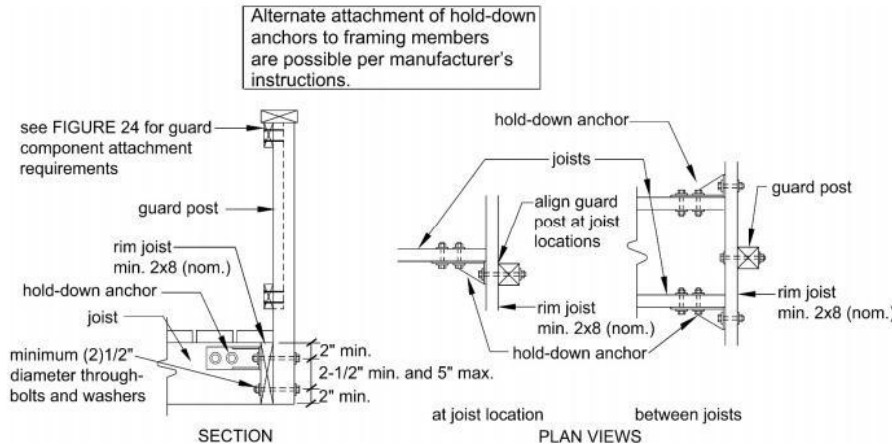


Figure 25. Guard Post to Outside-Joist Example.

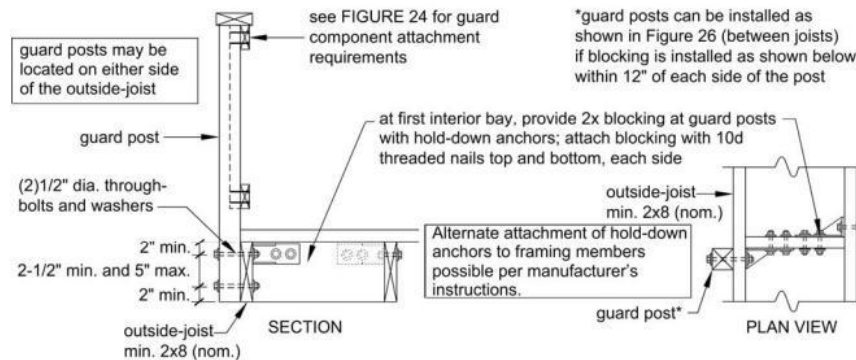


Figure 27. Tread and Riser Detail.

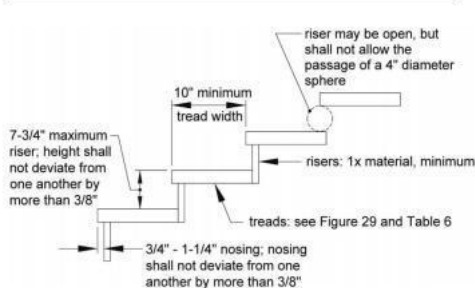
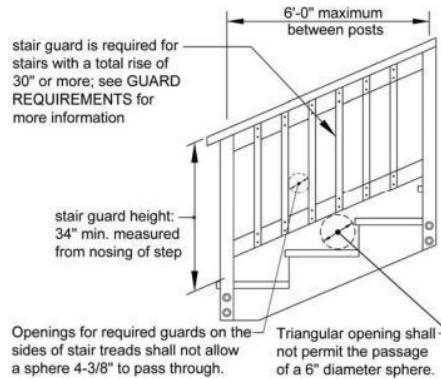


Figure 30. Stair Guard Requirements.



REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

RELEASED FOR CONSTRUCTION

Basement Renovation
120 N. McDonough St.

Ascendant

Attachment: Construction Plans (1892 : 120 North McDonough Street - Deck)

DATE:

3/31/20:

SCALE:

SHEET:

D2



MEMORANDUM

To: Willie Middleton II
3162 Dogwood Drive
Hapeville, Ga. 30354

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: May 10, 2021

Re: Notification of Request for Historic Preservation Commission – Deck; 120 North McDonough Street; Parcel No. 13241B F004

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a deck for the property located at 120 North McDonough Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Monday, May 17, 2021 at 5:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

David D. Allen
Community Development Director / Zoning Administrator

Attachment: Acceptance Letter (1892 : 120 North McDonough Street - Deck)



CITY OF JONESBORO, GEORGIA COUNCIL
Agenda Item Summary

Agenda Item #

5.4

- 4

COUNCIL MEETING DATE
May 17, 2021

Requesting Agency (Initiator)

Office of the City Manager

Sponsor(s)

Community Development Director Allen

Requested Action (Identify appropriate Action or Motion, purpose, cost, timeframe, etc.)

Historic Preservation Commission to consider a Certificate of Appropriateness for Roger and Kathy Swint – 186 North McDonough Street; Parcel No. 13240D A029; Replacement metal roof for building in Historic District.

Requirement for Board Action (Cite specific Council policy, statute or code requirement)

City Code Section 86-103 H-2 Historic District Standards; Secretary of Interior Historic Design Standards

Is this Item Goal Related? (If yes, describe how this action meets the specific Board Focus Area or Goal)

Yes

Beautification, Community Planning, Neighborhood and Business
Revitalization, Historic Preservation

Summary & Background

(First sentence includes Agency recommendation. Provide an executive summary of the action that gives an overview of the relevant details for the item.)

Agency recommendation – Approval of replacement roof; The Swint family has owned the residence located at 186 North McDonough Street for many years. The property is zoned H-2 and is in the Historic District. Recently, the applicant applied for a Certificate of Appropriateness to replace the worn metal roof on the front of the dwelling, as well as the asphalt shingle roof on the attached garage at the back. The existing roof at the front is already silver / white colored metal shingles, which have deteriorated over the years. **The owner and contractor are proposing a low-rib, 29-gauge, Galvalume, metal panel as a replacement for the entire roof (including the garage at back). The new panels would have a different rib line than the existing metal roof and would be a grayish white color.**

Per Section 86-103:

(I) Design standards. In order to preserve the physical character of existing historic structures in the H-2 historic district, every effort shall be made to adapt the property in a manner that complements the historic character of the area when making exterior alterations to the existing building, site, or environment. New construction shall also be appropriate for the district in design, placement, and scale.

(1) Rehabilitation. Maintaining the existing historic design, materials, and details of structures in the H-2 district is encouraged. Rehabilitative efforts shall include the use of materials that are compatible with the architectural style of the historic building (see article VII, Architectural style and scale, for guidance on specific historic styles and building materials traditionally found in Jonesboro.)

a. Roofs.

- 1. The existing pitch and shape of the roof shall be maintained.*
- 2. The shape, style, and placement of historic dormers shall be maintained.*
- 3. The addition of dormers to the front facade where none previously existed is prohibited.*
- 4. Existing roof materials shall be replaced with the same type of historic material or with that which closely resembles the existing material.**
- 5. Decorative brackets, cornices, and eaves shall be maintained.*
- 6. Historic chimneys shall be maintained.*
- 7. New chimneys shall use traditional design and materials, and their placement shall be appropriate for the architectural style of the structure.*

Article VII, Architectural Style and Scale, does not specifically address roofing material.

FOLLOW-UP APPROVAL ACTION (City Clerk)

Typed Name and Title

Ricky L. Clark, City Manager

Date

May, 17, 2021

Signature

City Clerk's Office

Roofs

Identify, retain, and preserve



recommended



Copper and wrought iron weathervane.

Identifying, retaining, and preserving roofs--and their functional and decorative features--that are important in defining the overall historic character of the building.

This includes the roof's shape, such as hipped, gambrel, and mansard; decorative features, such as cupolas, cresting chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.

not recommended

Radically changing, damaging, or destroying roofs which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the roof or roofing material that is repairable, then reconstructing it with new material in order to create a uniform, or "improved" appearance.

Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights so that the historic character is diminished.

Stripping the roof of sound historic material such as slate, clay tile, wood, and architectural metal.

Applying paint or other coatings to roofing material which has been historically uncoated.

Roofs

Replace



recommended

Replacing in kind an entire feature of the roof that is too deteriorated to repair--if the overall form and detailing are still evident--using the physical evidence as a model to reproduce the feature.



Replacement of damaged clay tile roof.

Examples can include a large section of roofing, or a dormer or chimney.

If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

not recommended

Removing a feature of the roof that is unrepairable, such as a chimney or dormer, and not replacing it; or replacing it with a new feature that does not convey the same visual appearance

“Replacing in kind extensively deteriorated or missing components of roof features when there are surviving prototypes, such as ridge tiles, roof cresting, or dormer trim, slates, or tiles, or when the replacement can be based on documentary or physical evidence. The new work should match the old in material, design, scale, color, and finish.”

“Replacing an entire roof feature, such as a chimney or dormer, when limited replacement of deteriorated or missing components is appropriate. Using replacement material that does not match the historic roof feature.”

The roofline and other architectural features (chimney, dormers, etc.) will remain the same. The existing metal and asphalt shingle roof on the residence have deteriorated significantly and are need of an upgrade. The replacement metal roof will be of a similar color palette as what is there now.

Design Review Commission recommendation, 5.5.21: Approval

Fiscal Impact

(Include projected cost, approved budget amount and account number, source of funds, and any future funding requirements.)

Private Owner

Exhibits Attached *(Provide copies of originals, number exhibits consecutively, and label all exhibits in the upper right corner.)*

- Permit Application
- Existing Roof Pictures
- New Roof Specs.
- Acceptance Letter

Staff Recommendation *(Type Name, Title, Agency and Phone)*

Approval



City of Jonesboro
 124 North Avenue
 Jonesboro, GA 30236
 (770) 478-3800 • Fax (770) 478-3775

Building Permit Application

Minimum Fee \$100.00

BL# _____ County _____

Date _____
 Permit No. _____

Application is hereby made according to the laws and ordinances of Jonesboro for a permit to erect, alter, and/or use a structure as described herein or shown in accompanying plans and specifications, to be located as shown on plot plan and, if granted, will conform to all laws and ordinances regulating same.

Address <u>186 N. McDonough St.</u>					Project/Subdivision:		
City <u>Jonesboro</u>		State <u>GA</u>		Zip <u>30236</u>	LL: <u>240</u>	District: <u>12th</u>	Zoning: <u>Residential</u>
Lot Dimensions	F:	D:	R:	Acres: <u>2.1</u>	Lot:	Block:	Plan#
Purpose of Permit: <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Demolition - Repair <input type="checkbox"/> Remodel <input type="checkbox"/> Demolition - Demolish <input checked="" type="checkbox"/> Other					Describe Use of Construction <u>Roof</u>		Size of Structure _____ x _____
Structure Type: <input checked="" type="checkbox"/> Residential (1, 2, 3, 4) <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Apartment <input type="checkbox"/> Fee Simple <input type="checkbox"/> Condo <input type="checkbox"/> Sign-Attached <input type="checkbox"/> Sign-Free <input type="checkbox"/> Swimming Pool <input type="checkbox"/> Storage Bldg. <input type="checkbox"/> Other _____							
Foundation: <input type="checkbox"/> Slab <input checked="" type="checkbox"/> Crawl Space <input type="checkbox"/> Basement		Heated Area: Main _____ Upper _____ Lower _____ Other _____ Total _____					
Unfinished Area		Carport		Garage <u>2</u>		Total Area	
No. Stories <u>2</u>	Height		No. Units <u>1</u>	No. Rooms <u>7</u>	No. Bedrooms <u>3</u>	No. Baths <u>3</u>	
Sewage: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Septic Tank		Georgia Power		Cooling: <input type="checkbox"/> Gas <input checked="" type="checkbox"/> Electric	Heating: <input checked="" type="checkbox"/> Gas <input type="checkbox"/> Electric	Fireplace: <input type="checkbox"/> Prefab <input checked="" type="checkbox"/> Masonry	
Exterior Finish Material <u>Wood</u>					Estimated Construction Cost		
Land Owner <u>Roger & Kathy Swint</u>					Contractor <u>TIRAGE BROTHERS, LLC DBA AL</u>		
Address <u>129 South Ave</u>					Address <u>3800 Union Point Hwy</u>		
City <u>J'boro</u>		State <u>GA</u>		Zip <u>30236</u>	City <u>GREENSBORO</u>		State <u>GA</u> Zip <u>30642</u>
Telephone <u>770-677-5916</u>		Other <u>Roger</u>		Telephone <u>770-377-6027</u>	Other _____		

I hereby certify that the above permitted structure shall be built in accordance with the ~~4892~~ ²⁰¹² Georgia State Energy Code for Buildings. This code regulates the design, erection, construction, alteration and renovation of buildings. Compliance is mandatory.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulating construction or the performance of construction.

Date: _____ Printed Name: Roger Swint Signature: [Signature]

NOTICE: Separate permits are required for electrical, plumbing, heating, ventilation, air conditioning or prefab fireplaces. This permit becomes null and void if work authorized is not commenced within six (6) months or if work is suspended or abandoned for a period of six months at anytime after it is begun. Proper permits must be obtained before work is begun or fees shall be doubled.

Do not complete the following – Office Use Only

TEMPORARY POLE (#) _____ \$30.00 _____			
Building – Sq. Ft. _____ x .20 = _____	Fireplace (#) _____ x 26.25 = _____		
Electrical _____ x .035 = _____	Garbage Disposal (#) _____ x 12.50 = _____		
Plumbing _____ x .035 = _____	Low Voltage (Minimum) _____ x 50.00 = _____		
HVAC _____ x .035 = _____			
SBCCI \$ _____	Temp # _____ Date _____		

F/P: ☐ Yes ☐ No Approved by: _____ Input by: _____ Permit Cost: _____ C.O. Fee _____ Total Fee _____
 Issued by: _____ Payment Amt: _____ Payment Type ☐ Cash ☐ Check

Original - File

Yellow - Tax Assessor

Pink - Inspector

Golden Rod - Applicant

Packet Pg. 41

Attachment: Permit Application (1893 - 186 North McDonough Street - Metal Roof)



CITY OF JONESBORO

124 North Avenue
Jonesboro, GA 30236
www.jonesboroga.com

BUILDING PERMIT APPLICATION SCOPE OF WORK

Name: Roger Swint Date: _____
Address: 186 N. McDonough St. Jonesboro GA 30236

Rooms work is to take place in:

- | | | |
|--------------------------------------|---|--------------------------------------|
| <input type="checkbox"/> Basement | <input type="checkbox"/> Living Room | <input type="checkbox"/> Bedroom 3 |
| <input type="checkbox"/> Kitchen | <input type="checkbox"/> Master Bedroom | <input type="checkbox"/> Bedroom 4 |
| <input type="checkbox"/> Bathroom | <input type="checkbox"/> Bedroom 1 | <input type="checkbox"/> Exterior |
| <input type="checkbox"/> Master Bath | <input type="checkbox"/> Bedroom 2 | <input type="checkbox"/> Other _____ |

Electrical and Mechanical

- | | |
|--|---|
| <input type="checkbox"/> New or upgrade of electric service | <input type="checkbox"/> Adding or replacing electric circuits |
| <input type="checkbox"/> Installing smoke detectors | <input type="checkbox"/> Adding or relocating receptacles or switches |
| <input type="checkbox"/> Installing new furnace | <input type="checkbox"/> Installing new AC condenser |
| <input type="checkbox"/> Installing new fireplace or heating stove | <input type="checkbox"/> New chimney or vent |
| <input type="checkbox"/> Installing new bathroom exhaust fan | <input type="checkbox"/> Installing or replacing range hood |
| <input type="checkbox"/> Other: _____ | |

Framing

- | | |
|---|--|
| <input type="checkbox"/> New deck, porch, or stairs | <input checked="" type="checkbox"/> Roofing (Replacing decking and shingles) |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Installing or relocating load bearing walls |
| <input type="checkbox"/> Detached garage, carport, or storage building | <input type="checkbox"/> Altering or relocating existing window/doors |
| <input type="checkbox"/> Replacing deck, porch, stairs or railing | <input type="checkbox"/> Sheathing |
| <input type="checkbox"/> New attached garage or carport | <input type="checkbox"/> Installing new drywall |
| <input type="checkbox"/> New pool, spa or hot tub | <input type="checkbox"/> Installing sunroom or other pre-manufactured |
| <input type="checkbox"/> Installing or relocating non-load bearing walls | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Replacing or repairing damaged: | |
| <input type="checkbox"/> Floor joist <input type="checkbox"/> Stud <input type="checkbox"/> Beam <input type="checkbox"/> Header <input type="checkbox"/> Ceiling Joist <input type="checkbox"/> Rafters or Trusses | |

Plumbing

- | | |
|--|--|
| <input type="checkbox"/> Installing or replacing water heater | <input type="checkbox"/> Relocating existing plumbing fixtures |
| <input type="checkbox"/> Installing new water or DWV piping | <input type="checkbox"/> Installing or replacing gas piping |
| <input type="checkbox"/> Replacing existing water or DWV piping | <input type="checkbox"/> Installing new plumbing fixtures |
| <input type="checkbox"/> Installing or replacing backflow device | <input type="checkbox"/> Installing new sump pump |
| <input type="checkbox"/> Other: _____ | |

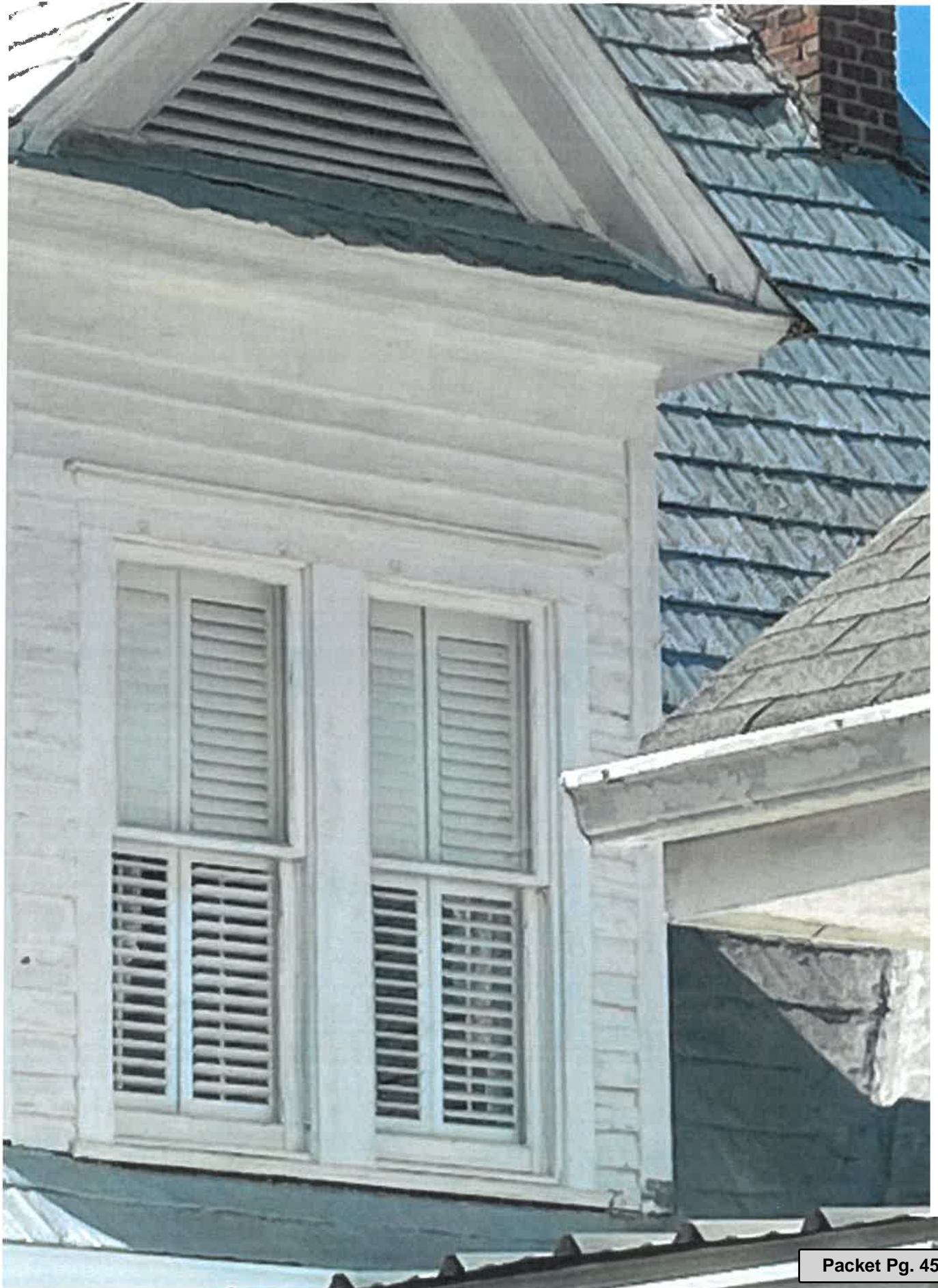
Additional Information

Attachment: Permit Application (1893 : 186 North McDonough Street - Metal Roof)





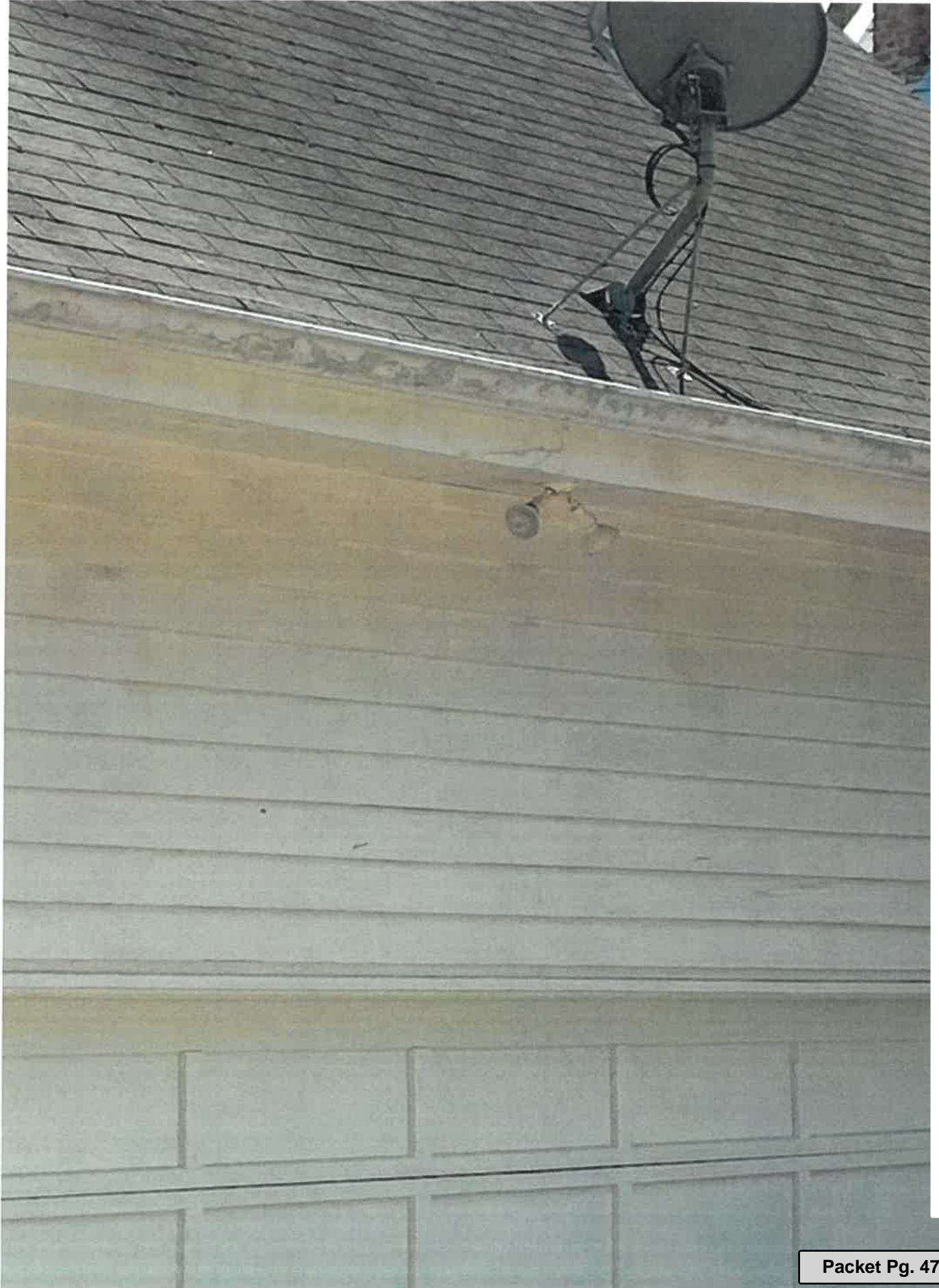
Attachment: Existing Roof Pictures (1893 : 186 North McDonough Street - Metal Roof)



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Attachment: Existing Roof Pictures (1893 : 186 North McDonough Street - Metal Roof)

Low-Rib

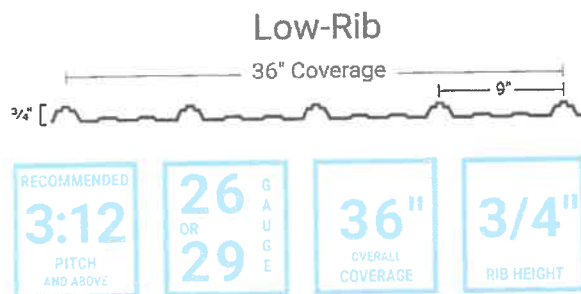
OUR MOST COST-EFFECTIVE METAL ROOFING

Affordable | Popular | Used for Carports | Residential | Post-Frame and More!

PANELS

Low-Rib - our most cost-effective metal roofing panel - is visually appealing, durable, and energy efficient.

This product is mostly used for carports, shelter applications, post-frame, and residential roofing.



Galvalume
(20-Year)



Color
(10 & 40-Year)

Specifications:

- > Exposed fastener panel: Roof and wall applications
- > Suitable for solid deck or opening framing

Substrates and Coatings:

- > 29 and 26 gauge high strength steel.
- > Anti-corrosion AZ-50 Galvalume coating for painted and AZ-55 for unpainted steel.
- > 10 & 40 Year Paint-Warranty [Pg. 5]

Attachment: New Roof Specs. (1893 : 186 North McDonough Street - Metal Roof)

PROJECT AND MATERIALS DESCRIPTION

186 North McDonough Street
Jonesboro, Georgia

Roof Replacement:

29 Gauge Grand Rib Metal Screw Down Panels

Removal of existing metal roofing
Install same metal roofing over the asphalt shingled roof
Install 18" of Ice & Weather Shield
Install synthetic underlayment
Reflash chimneys
Install trim & flashing the same color as metal panels

Attachment: New Roof Specs. (1893 : 186 North McDonough Street - Metal Roof)



MEMORANDUM

To: Roger and Kathy Swint
129 South Avenue
Jonesboro, Ga. 30236

From: David D. Allen
City of Jonesboro
124 North Avenue
Jonesboro, GA 30236

Date: May 10, 2021

Re: Notification of Request for Historic Preservation Commission – Metal Roof; 186 North McDonough Street; Parcel No. 13240D A029

Dear Applicant,

This letter is to serve as notification that the City of Jonesboro, Historic Preservation Commission, has accepted your request for review of a metal roof for the property located at 186 North McDonough Street, Jonesboro, Georgia.

Due to the COVID-19 outbreak, the review meeting will be conducted by members via a remote conference call (Zoom Meetings) on Monday, May 17, 2021 at 5:30 pm. You will be provided a link to the meeting to participate if you wish. If you are unable to be a part of the meeting, then you will be informed of the recommendation on the following day.

Sincerely,

A handwritten signature in blue ink, appearing to be "D. Allen", with a horizontal line extending to the right.

David D. Allen
Community Development Director / Zoning Administrator